



BOROUGH OF OCEANPORT PLANNING/ZONING BOARD

REGULAR MEETING • AGENDA

Clement V. Sommers Municipal Building
910 Oceanport Way, Oceanport, NJ 07757

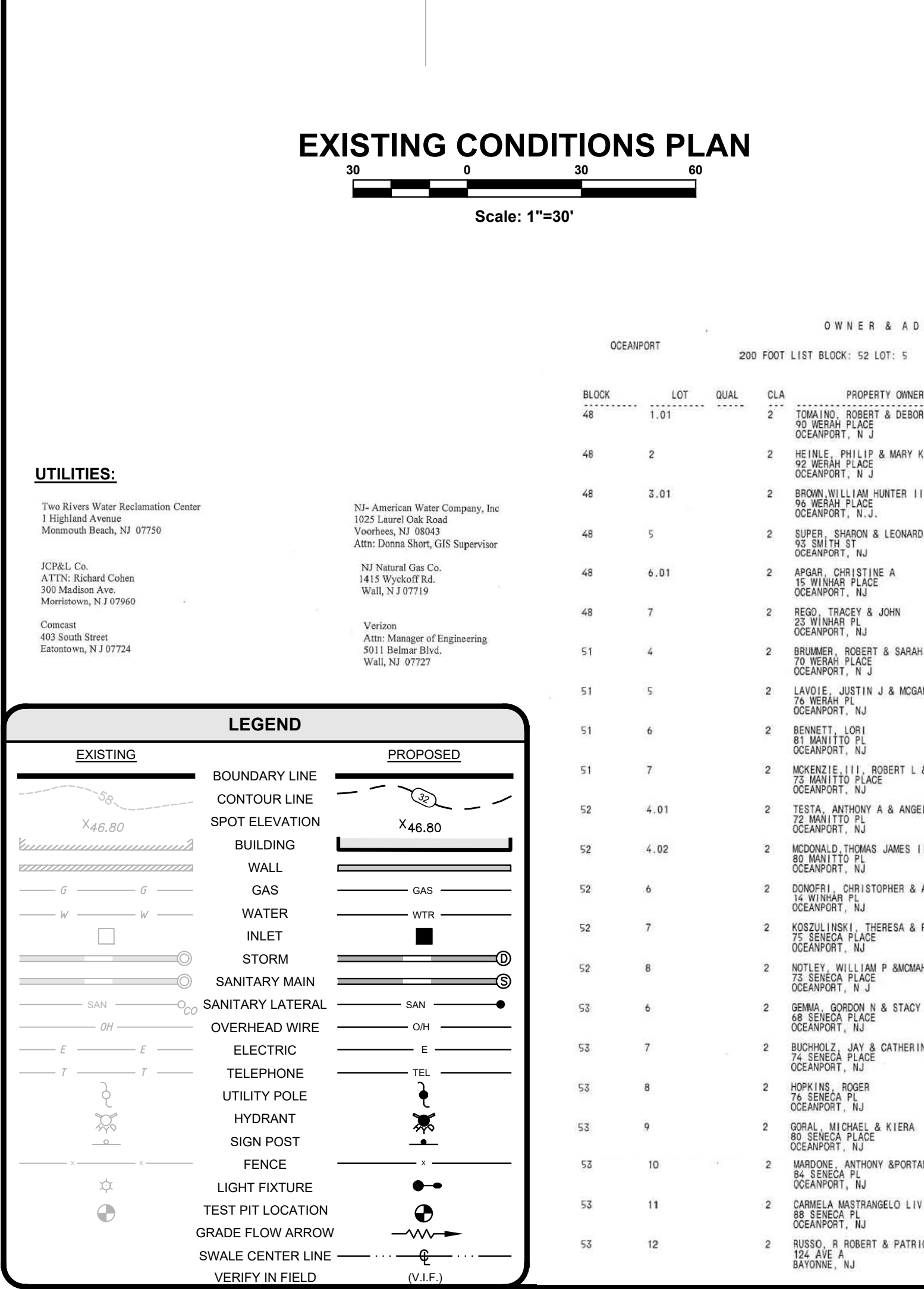
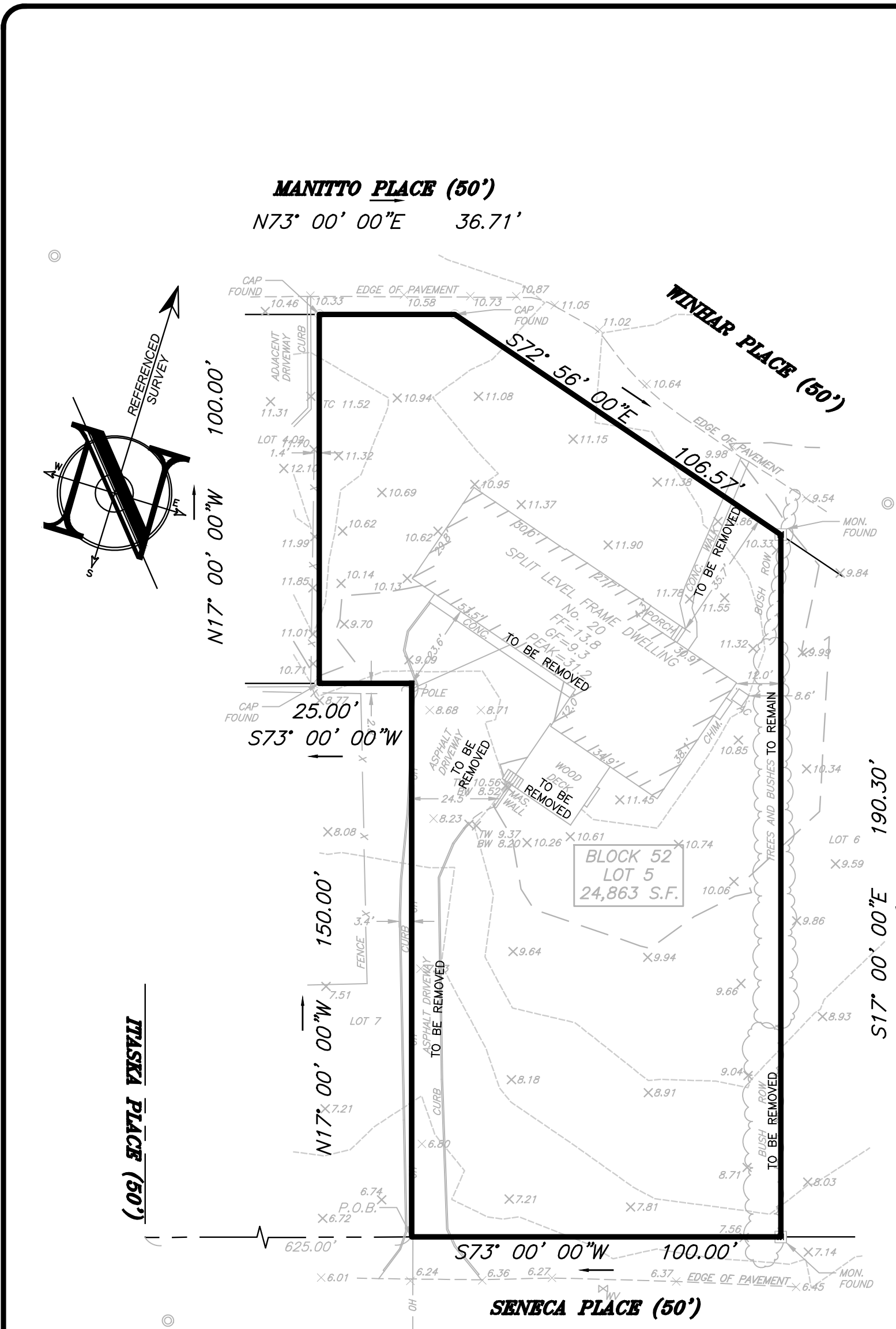
MAY 13, 2025 at 7:00 PM

1. **Call to Order**
2. **Open Public Meetings Statement:** This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 25, 2025 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.
3. **Flag Salute**
4. **Board Policy**
 - It is Board Policy that no application will be opened after 9:30 PM.
 - No new testimony will be taken after 10:00 PM, except at the discretion of the Board.
5. **Roll Call**
6. **Board Business**
 - 6.1. Meeting Date Change
7. **Approval of Minutes**
8. **Resolutions**
 - 8.1. PR-25-08 Resolution of Approval, 29 Summerfield Avenue
 - 8.2. PR-25-09 Resolution appointing Conflict Engineer
9. **Old Business**
 - 9.1. PB2024-11 Genna Laurino
Block 52, Lot 5
20 Winhar Place
Proposed minor subdivision
-Minimum lot width of 100 feet where 120 is required on Lot B
-Rear yard setback of 22.76 feet where 25 is required on Lot B
Application carried from the March 12th meeting
10. **New Business**
 - 10.1. PB2025-03 Joseph Sirianni
Block 11, Lot 16
7 Sagamore Avenue
Proposed Sunroom on Modified Concrete Pad
 - 10.2. PB2025-04 Roger Hopkins
Block 53, Lot 8
76 Seneca Place

Proposed Second Story Addition and Interior Renovation

11. **Petitions from the Public**

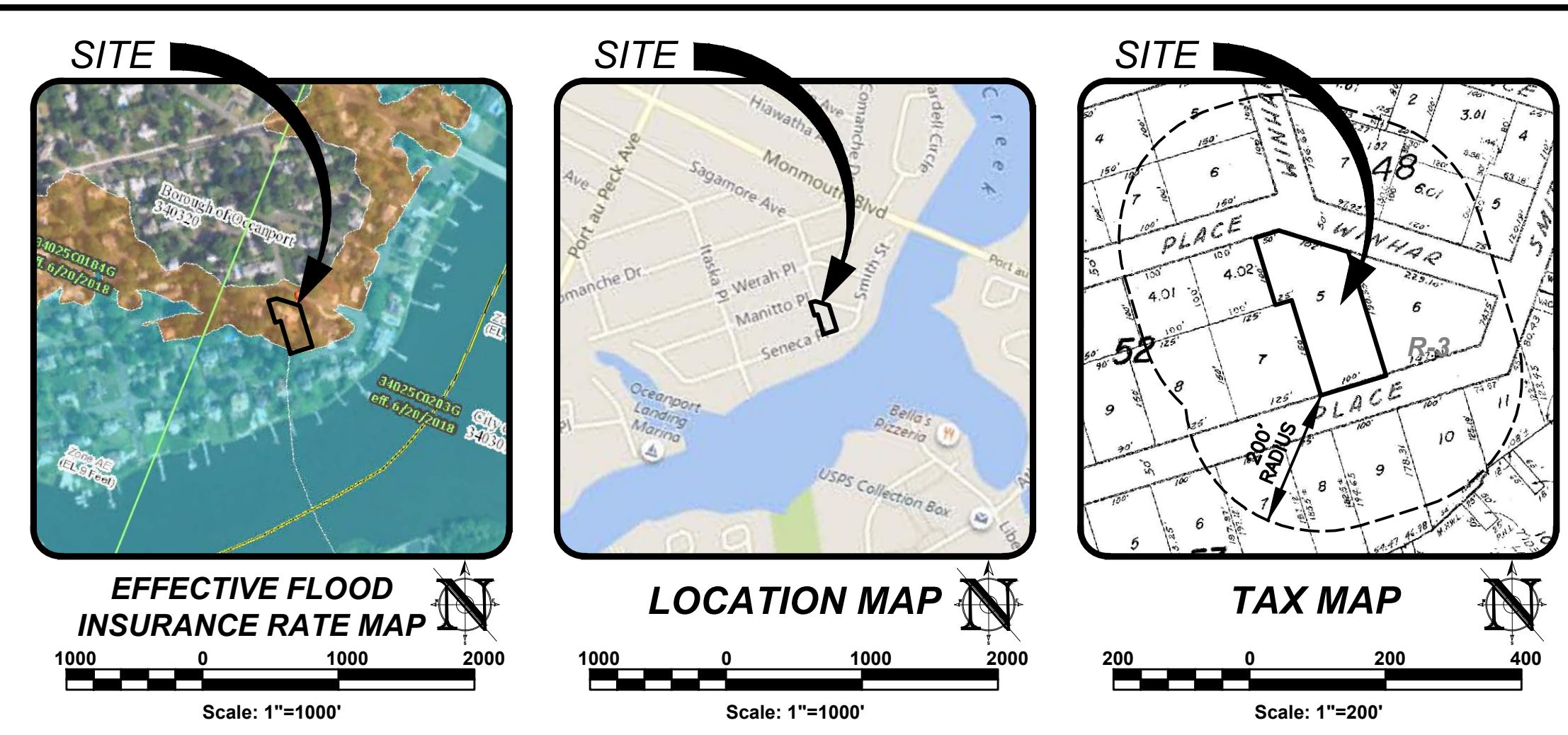
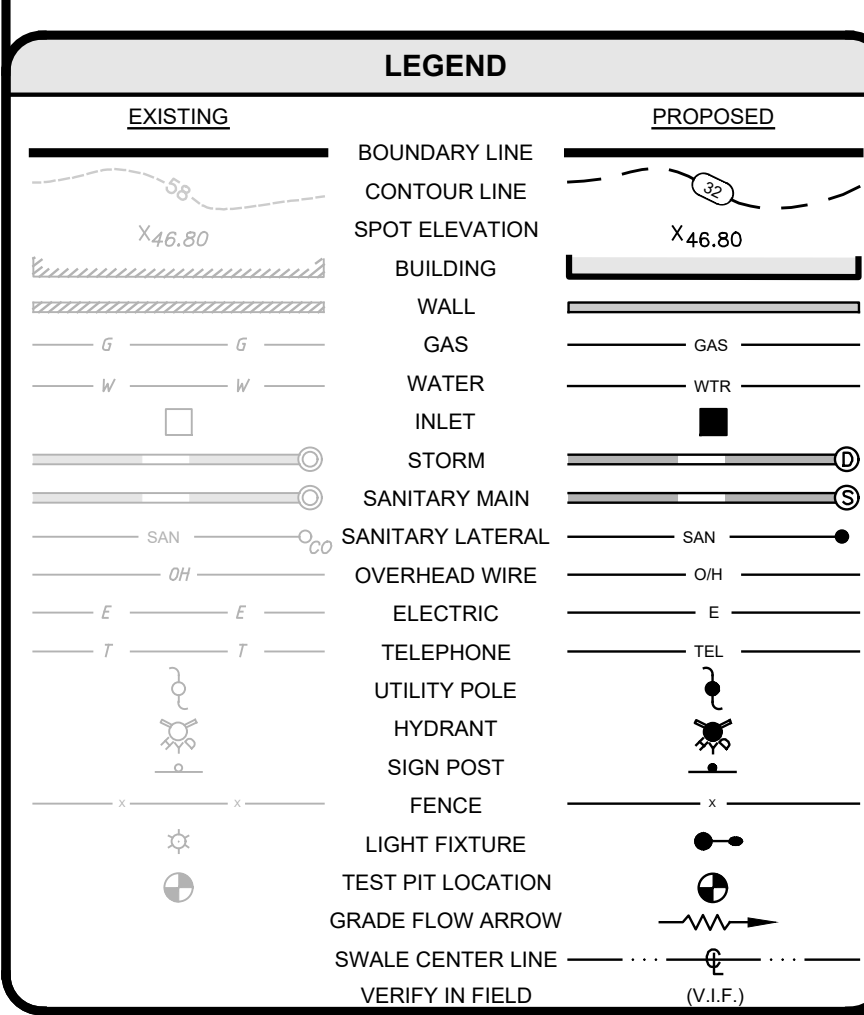
12. **Adjournment**



OWNER & ADDRESS REPORT

06/19/24 Page 1 of 2

BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Add'l Lots
48	1.01		2	TOMALINO, ROBERT & DEBORAH W OCEANPORT, N.J.	90 WERAH PL	1.02
48	2		2	HEINLE, PHILIP & MARY K OCEANPORT, N.J.	92 WERAH PL	
48	3.01		2	BROWN, WILLIAM HUNTER III OCEANPORT, N.J.	96 WERAH PL	
48	5		2	SUPER, SHAWN & LEONARD J JR OCEANPORT, N.J.	93 SMITH ST	
48	6.01		2	AGGAR, CHRISTINE A OCEANPORT, N.J.	15 WINHAR PL	
48	7		2	BEED, TRACEY & JOHN OCEANPORT, N.J.	23 WINHAR PL	
51	4		2	BRUMER, ROBERT & SARAH OCEANPORT, N.J.	70 WERAH PL	
51	5		2	LAJOIE, JUSTIN J & MCGINN, LAUREN OCEANPORT, N.J.	76 WERAH PL	
51	6		2	BENNETT, LORI OCEANPORT, N.J.	81 MANITTO PL	
51	7		2	MORCENITE, L J, ROBERT L & CAROL J OCEANPORT, N.J.	73 MANITTO PL	
52	4.01		2	TESTA, ANTHONY A & ANGELA OCEANPORT, N.J.	72 MANITTO PL	
52	4.02		2	MCDONALD, THOMAS JAMES III & JENNIFER RO OCEANPORT, N.J.	80 MANITTO PL	
52	6		2	DONOFRI, CHRISTOPHER & ANTOON, M OCEANPORT, N.J.	14 WINHAR PL	
52	7		2	KORZULINSKI, THERESA & PHILIP OCEANPORT, N.J.	75 SENECA PL	
52	8		2	NOTLEY, WILLIAM P & MCKINNON VIRGINIA OCEANPORT, N.J.	73 SENECA PL	
53	6		2	GERMA, GORDON N & STACY OCEANPORT, N.J.	68 SENECA PL	6.01
53	7		2	BURCHETT, JAY & CATHERINE OCEANPORT, N.J.	74 SENECA PL	
53	8		2	HOPKINS, ROGER OCEANPORT, N.J.	76 SENECA PL	8.01
53	9		2	GORAL, MICHAEL & KIERA OCEANPORT, N.J.	80 SENECA PL	9.01
53	10		2	MARCONI, ANTHONY & SPORTE, KIMBERLE OCEANPORT, N.J.	84 SENECA PL	10.01
53	11		2	CARABELLA, MASTRANGELO LIVING TRUST OCEANPORT, N.J.	88 SENECA PL	11.01
53	12		2	RUSSO, R ROBERT & PATRICIA OCEANPORT, N.J.	92 SENECA PL	12.01



- GENERAL NOTES
- SUBJECT PROPERTY
 - OWNER / APPLICANT
 - PURPOSE OF THIS PLAN SET
 - CONSTRUCTION STAKEOUT
 - ARCHITECTURAL INFORMATION
 - BASE FLOOD ELEVATION
 - CONSTRUCTION STAKEOUT
 - UNDERGROUND UTILITIES NOTIFICATION
 - VERIFICATION OF UTILITIES
 - EXISTING UTILITIES
 - EXISTING UTILITIES
 - SUBDIVISION
 - MAJOR DEVELOPMENT
 - NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION

ZONING COMPLIANCE CHART

R-3 (RESIDENTIAL) ZONE

SINGLE FAMILY DWELLING: PERMITTED

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED LOT A	COMPLIES	PROPOSED LOT B	COMPLIES
SCHED II	MIN. LOT AREA (SF)	12,000	24,863 (0.571 AC)	12,863 (0.295 AC)	YES	12,000 (0.275 AC)	YES
SCHED II	MIN. LOT WIDTH (FT)	120	145.19	100.00	YES	100.00 (V)	NO (V)
SCHED II	MIN. LOT DEPTH (FT)	100	250.0	129.99	YES	120.00	YES
SCHED II	PRINCIPAL BUILDING						
SCHED II	MIN. FRONT YARD SETBACK (FT)	(4)	30	30.16	YES	30.00	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	(4)	25	25.05	YES	25.01	YES
SCHED II	MIN. SIDE YARD SETBACK						
SCHED II	ONE SIDE (FT)	10	12.0	13.03	YES	10.01	YES
SCHED II	BOTH SIDES (FT)	25	35.6	42.43	YES	36.96	YES
SCHED II	MAX. BUILDING HEIGHT (NON-FLAT ROOF)(FT)	35	(a)	35.00	YES	35.00	YES
SCHED II	MAX. BUILDING HEIGHT (NON-FLAT ROOF)(STORIES)	2.5	1.5	2	YES	2	YES
SCHED II	ACCESSORY BUILDING						
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	N/A	YES	N/A	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	N/A	YES	N/A	YES
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	N/A	YES	N/A	YES
SCHED II	MAX. BUILDING HEIGHT (FT)	15	N/A	N/A	YES	N/A	YES
SCHED II	MAX. BUILDING HEIGHT (STY)	1	N/A	N/A	YES	N/A	YES
SCHED II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	N/A	YES	N/A	YES
SCHED II	ACCESSORY STRUCTURE-PATIO						
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES	N/A	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	9.58	YES	N/A	YES
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	32.43	YES	N/A	YES
SCHED II	ACCESSORY STRUCTURE-A/C UNITS						
SCHED II	MIN. REAR YARD SETBACK (FT)	25	N/A	30.80	YES	41.00	YES
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	8.6 (X)	25.40	YES	26.95	YES
SCHED II	DRIVEWAY						
SCHED II	MIN. SIDE YARD SETBACK (FT)	5	0 (X)	7.91	YES	5.95	YES
SCHED II	MAX. FRONT YARD WIDTH (FT)	24	(1) 24.5 (X)	16.59	YES	15.00	YES
SCHED II	LOT COVERAGE						
SCHED II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	12.0	16.68	YES	21.87	YES
SCHED II	MAX. IMPERVIOUS COVERAGE (%)	37	(2) 23.6	37.00 (5)	YES	37.00 (6)	YES
SCHED II	MAX. DWELLING UNITS PER ACRE	3.7	1.8	3.5	YES		YES

(N) EXISTING NON-CONFORMITY (I) IMPROVED CONDITION (N/A) - NOT APPLICABLE

(E) EXISTING VARIANCE (X) VARIANCE / NON-CONFORMITY ELIMINATED N/S - NOT SPECIFIED

(V) PROPOSED VARIANCE (V) PROPOSED WAIVER

(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

(1) RESIDENTIAL DRIVEWAYS SHALL BE LIMITED TO 24 FT WIDE FOR GARAGES THAT FACE THE STREET AND MAY TRANSITION TO 36 FT WIDE STARTING AT A POINT 24 FT FROM THE DWELLING.

(2) DECKS THAT CONTAIN A MINIMUM OF A 1/8-INCH GAP BETWEEN DECKING BOARDS AND THAT HAVE PERVIOUS BASE MATERIAL UNDER THE DECK SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE.

(3) AN AREA EQUAL TO 350 SF FOR USE OF A VEHICLE TURNAROUND ON A RESIDENTIAL LOT SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE.

(4) A PORCH ONE STORY IN HEIGHT CAN PROJECT NOT MORE THAN 6 FT INTO THE FRONT YARD AND NOT MORE THAN 5 FT INTO THE SIDE YARD BUT IN NO INSTANCE NEARER THAN 10 FT TO A SIDE LOT LINE AND 24 FT TO THE FRONT LOT LINE.

(5) IMPERVIOUS COVERAGE DISPLAYED IS 35.77%. 37% IS PROPOSED TO ALLOW FULL BUILD OUT OF THE LOT.

(6) IMPERVIOUS COVERAGE DISPLAYED IS 32.15%. 37% IS PROPOSED TO ALLOW FULL BUILD OUT OF THE LOT.

PLANNING BOARD

CLASSIFIED AND APPROVED AS A MINOR SUBDIVISION BY THE BOROUGH OF OCEANPORT PLANNING BOARD ON _____

BOARD CHAIRPERSON

ATTEST:

BOARD ENGINEER

THIS PLAT (OR A DEED DESCRIBING THIS SUBDIVISION) MUST BE FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON OR BEFORE _____ WHICH DATE IS ONE HUNDRED NINETY (190) DAYS FROM THE DATE ON WHICH THE RESOLUTION OF MUNICIPAL APPROVAL IS ADOPTED.

OWNER

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS APPLICATION AND THAT I CONSENT TO THE FILING OF THIS SUBDIVISION PLAN WITH THE BOROUGH OF OCEANPORT PLANNING BOARD.

OWNER

DATE

NOTARY PUBLIC

SWORN AND SUBSCRIBED TO BEFORE ME THIS _____ DAY OF _____

NOTARY PUBLIC

DATE

MUNICIPAL ENGINEER

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT CONFORMS WITH THE PROVISIONS OF THE MAP FILING LAW, RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

MUNICIPAL ENGINEER (AFFIX SEAL)

DATE

MUNICIPAL CLERK

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW," P.L. 1975, C.291 (C 40:550-1 ET SEQ.) OR LOCAL ORDINANCE.

I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

MUNICIPAL CLERK

DATE

PROJECT INFORMATION

PROJECT NAME:

LAURINO SUBDIVISION

PROJECT LOCATION:

BLOCK 52, LOT 5
20 WINHAR PLACE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER:

LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

APPLICANT:

LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ATTORNEY:

DAVID J. HABER, ESQ.
1161 BROAD STREET, SUITE 112
SHREWSBURY, NJ 07702

SURVEYOR:

MONTEFORTE ARCHITECTURAL STUDIO, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

ARCHITECT:

MONTEFORTE ARCHITECTURAL STUDIO, LLC
733 STATE HIGHWAY 35
OCEAN, NJ 07712

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEYS DATED 05/16/24 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLES WITH THE PROVISIONS OF THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

MICHAEL S. LYNCH, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 35382

INSITE ENGINEERING, LLC
SINCE 2003

INSITE ENGINEERING, LLC
Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 24GA28083200

X 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLENTOWN, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

Jason J. Tiller
MASON & FICHTER, P.E., P.P., C.F.M., C.M.E.
PROFESSIONAL ENGINEER, PLANNER
NJPE 43118 NJPP 5728 PAPE 61968
DEPE 3813 NYPE 802295 CPE 23291
NCPE 33336 DCPE 900682 COPE 36605

REVISIONS

Rev.	Date	Comment
1	04/28/25	REV PER BOROUGH
0	10/17/24	INITIAL RELEASE

SCALE: AS SHOWN

DESIGNED BY: BRK

DATE: 10/17/24

DRAWN BY: BRK

JOB #: 18-068-07

CHECKED BY: PRW

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

MINOR SUBDIVISION PLAN

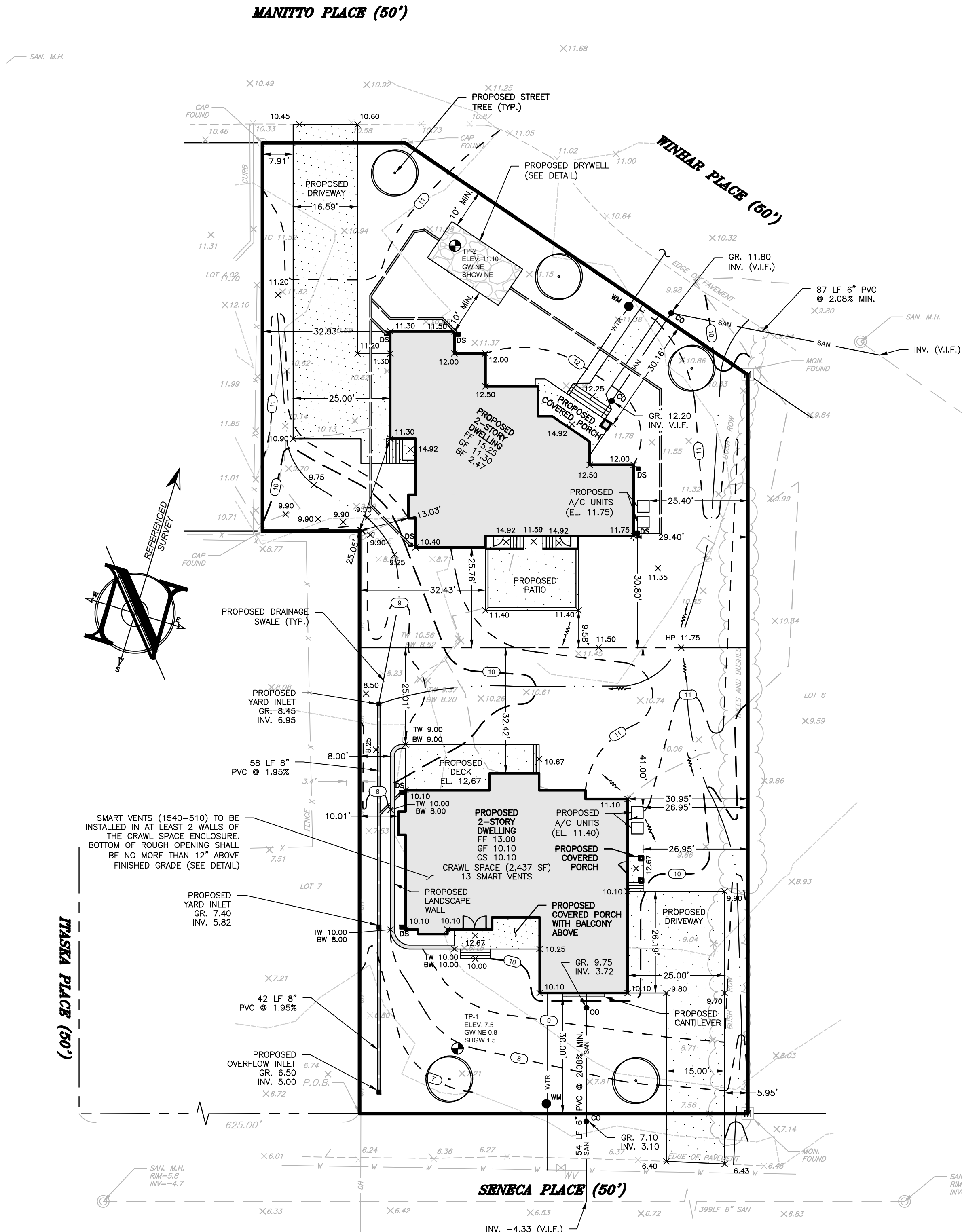
SHEET TITLE:

SUBDIVISION PLAT

SHEET NO.:

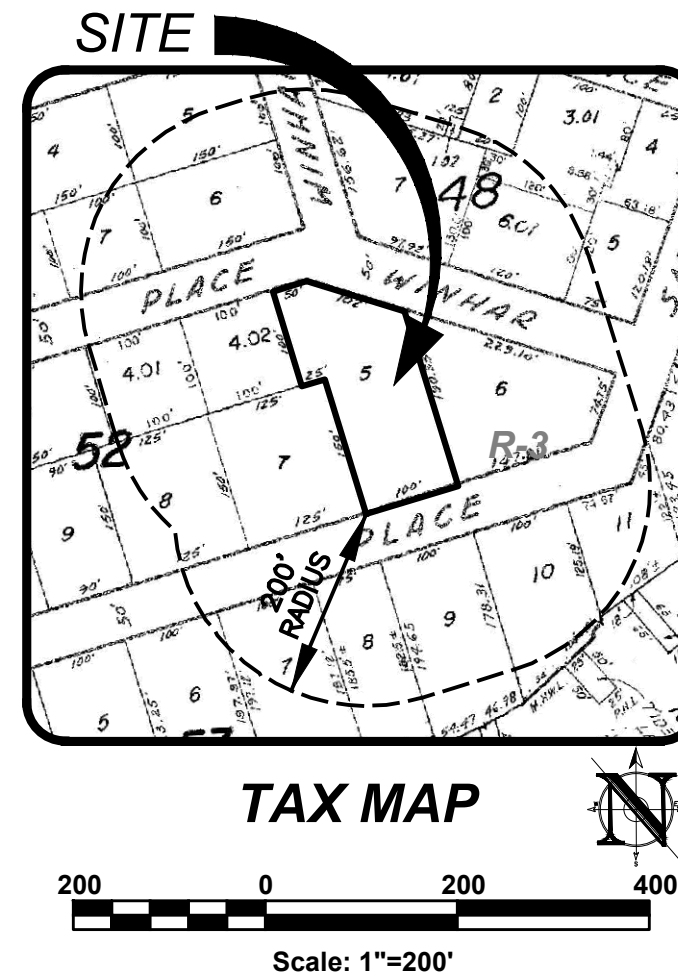
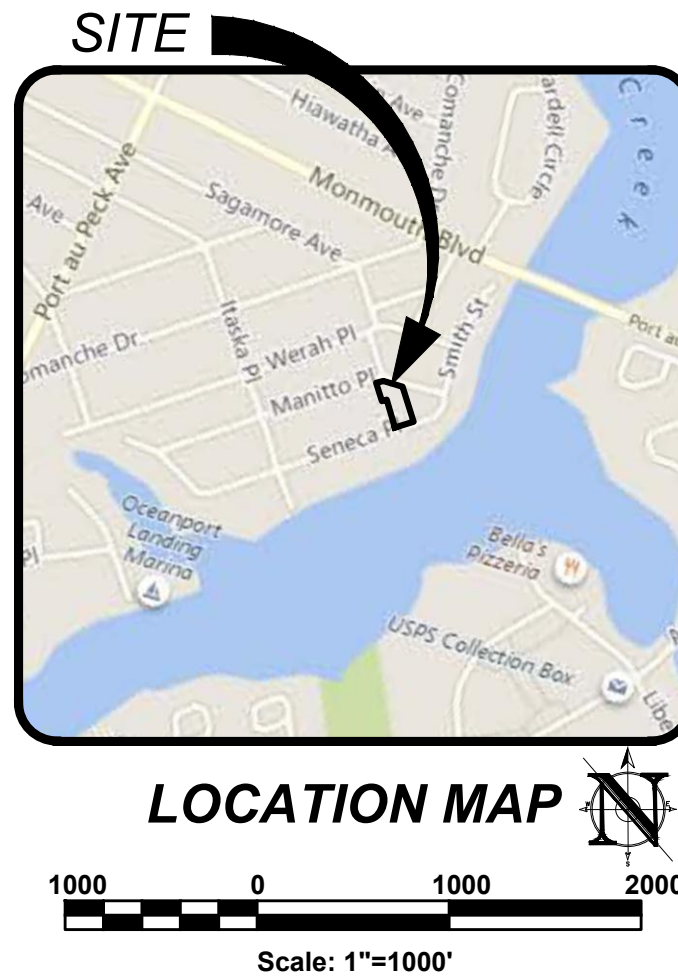
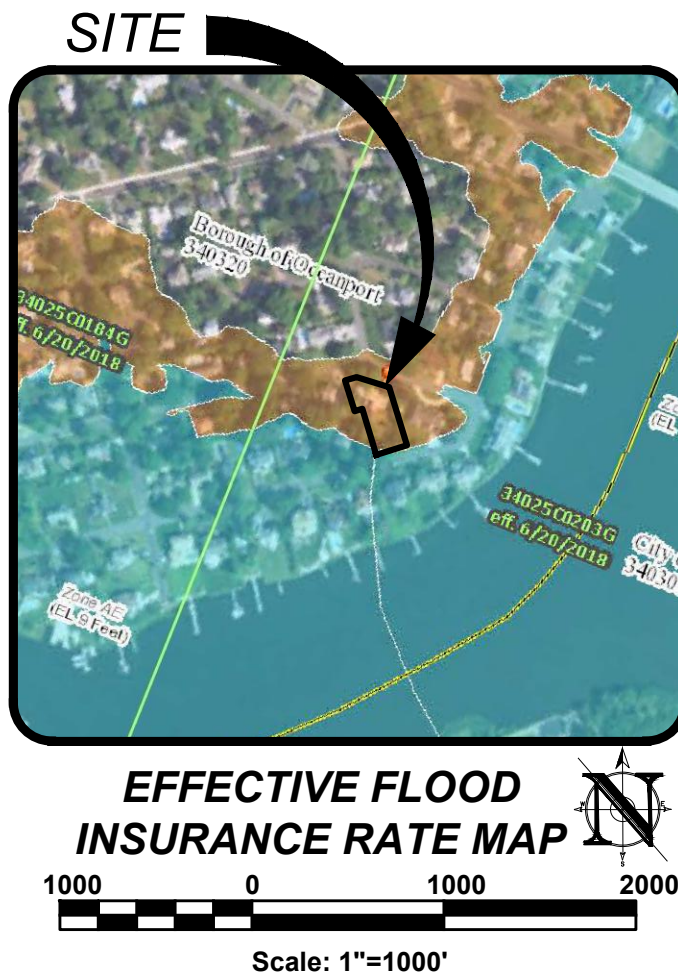
1 OF 6

LEGEND	
EXISTING	PROPOSED
VERIFY IN FIELD	(V.I.F.)



LOT COVERAGE CALCULATIONS		
ITEM	LOT A	LOT B
DWELLING	2,253	2,448
COV. PORCHES	150	176
LANDING & STAIRS	151	26
DRIVEWAY	1,491	1,120
WALKWAY	144	-
PATIO	394	-
DECK	-	349
A/C UNITS	18	18
WALL	N/A	68
TOTAL	4,601	3,858

* DOES NOT COUNT TOWARDS COVERAGE



GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP #116; BLOCK 52, LOT 5, 20 WINHAR PLACE, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY
- OWNER / APPLICANT**
LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE BOROUGH (FOR SUBDIVISION, ENGINEERING, AND ZONING APPROVAL) AND TO SUPPORT AN APPLICATION TO FREEHOLD SOIL CONSERVATION DISTRICT (FOR PLAN CERTIFICATION).
- SURVEY DATA**
 - SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "TOPOGRAPHIC SURVEY", WITH THE LATEST REVISION BEING DATED 10/17/18. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD88 VERTICAL DATUM.
 - BOUNDARY SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THOMAS M. ERNEST & ASSOCIATES, PROFESSIONAL LAND SURVEYORS, INC., ENTITLED "SURVEY OF PROPERTY FOR: CAROL CUTTER", WITH THE LATEST REVISION BEING DATED 07/06/18. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON A PLANS PREPARED BY MONTEFORTE ARCHITECTURAL STUDIO, LLC., ENTITLED "NEW CONSTRUCTION FOR: HEMENWAY CONSTRUCTION, WINHAR PLACE, OCEANPORT, NJ, LOT 5, BLOCK 52", WITH THE LATEST REVISION BEING DATED 05/24/24.
- BASE FLOOD ELEVATION**
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #34025C0203G, DATED 06/20/18, THE SITE IS LOCATED PARTIALLY IN ZONE AE WITH A BASE FLOOD ELEVATION OF 10, PARTIALLY IN ZONE AE WITH A BASE FLOOD ELEVATION OF 9, AND PARTIALLY IN ZONE X WITH NO BASE FLOOD ELEVATION. THE FEMA MAP REFERENCES THE NAVD88 VERTICAL DATUM.
- CONSTRUCTION STAKEOUT**
SPECIAL CARE SHALL BE TAKEN DURING STAKEOUT AND CONSTRUCTION TO ADHERE TO THE LOCATION OF THE PROPOSED STRUCTURE AND SITE IMPROVEMENTS. THE BUILDING TIES ARE TO THE FOUNDATION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS.
- EXISTING UTILITIES**
ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- SUBDIVISION**
THIS SUBDIVISION SHALL BE FILED BY DEED.
- MAJOR DEVELOPMENT**
THE PROPOSED PROJECT IS NOT MAJOR DEVELOPMENT PER THE NEW JERSEY STORMWATER MANAGEMENT RULES, NJAC 7.8, AND THE BOROUGH STORMWATER ORDINANCE.
- NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION**
THE APPLICANT/OWNER IS RESPONSIBLE FOR SECURING ANY REQUIRED APPROVALS FROM THE NJDEP.

ZONING COMPLIANCE CHART						
R-3 (RESIDENTIAL) ZONE						
SINGLE FAMILY DWELLING: PERMITTED						
ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED LOT A	COMPLIES	PROPOSED LOT B
SCHED II	MIN. LOT AREA (SF)	12,000	24,863 (0.571 AC)	12,863 (0.295 AC)	YES	12,000 (0.275 AC)
SCHED II	MIN. LOT WIDTH (FT)	120	100.0 (X)	145.19	YES	100.00 (V)
SCHED II	MIN. LOT DEPTH (FT)	100	250.0	129.99	YES	120.00
SCHED II	PRINCIPAL BUILDING					
SCHED II	MIN. FRONT YARD SETBACK (FT)	(4)	30	35.7	YES	30.00
SCHED II	MIN. REAR YARD SETBACK (FT)		25	N/A	YES	25.01
SCHED II	MIN. SIDE YARD SETBACK (FT)	(4)				
	BOTH SIDES (FT)	10	12.0	13.03	YES	10.01
SCHED II	MAX. BUILDING HEIGHT (NON-FLAT ROOF)(FT)	25	35.6	42.43	YES	36.96
SCHED II	MAX. BUILDING HEIGHT (NON-FLAT ROOF)(STORIES)	2.5	(0)	35.00	YES	35.00
	ACCESSORY BUILDING					
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	N/A	YES	N/A
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	N/A	YES	N/A
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	N/A	YES	N/A
SCHED II	MAX. BUILDING HEIGHT (STY)	1	N/A	N/A	YES	N/A
SCHED II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	N/A	YES	N/A
SCHED II	ACCESSORY STRUCTURE- PATIO					
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES	N/A
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	9.58	YES	N/A
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	32.43	YES	N/A
SCHED II	ACCESSORY STRUCTURE- A/C UNITS					
SCHED II	MIN. REAR YARD SETBACK (FT)	25	N/A	30.80	YES	41.00
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	8.6 (X)	25.40	YES	26.95
SCHED II	DRIVEWAY					
SCHED II	MIN. SIDE YARD SETBACK (FT)	5	0 (X)	7.91	YES	5.95
SCHED II	MAX. FRONT YARD WIDTH (FT)	24 (1)	24.5 (X)	16.59	YES	15.00
SCHED II	LOT COVERAGE					
SCHED II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	12.0	18.68	YES	21.87
SCHED II	MAX. IMPERVIOUS COVERAGE (%)	37 (2)	23.6	37.00 (5)	YES	37.00 (6)
SCHED II	MAX. DWELLING UNITS PER ACRE	3.7	1.8	3.5	YES	YES

- (N) EXISTING NON-CONFORMITY (I) IMPROVED CONDITION (N/A - NOT APPLICABLE)
- (E) EXISTING VARIANCE (X) VARIANCE / NON-CONFORMITY ELIMINATED (N/S - NOT SPECIFIED)
- (V) PROPOSED VARIANCE (W) PROPOSED WAIVER
- (a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE
- (1) RESIDENTIAL DRIVEWAYS SHALL BE LIMITED TO 24 FT WIDE FOR GARAGES THAT FACE THE STREET AND MAY TRANSITION TO 36 FT WIDE STARTING AT A POINT 24 FT FROM THE DRIVEWAY
- (2) DECKS THAT CONTAIN A MINIMUM OF A 1/8-INCH GAP BETWEEN DECKING BOARDS AND THAT HAVE PERVIOUS BASE MATERIAL UNDER THE DECK SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE
- (3) AN AREA EQUAL TO 360 SF FOR USE OF A VEHICLE TURNAROUND ON A RESIDENTIAL LOT SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE
- (4) A PORCH ONE STORY IN HEIGHT CAN PROJECT NOT MORE THAN 6 FT INTO THE FRONT YARD AND NOT MORE THAN 5 FT INTO THE SIDE YARD BUT IN NO INSTANCE NEARER THAN 10 FT TO A SIDE LOT LINE AND 24 FT TO THE FRONT LOT LINE
- (5) IMPERVIOUS COVERAGE DISPLAYED IS 35.77%, 37% IS PROPOSED TO ALLOW FULL BUILD OUT OF THE LOT
- (6) IMPERVIOUS COVERAGE DISPLAYED IS 32.15%, 37% IS PROPOSED TO ALLOW FULL BUILD OUT OF THE LOT

PROJECT INFORMATION

LAURINO SUBDIVISION

PROJECT LOCATION:
BLOCK 52, LOT 5
20 WINHAR PLACE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER:
LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

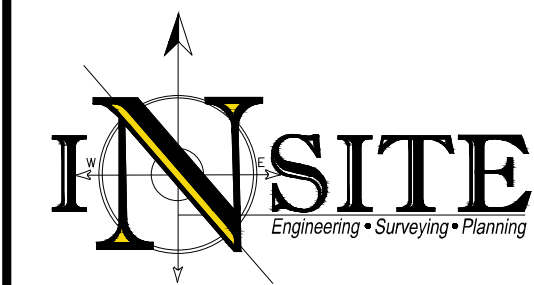
APPLICANT:
LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ATTORNEY:
DAVID J. HABER, ESQ.
1161 BROAD STREET, SUITE 112
SHREWSBURY, NJ 07702

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

ARCHITECT:
MONTEFORTE ARCHITECTURAL STUDIO, LLC
733 STATE HIGHWAY 35
OCEAN, NJ 07712



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
X 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
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InSite@InSiteEng.net www.InSiteEng.net

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Jason F. Tiller
MASON F. FICHTER, PE, PP, CFM, CME
PROFESSIONAL ENGINEER, PLANNER
NJPE 42118 NJPP 5726 PAPE 61968
DEPE 3813 NYPE 802295 CPE 23291
NCPPE 33336 DCPE 900682 CPE 36605

REVISIONS

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JOB #: **18-068-07** CHECKED BY: **PRW**
☒ **NOT FOR CONSTRUCTION**

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

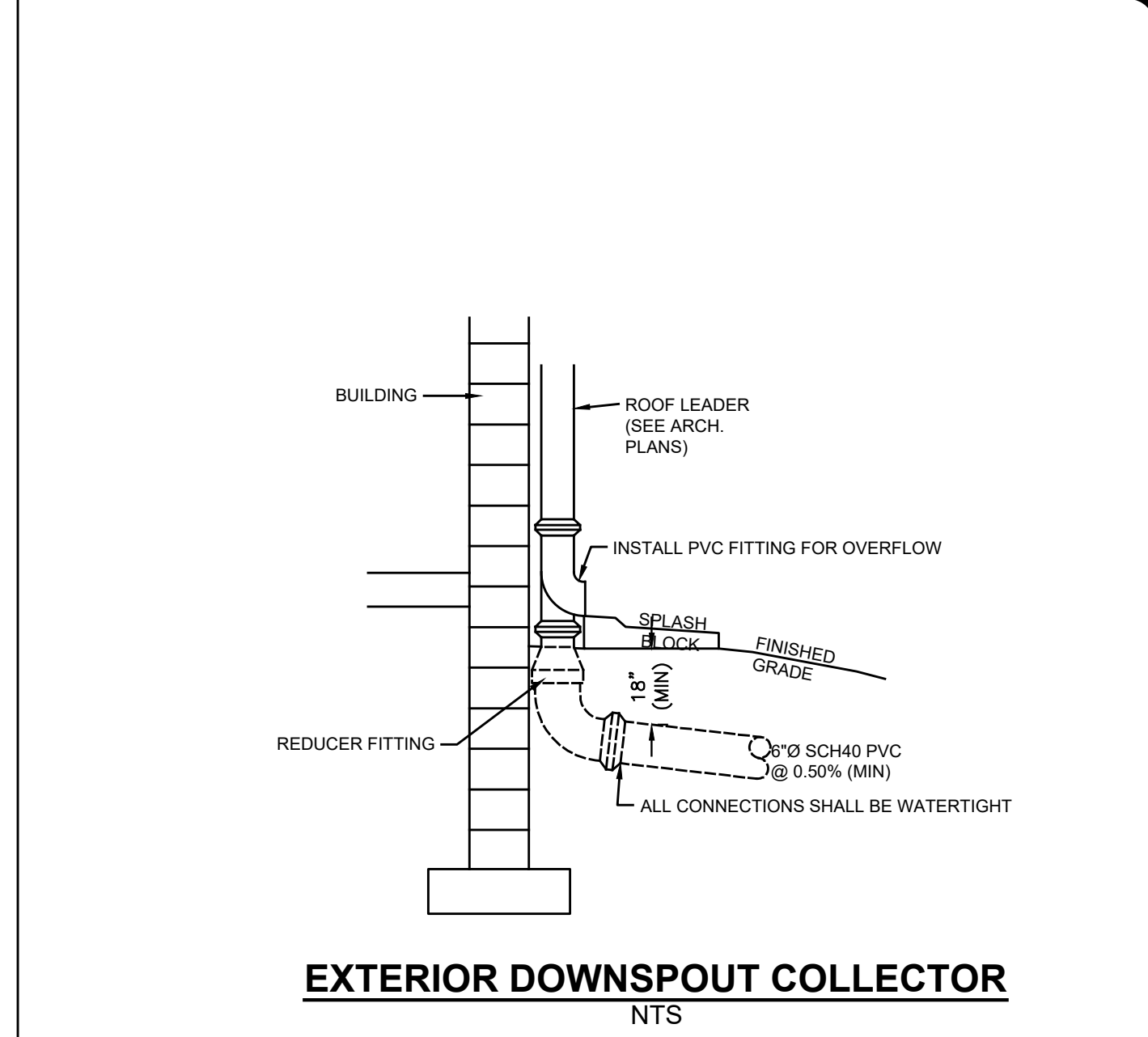
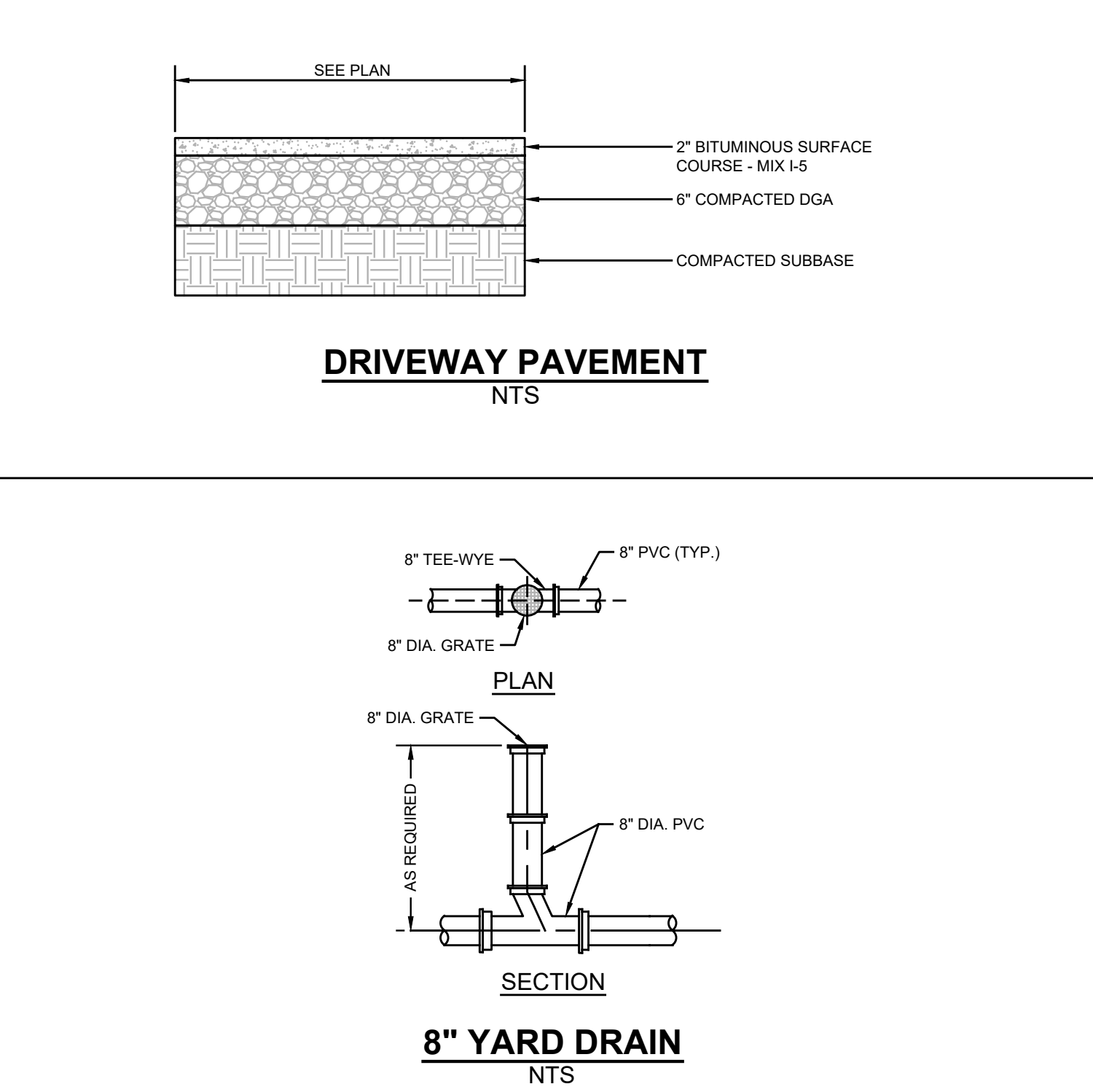
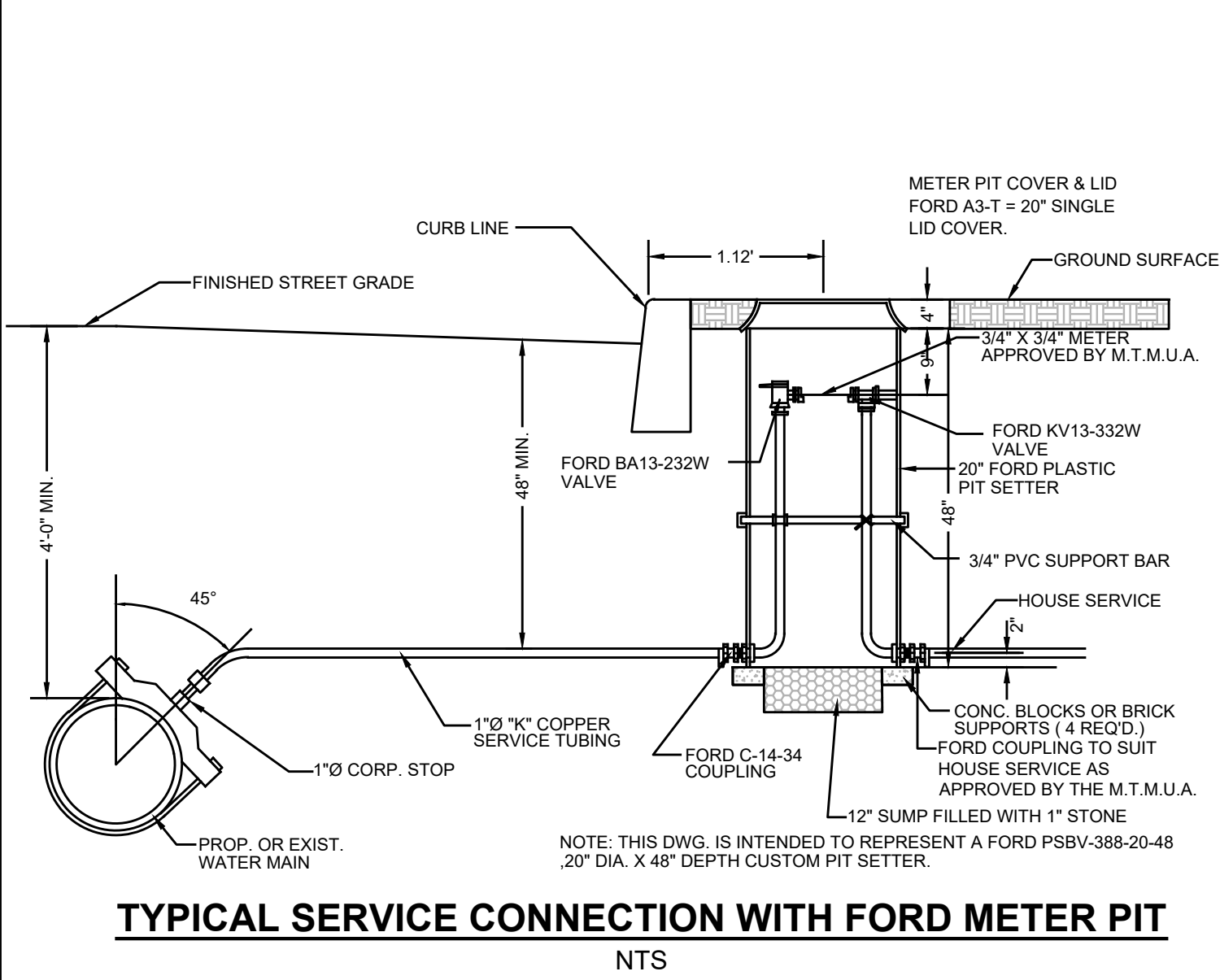
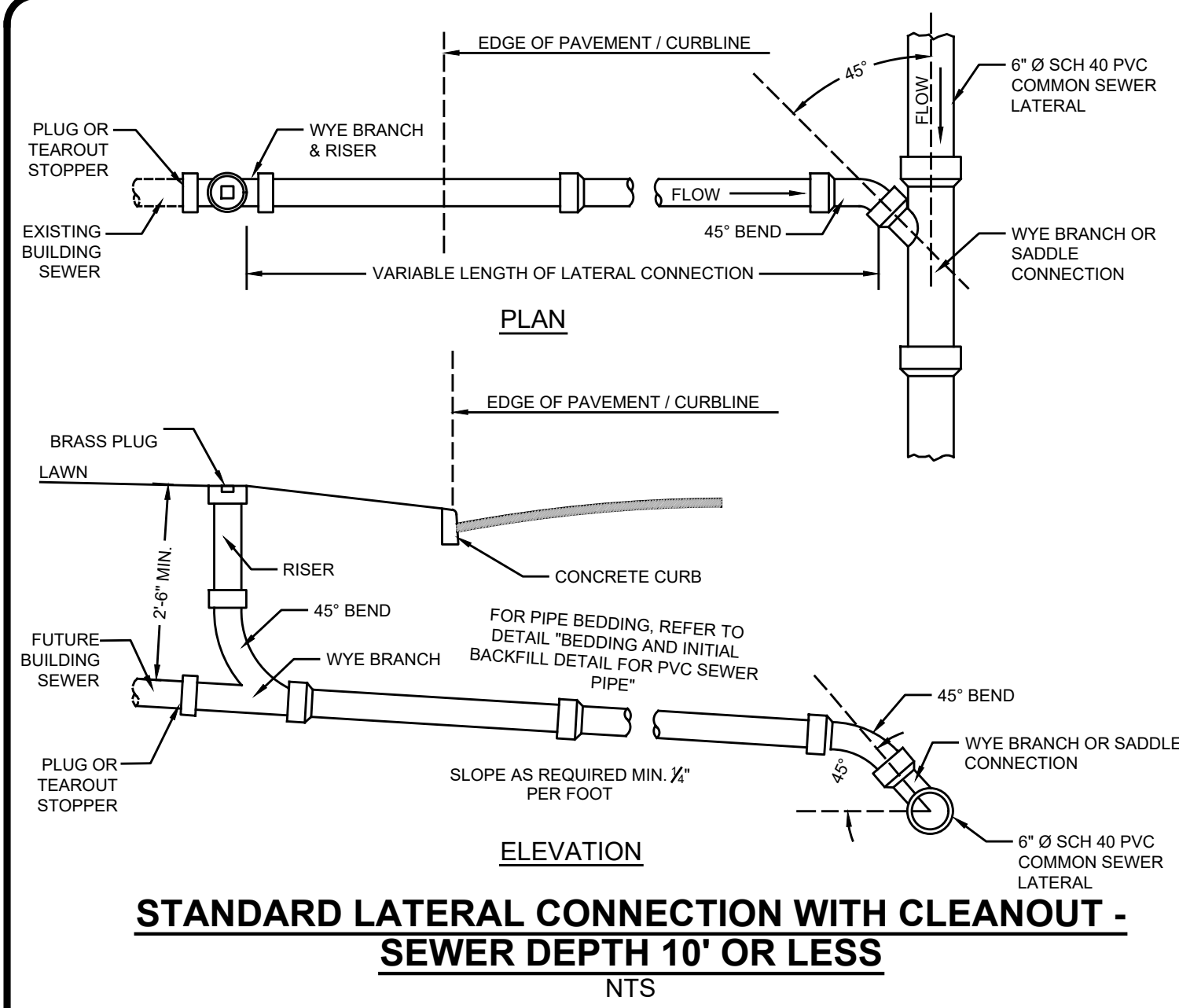
DRAWING TITLE:

MINOR SUBDIVISION PLAN

SHEET TITLE:

IMPROVEMENTS PLAN

SHEET NO:



PROJECT INFORMATION

PROJECT NAME: **LAURINO SUBDIVISION**

PROJECT LOCATION: **BLOCK 52, LOT 5
20 WINHAR PLACE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ**

OWNER: **LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757**

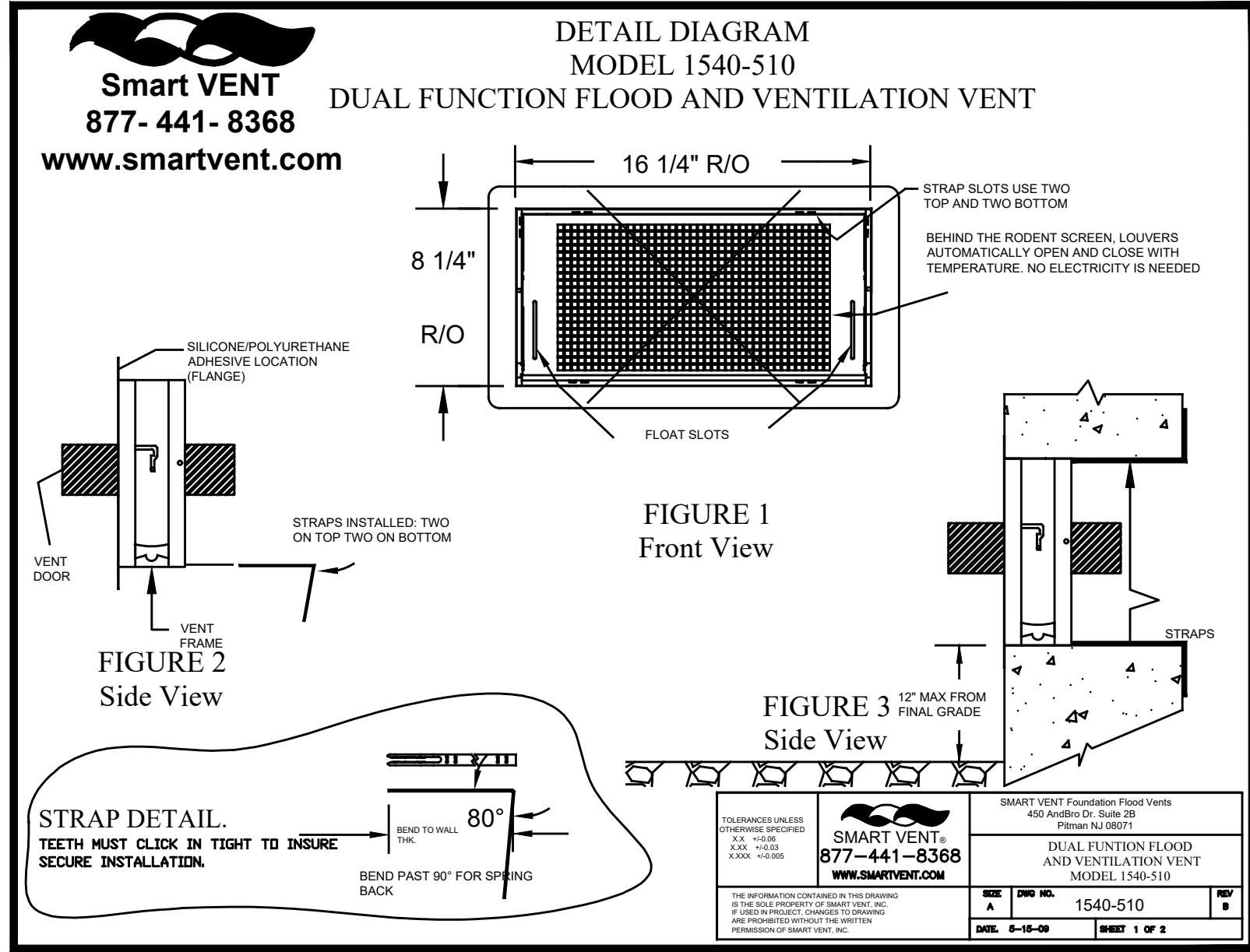
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OCEANPORT, NJ 07757**

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Smart VENT
877-441-8368
www.smartvent.com

INSTALLATION INSTRUCTIONS & DETAILS
MODEL 1540-510
DUAL FUNCTION FLOOD AND VENTILATION VENT
REV. 5-15-09

INSTALLATION INSTRUCTIONS

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
2. Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)
4. Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL).
5. Insert the top straps into the top two strap slots about two clicks.
6. Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall.
7. Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
8. Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
9. Re-check that frame is square and slots are clear of debris, and caulk.
10. Insert the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
11. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

DETAILED SPECIFICATIONS:

MATERIAL: STAINLESS STEEL
OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION
VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED
OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED

INSTALLATION:
SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED
HYDROSTATIC RELIEF: 200 Sq. Ft. per Vent
VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION
REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS
COLORS: STAINLESS (STANDARD)
EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)

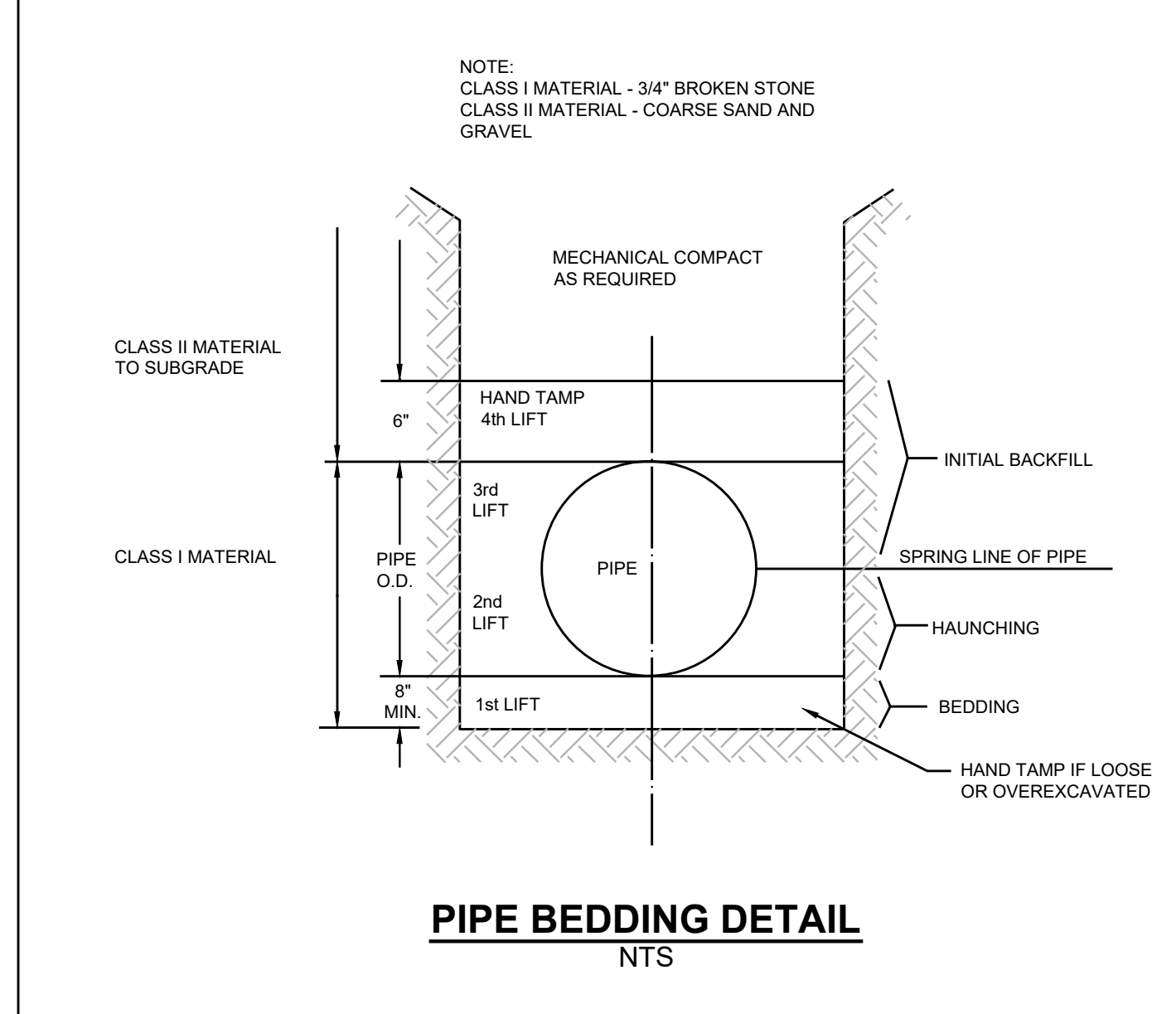
MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:
FEMA, NFIP, ICC, & ASCE
SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05
ICC EVALUATION # ESR-2074

CARLIN-SIMPSON & ASSOCIATES, LLC
Consulting Engineers
Geotechnical & Environmental

20 Winhar Place
Oceanport, NJ
25-63A

18 April 2025

TP-1 (Elev. +7.5)		
0'0"-0'6"	Dark brown topsoil, with roots	
0'6"-6'0"	Brown coarse to fine SAND, little (+) Silt	medium dense, moist
6'0"-8'0"	Mottled orange brown, brown coarse to fine SAND, little Silt	medium dense, moist
	Groundwater encountered @ 6'8" (slow inflow) Indication of seasonal high groundwater observed at 6'0"	
TP-2 (Elev. +11.0)		
0'0"-0'5"	Brown topsoil, with roots	
0'5"-1'6"	FILL (Yellow brown fine SAND, little (-) Silt)	
1'6"-5'2"	Orange brown coarse to fine SAND, some (-) Silt	medium dense, moist
5'2"-9'6"	Orange brown coarse to fine SAND, trace (+) Silt	loose, moist
	No groundwater encountered No indication of seasonal high groundwater	



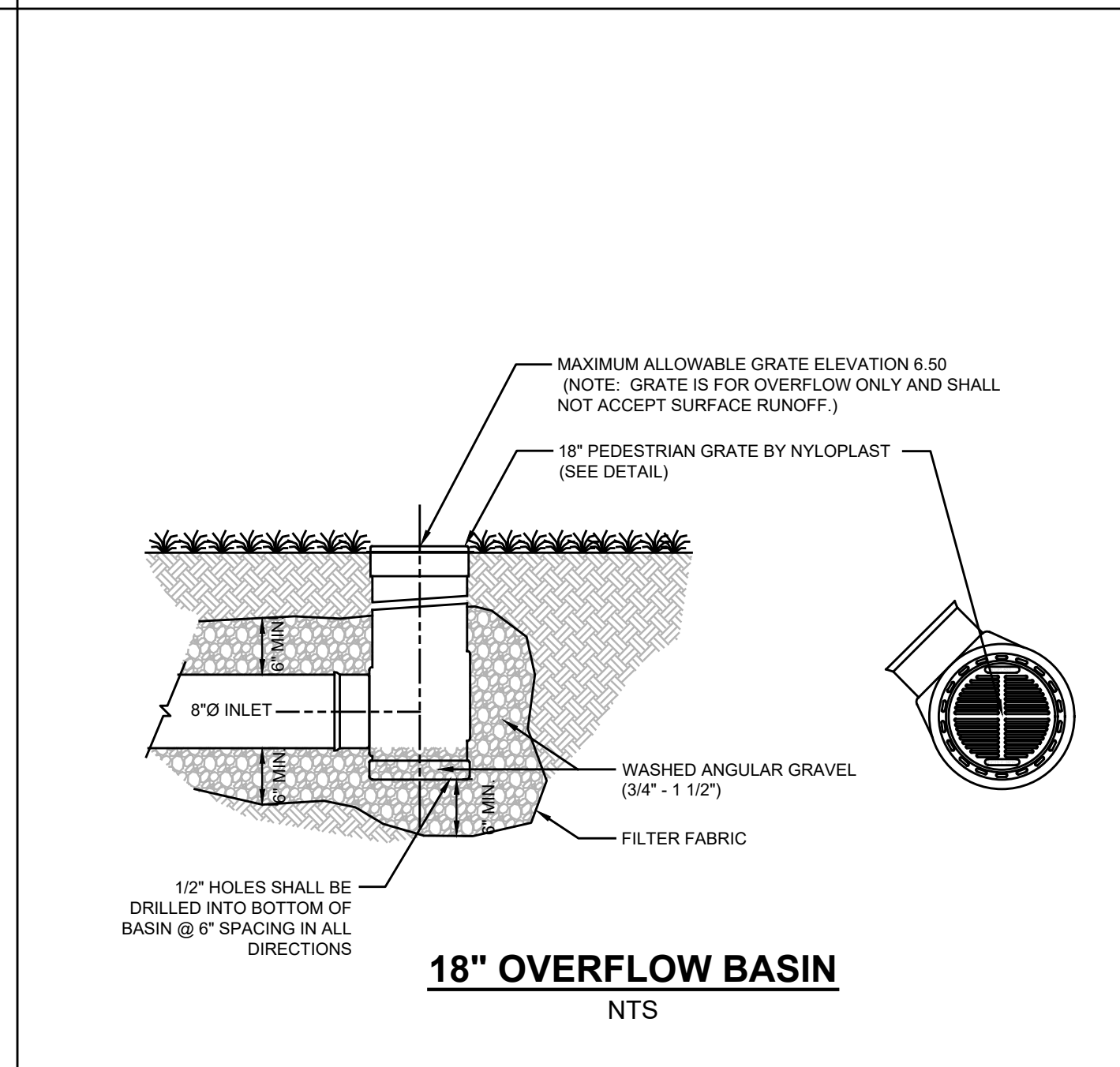
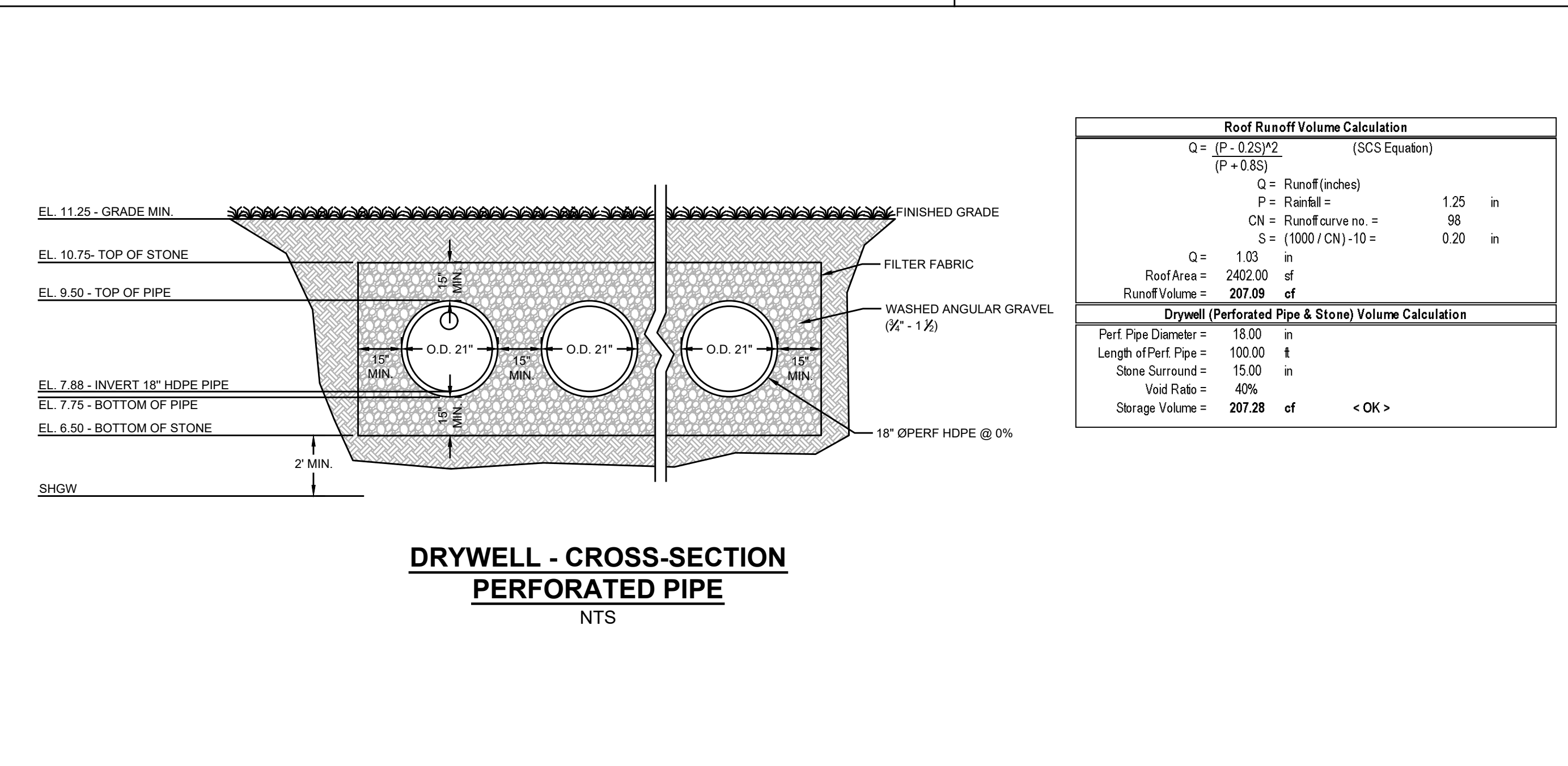
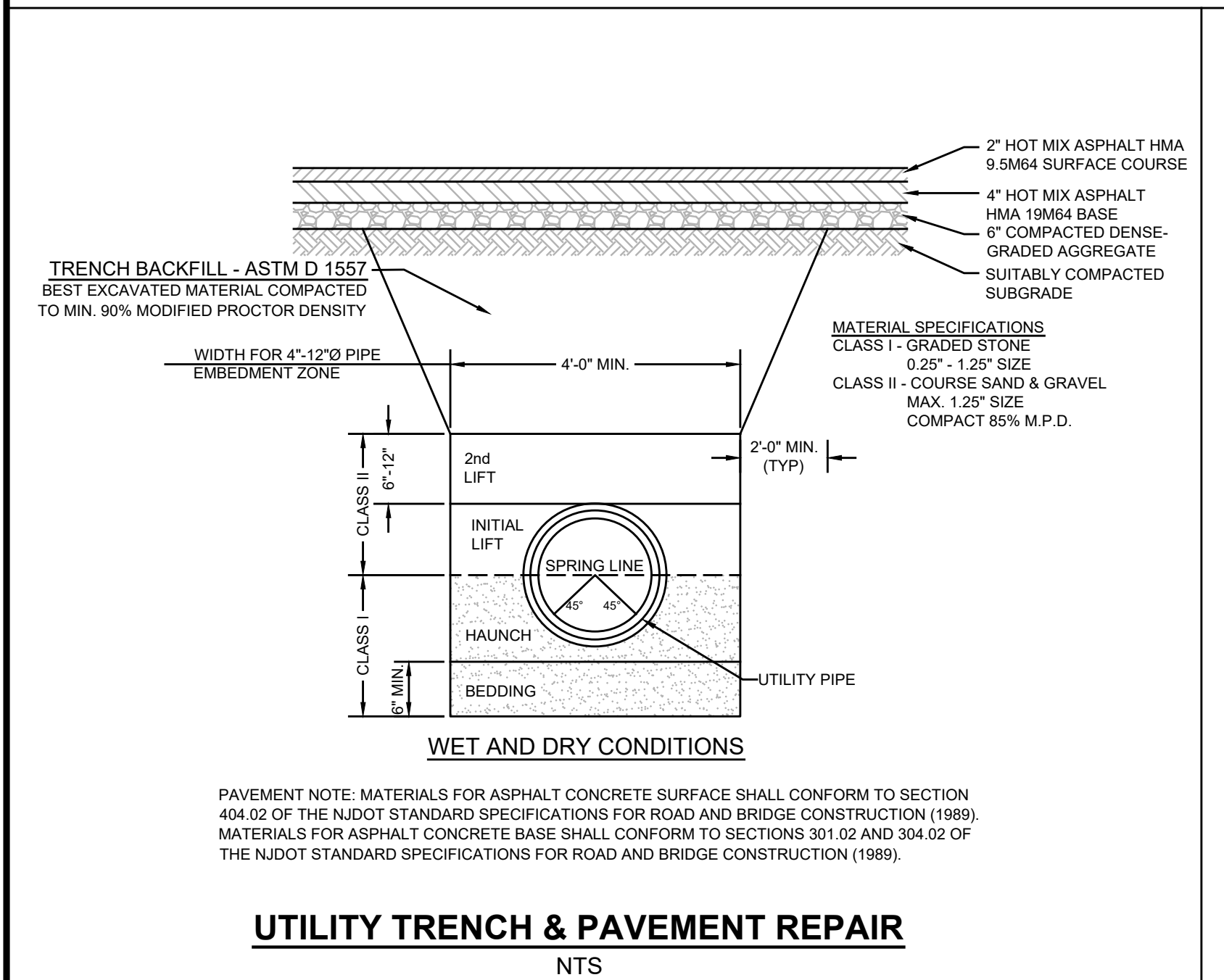
INSITE ENGINEERING, LLC
SINCE 2003

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
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APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE: **MINOR SUBDIVISION PLAN**

SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NO.: **3 OF 6**

PROJECT INFORMATION

PROJECT NAME

LAURINO
SUBDIVISION

PROJECT LOCATION

BLOCK 52, LOT 5
20 WINHAR PLACE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER

LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

APPLICANT

LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757

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OCEAN, NJ 07712

InSite Engineering, LLC

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InSite@InSiteEng.net www.InSiteEng.netCAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE
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JASON E. FICHTER, PE, PP, CFM, CME
PROFESSIONAL ENGINEER, PLANNER
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DEPE 3813 NYPE 802295 CTPE 23291
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MINOR SUBDIVISION

PLAN

SHEET TITLE:

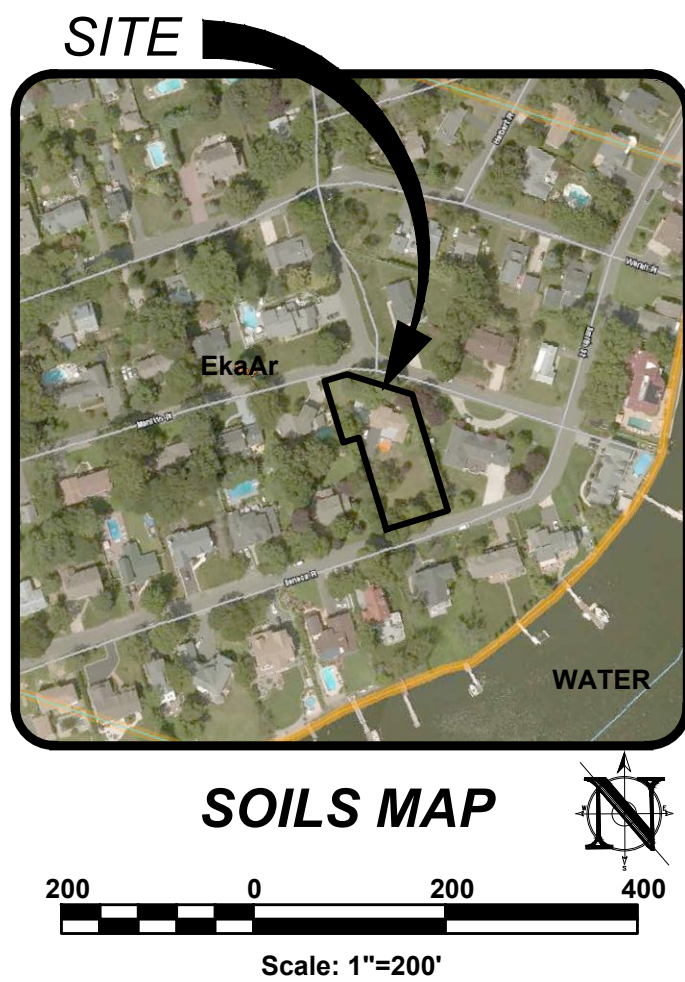
SOIL EROSION &

SEDIMENT CONTROL

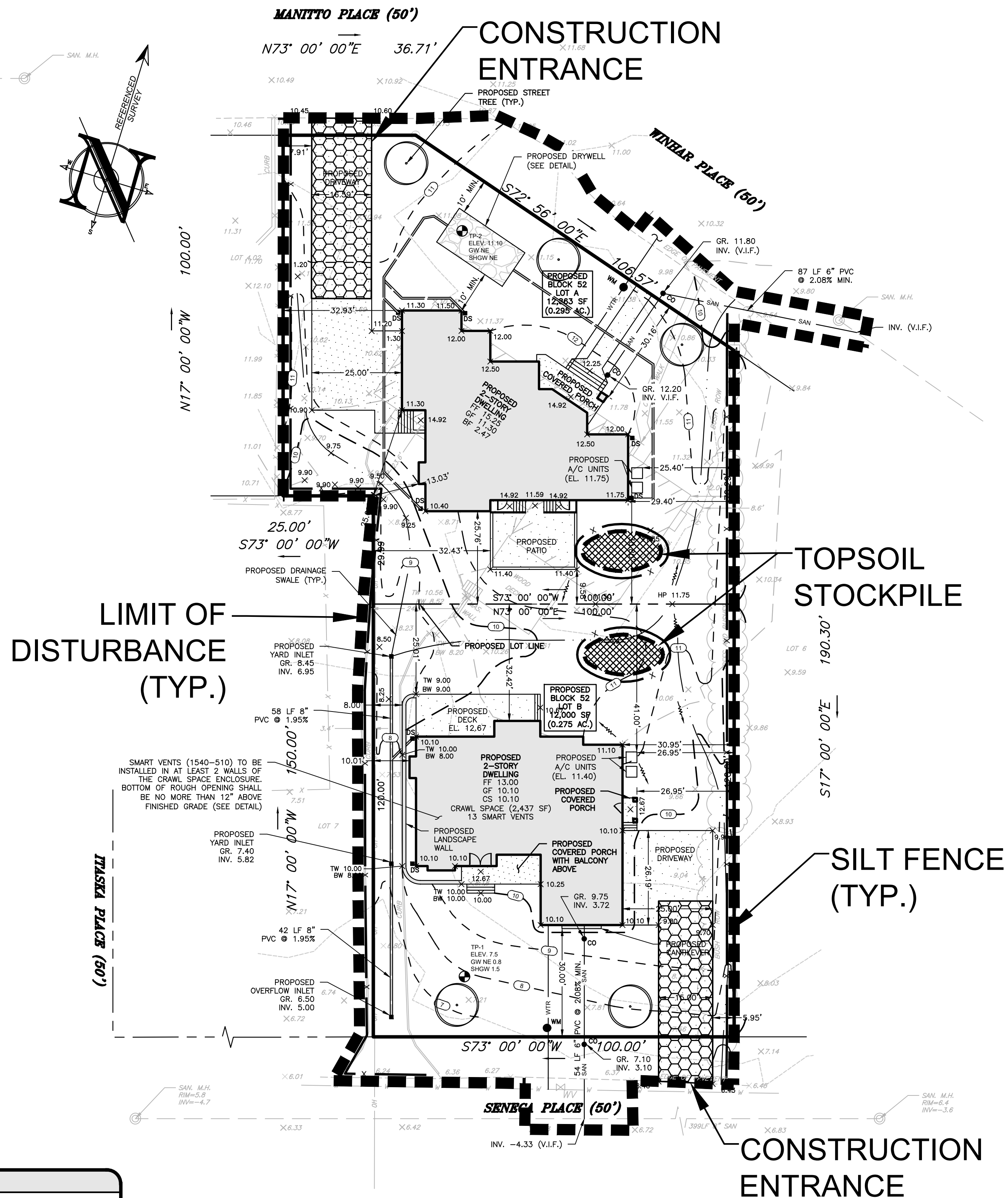
PLAN

SHEET NO.

4 OF 6



SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
EkaAr	ELKTON LOAM, 0 TO 2 PERCENT SLOPES, RARELY FLOODED	C/D



PROPOSED CONDITIONS PLAN

Scale: 1"=20'

LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE
VERIFY IN FIELD	VERIFY IN FIELD

SOIL EROSION LEGEND

LIMIT OF DISTURBANCE	
SILT FENCE	STABILIZED CONSTRUCTION ENTRANCE
INLET PROTECTION	RIP-RAP APRON, SCOUR HOLE
PROPOSED TREE PROTECTION	SOIL RESTORATION AREA
SOIL COMPACTION TEST LOCATION	

CONSTRUCTION / SPPP NOTE

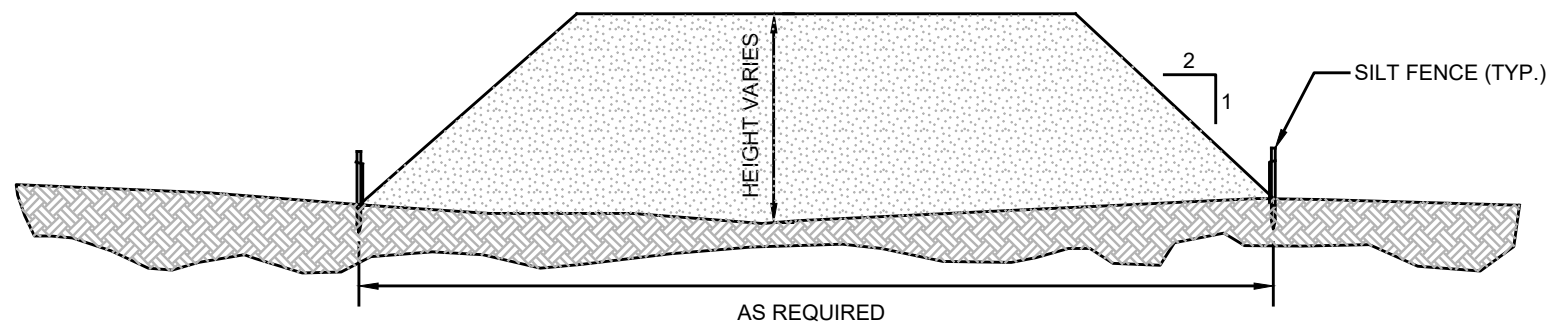
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

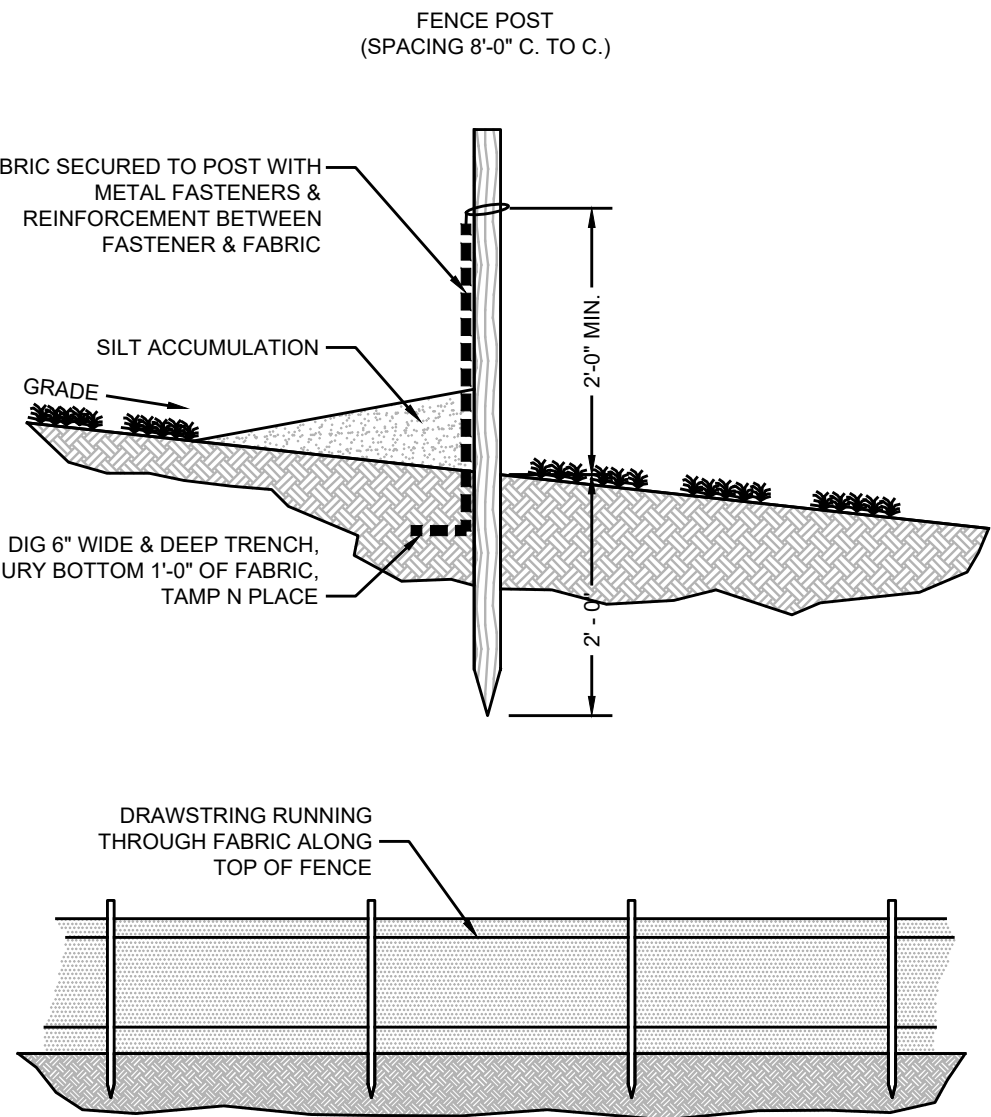
TOTAL LIMIT OF DISTURBANCE = 0.67 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" AS DEFINED BY THE NJDEP. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017), THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.

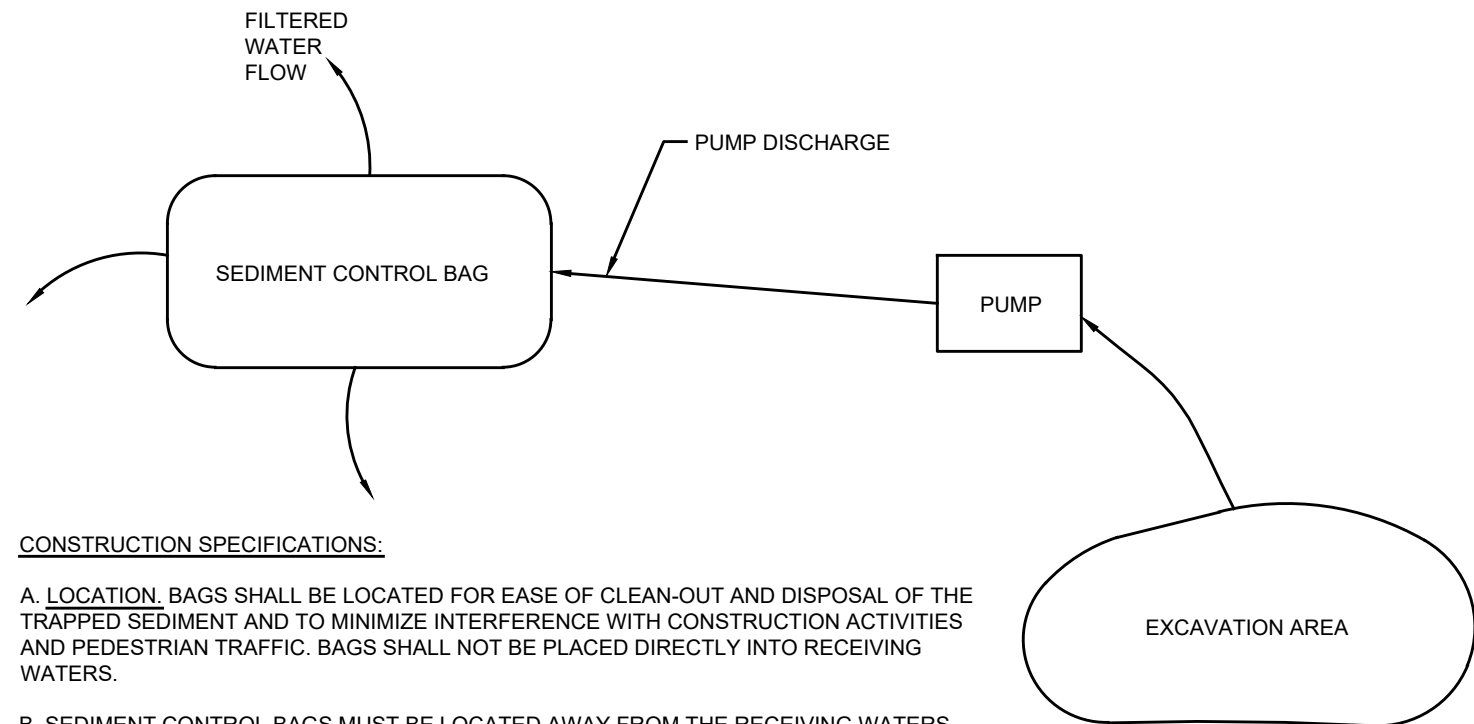


SECTION THROUGH SOIL STOCKPILE (TYP.)
NTS



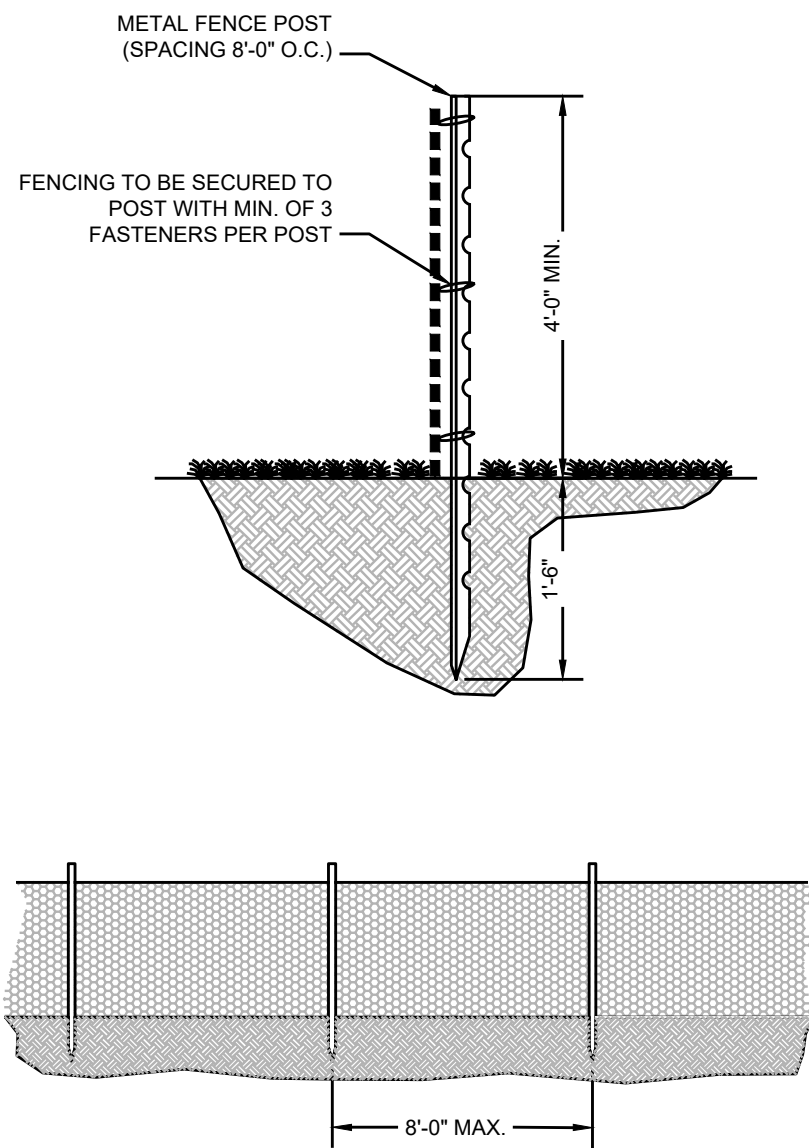
SILT FENCE DETAIL
NTS

- SEDIMENT BARRIER MAINTENANCE**
1. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
 2. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
 3. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DETERIORATION AND SEDIMENT REMOVAL.

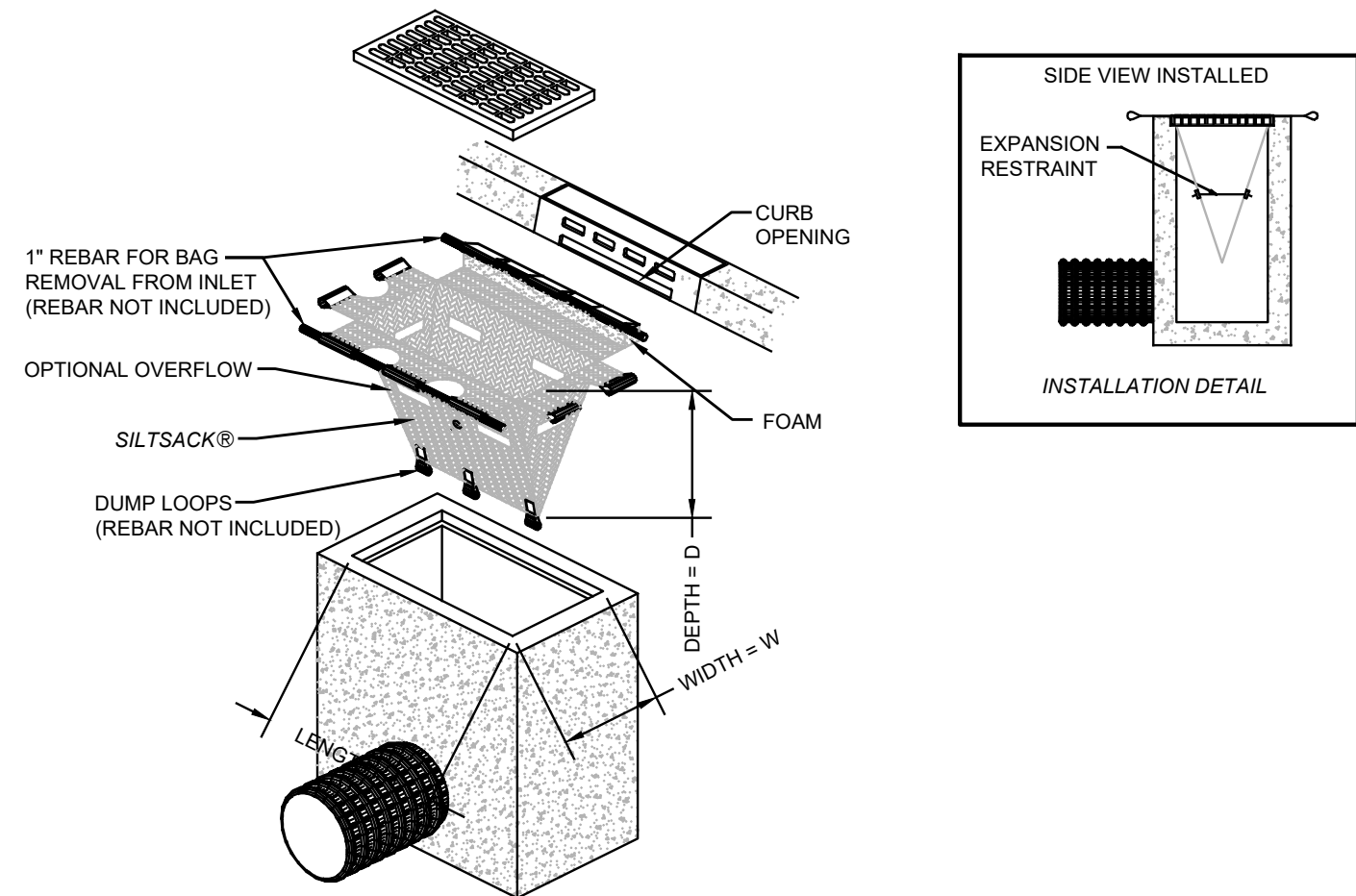


- CONSTRUCTION SPECIFICATIONS:**
- A. LOCATION, BAGS SHALL BE LOCATED FOR EASE OF CLEAN-OUT AND DISPOSAL OF THE TRAPPED SEDIMENT AND TO MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES AND PEDESTRIAN TRAFFIC. BAGS SHALL NOT BE PLACED DIRECTLY INTO RECEIVING WATERS.
- B. SEDIMENT CONTROL BAGS MUST BE LOCATED AWAY FROM THE RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES, AND DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS. BAGS MAY NOT BE REUSED.

SEDIMENT CONTROL BAG FOR DEWATERING
NOT TO SCALE

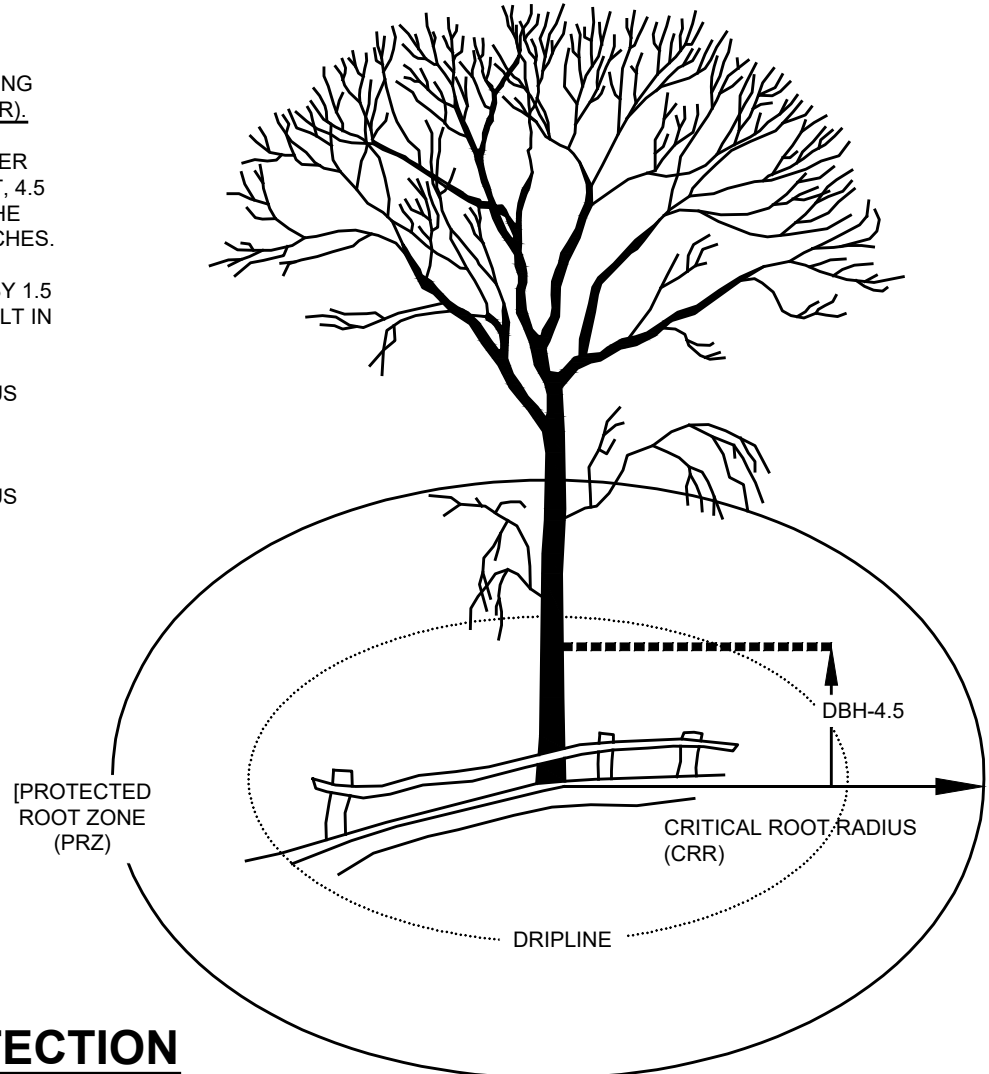


TREE PROTECTION FENCING
NTS

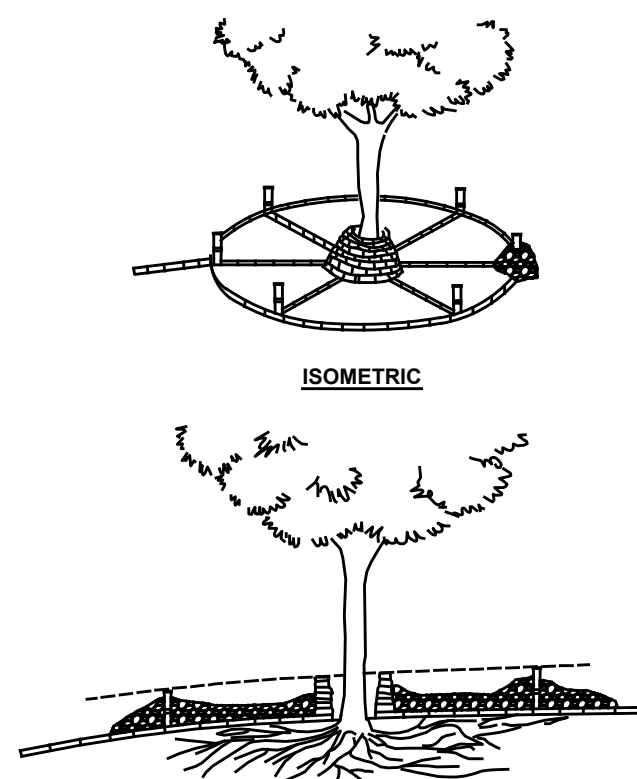


INLET PROTECTION DETAIL
NTS

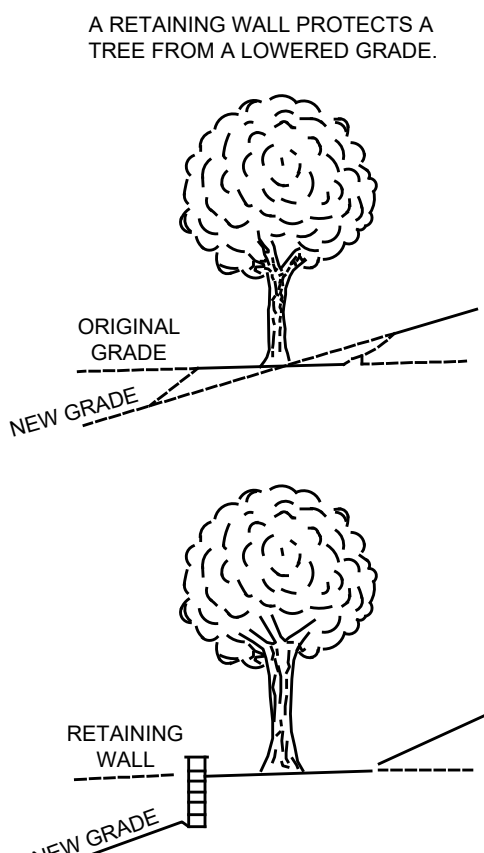
- ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).
1. MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
 2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.
- DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
- DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



TREE ROOT PROTECTION
NTS



TREE PROTECTION (FILL AREAS)
NTS



TREE PROTECTION (CUT AREAS)
NTS

PROJECT INFORMATION

PROJECT NAME: **LAURINO SUBDIVISION**

PROJECT LOCATION: **BLOCK 52, LOT 5
20 WINHAR PLACE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ**

OWNER: **LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757**

APPLICANT: **LAURINO, GENNA LEIGH
20 WINHAR PLACE
OCEANPORT, NJ 07757**

APPLICANT'S PROFESSIONALS

ATTORNEY: **DAVID J. HABER, ESQ.
1161 BROAD STREET, SUITE 112
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SURVEYOR: **INSITE SURVEYING, LLC
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INSITE
Engineering • Surveying • Planning

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MINOR SUBDIVISION PLAN		
SHEET TITLE:		
SESC NOTES & DETAILS		
SHEET NO. 6 OF 6		

May 8, 2025

VIA EMAIL

Stephanie Kramer, Acting Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Application No. PB2024-11
Review No. 2
20 Winhar Place
Block 52, Lot 5
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No.: OPP-0364

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Topographic Survey" prepared by InSite Surveying, LLC, dated October 17, 2018 consisting of one (1) sheet;
- Plan entitled "New Construction for Hemeway Construction, Winhar Place, Oceanport, NJ" prepared by Monteforte Architectural Studio, LLC dated January 27, 2025, consisting of four (4) sheets;
- Plan entitled "New Construction for Hemeway Construction, Seneca Place, Oceanport, NJ" prepared by Monteforte Architectural Studio, LLC dated January 27, 2025, consisting of four (4) sheets; and,
- Plan entitled "Minor Subdivision Plan" prepared by InSite Engineering, LLC, last revised April 28, 2025, consisting of six (6) sheets;

The subject property is a 24,863 SF (0.571 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the south side of the intersection of Winhar Place and Manitto Place. The property has frontage on Manitto Place, Winhar Place and Seneca Place. The Applicant is proposing to raze the existing dwelling, subdivide the parcel into two (2) lots, and construct two (2) single family dwellings.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below:

A. VARIANCES/DESIGN WAIVERS

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Lot Width – a minimum lot width of 120 feet is required, the existing lot is only 100 feet wide on Seneca Place, a pre-existing condition.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. GENERAL COMMENTS

1. A railing is required on the deck where the difference in grade between the ground and deck meets or exceeds 30”.
2. The Applicant has indicated that the subdivision will be filed by Deed. Metes and Bounds descriptions shall be submitted for review and approval.

3. The Applicant shall demonstrate how the building height was measured for each dwelling.
4. The new lot numbers shall be revised so Lot A is 5.01 and Lot B is 5.02.
5. The Applicant proposes a basement on Lot A and crawlspace on Lot B. The lowest floor shall be at least 2 feet above the Seasonal High Ground Water Table (SHGWT). Test pits are required to determine the elevation of the SHGWT.
6. Tree species and size along with a planting detail is required.

C. ADDITIONAL AGENCY APPROVALS

1. This Application is subject, but not limited to, the following outside agency approvals or letter of no jurisdiction:
 - a. New Jersey Department of Environmental Protection (NJDEP)
 - b. Monmouth County
 - c. Two River Water Reclamation Authority
 - d. New Jersey American Water
 - e. Freehold Soil Conservation District
 - f. New Jersey Natural Gas
 - g. JCP&L

Should you have any questions or require additional information regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/hlo

cc: David Haber, Esq., Applicant's Attorney (via email)
Jason Fitcher, P.E., Applicant's Engineer (via email)

R:\Projects\IM-P\Opp\OPP0364\Correspondence\OUT\250508_whw_Kramer_20 Winhar PI_Review No.2.docx

March 31, 2025

VIA EMAIL

Stephanie Kramer, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Review No. 1

Application No. PB2025-03

7 Sagamore Avenue – Bulk Variance - Block 16, Lot 11
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No.: OPP-0367

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled “Survey of Property,” prepared by Michael J. Williams Land Surveying, LLC, last dated October 12, 2023, consisting of one (1) sheet; and,
- Plans entitled “Joseph Sirianni,” prepared by Great Day Improvements, dated November 6, 2024, consisting of nine (9) sheets.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 10,000 SF (0.23 acres) on the north side of Sagamore Avenue approximately 156 feet west of Comanche Drive. The Applicant proposes a sunroom addition on the rear for the dwelling.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below:

A. VARIANCES/DESIGN WAIVERS

We offer the following comments for the Board’s consideration:

1. Bulk variances are required for the following:
 - a. A variance is required for the expansion of a non-conforming structure in accordance with Ordinance 390-10B(2)(b). The non-conformity is the principle structure rear yard setback

of 17.87 feet whereas 25 feet is required. The sunroom is proposed at a rear yard setback of 21.21 feet;

- b. Side Yard Setback, Accessory Structure - the R-3 Zone requires accessory structures to provide a side yard setback of 10 feet, the existing shed is currently 1.1 feet off the property line; and,
- c. Rear Yard Setback, Accessory Structure - the R-3 Zone requires accessory structures to provide a side yard setback of 5 feet, the existing shed is currently 0.2 feet off the rear property line.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. GENERAL COMMENTS

1. The Applicant shall provide computations of the Building and Impervious coverages to demonstrate compliance with the zone requirements or request the necessary variance(s);
2. If approved, a signed and sealed copy of the survey shall be provided to the Board Secretary; and,
3. The Applicant shall clarify if the remainder of the concrete patio should remain.

Should you have any questions or require additional information regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.



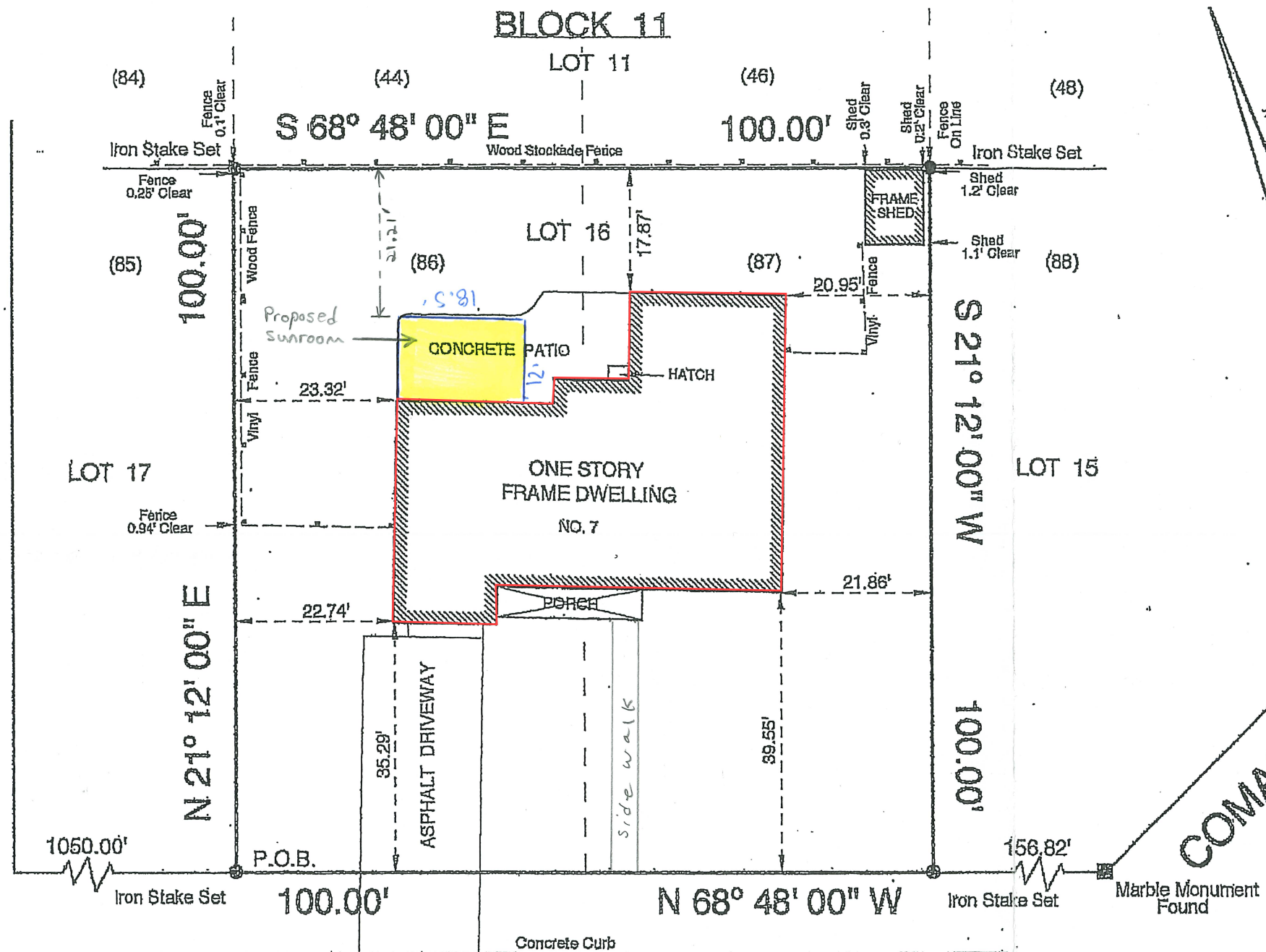
William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/hlo

cc: Kevin Kennedy, Esq. (via email)
Joseph Sirianni, Applicant (via email)

R:\Projects\M-P\Opp\OPP0367\Correspondence\OUT\250331_whw_Kramer_7 Sagamore Avenue_Review No.1.docx

PORT - AU - PECK AVENUE
(A.K.A.: PORTAUPECK AVENUE)



SAGAMORE AVENUE
(50' WIDE RIGHT OF WAY)

PREMISES KNOWN AS LOTS 86 AND 87 IN BLOCK 12 AS SHOWN ON A CERTAIN CERTAIN MAP ENTITLED "PERFECTED AND AMENDED MAP OF PROPERTY, KNOWN AS PORTAUSPECK, MONMOUTH COUNTY, N.J." DATED SEPTEMBER 3, 1907, REVISED TO JUNE 21, 1920 AND FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON NOVEMBER 11, 1920 AS CASE 23 SHEET 8.

PREMISES BEING ALSO KNOWN AND DESIGNATED
AS LOT 16 IN BLOCK 11 AS SHOWN ON THE TAX
MAP OF THE BOROUGH OF OCEANPORT.

LOT AREA: 10,000 SQUARE FEET.

TO: JOSEPH SIRIANNI AND ANN MARIE SIRIANNI; FIRST
AMERICAN TITLE INSURANCE COMPANY; COASTAL
TITLE AGENCY, INC. (CT-77639); PETER S. FALVO, JR.,
ESQUIRE; ANSELL, GRIMM & AARON, PC

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS THE RESULT OF A FIELD SURVEY MADE ON OCTOBER 12, 2023, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS".

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS, OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS CERTIFICATION IS GIVEN SOLELY TO THE ABOVE
NAMED PARTIES.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A
RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT
IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND
MAY HAVE BEEN ALTERED.

MICHAEL J. WILLIAMS PROFESSIONAL LAND SURVEYOR NEW JERSEY LICENSE NO. 25800 <i>Michael J. Williams</i>	DRAWN BY: M.J.W.. FIELD SURVEY BY: M.J.W. & S.G.W.		SURVEY OF PROPERTY	
	REVISIONS NO. DATE 		7 SAGAMORE AVENUE BOROUGH OF OCEANPORT MONMOUTH COUNTY NEW JERSEY	
PROFESSIONAL PLANNER NEW JERSEY LICENSE NO. 3915	SCALE: 1" = 20' DATE: OCTOBER 12, 2023		MICHAEL J. WILLIAMS LAND SURVEYING, LLC CERTIFICATE OF AUTHORIZATION NO. 24GA28150500 58 MAIN AVENUE OCEAN GROVE NEW JERSEY 07756 TEL (732) 988 - 6440 FAX (732) 502-0669	
	FIELD BOOK: SEE FILE D.D.I: S - 320 DRAWING NO.: A - 8066			

MINIMUM DESIGN LOADS: PER 2021 IRC W/ NJ
AMENDMENTS

SUNROOM CATEGORY II (PER 2021 IRC R301.2.1.1.1
& AAMA / NPEA / NSA 2100)

NOTE: COMPONENTS HAVE BEEN CHECKED
AGAINST DESIGN LOADS SHOWN & FOUND
TO BE ACCEPTABLE STRUCTURALLY

DEAD LOADS:

- 1. ROOF: 6 PSF
- 2. WALLS: 6 PSF
- 3. FLOOR: 12 PSF

SNOW LOADS: GROUND SNOW LOAD 20 PSF

ULTIMATE DESIGN WIND SPEED: 118 MPH, 3 SEC. GUSTS

LIVE LOADS:

- 1. ROOF: 20 PSF
- 2. FLOOR: 40 PSF

DEFLECTION LIMITS:

- 1. ROOF: L/120 (PER 2021 IRC TABLE R301.7 NOTE C)
- 2. WALLS: L/175
- 3. FLOOR: L/240 (TOTAL LOAD), L/360 (LIVE LOAD)

ALLOWABLE SOIL PRESSURE CONSIDERED
(PRESUMPTIVE) = 1500 PSF

THIS THERMALLY ISOLATED SUNROOM IS
UNCONDITIONED AND NOT HABITABLE

THIS SUNROOM AND FOUNDATION HAVE BEEN EVALUATED
FOR DESIGN LOADS REQUIRED BY THE IRC CODE. THIS
INCLUDES ALL MATERIALS, COMPONENTS, CONNECTIONS,
AND ATTACHMENTS WHEN CALCULATING THE LOAD
REQUIREMENTS.

NOTES:

1. ALLVIEW (AAS) SUNROOM; WHITE IN COLOR
2. CONSTRUCT SUNROOM ON EXISTING CONCRETE (BY CUSTOMER)
3. ELECTRICAL BY GDI
4. CONCRETE
 - A) CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
 - B) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. EXTERIOR FLOORS AND EXPOSED CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI AND 5% TO 7% AIR ENTRAINMENT.
5. WOOD
 - A) MATERIALS - FRAMING LUMBER
 - i) WOOD POSTS: NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - ii) 2x8, 2x10, 2x12 NO. 2 GRADE (OR BETTER) SOUTHERN PINE OR DOUGLAS FIR
 - B) WOOD MEMBERS SHALL BE PRESSURE-TREATED FOR THE FOLLOWING CONDITIONS:
 - i) IN DIRECT CONTACT WITH THE GROUND
 - ii) SILLS OR PLATES ON CONCRETE WITHIN 8" OF FINISHED GRADE
 - iii) JOISTS AND SUBFLOORS WITHIN 18" OF FINISH GRADE AND BEAMS WITHIN 12" OF FINISH GRADE
 - iv) EXPOSED EXTERIOR DECKS
 - C) FASTENERS
ALL FASTENERS AND HARDWARE USED TO CONNECT TO PRESSURE TREATED WOOD MEMBERS SHALL EITHER BE 304 OR 316 STAINLESS STEEL, OR HOT DIPPED GALVANIZED PER ASTM-A653 COATING DESIGNATION G-185 AND ASTM-A153
6. STRUCTURAL ALUMINUM
 - A) ALL EXTRUSIONS SHALL BE COMMERCIAL GRADE ALUMINUM SUPPLIED BY GREAT DAY IMPROVEMENTS, LLC.
 - B) ROOF PANELS SHALL BE 3" OR 6" THICK SUPER FOAM ROOF PANELS FACED WITH A 0.024" ALUMINUM SKIN TOP AND BOTTOM.
7. THIS SUNROOM IS CONSIDERED AS NON-CONDITIONED SPACE, EXEMPT FROM ENERGY REQUIREMENTS (PER 2021 IRC SECTION N1102.1, NOTE 1.2)

GREAT DAY IMPROVEMENTS
PATIO ENCLOSURES, PHILADELPHIA
SIRIANNI RESIDENCE

SHEET #	DESCRIPTION
1	COVER
2	ELEVATION "B" WALL
3	ELEVATION "A" & "C" WALL
4	CONCRETE PLAN
5	ELECTRCAL PLAN
5	FLOOR PLAN
7	ROOF PLAN
8	SYSTEM DETAILS
9	SYSTEM DETAILS

DATE	11/6/24	-
DRAWN	WAR	-
SCALE	NTS	-
SHEET	1 OF 9	-

JOSEPH SIRIANNI
7 SAGAMORE AVENUE
OCEANPORT, NJ 07757
JOB #42283

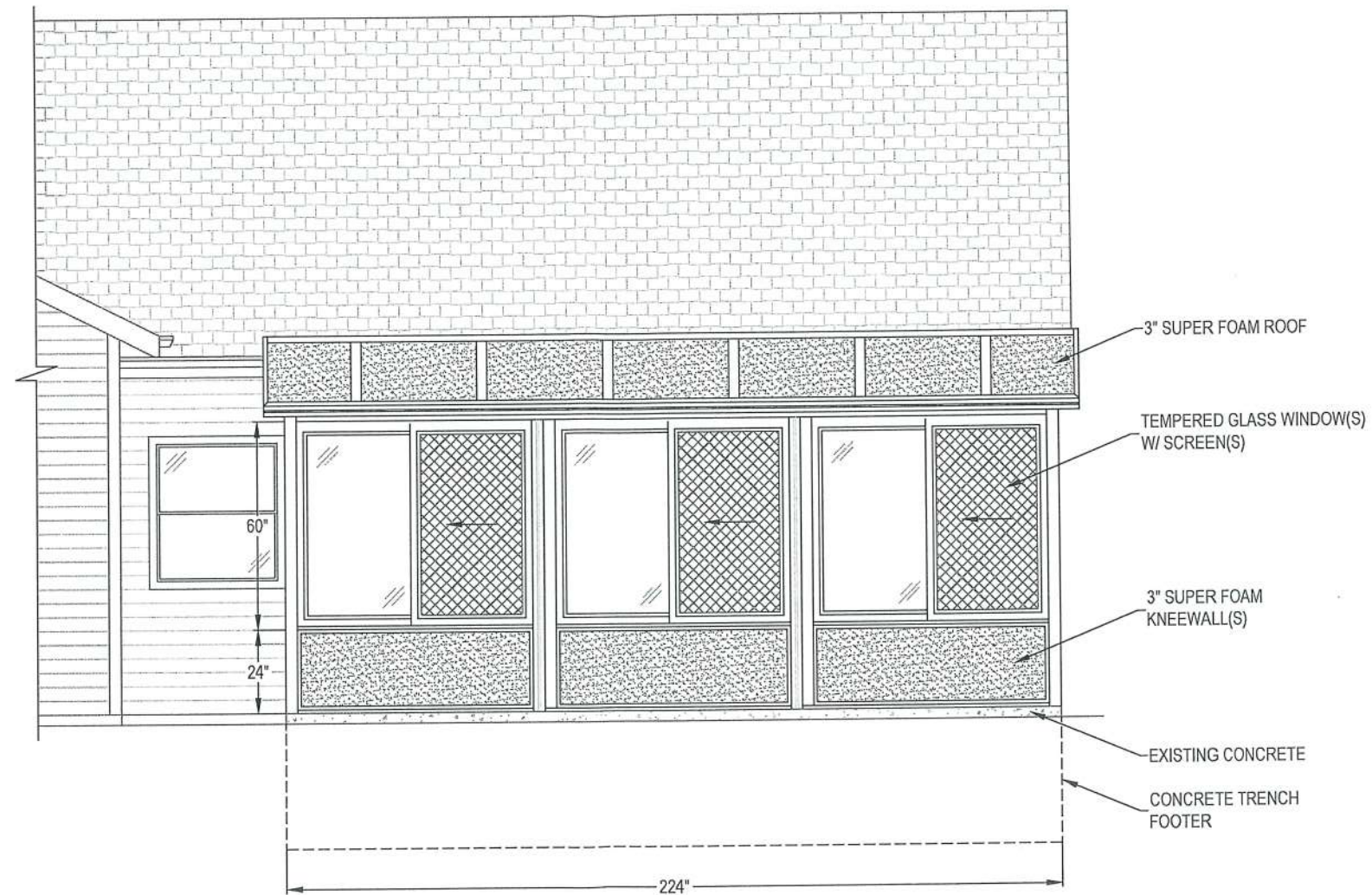
PHILADELPHIA
268 DUNKSFERRY ROAD
BENSALEM, PA 19020
215-245-1100



Great Day
Improvements

JAMES A. CLANCY, P.E., L.S.
NJ. PROFESSIONAL ENGINEER
(NJ. LIC. #33998)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306

THIS DRAWING IS PROPERTY OF GREAT DAY IMPROVEMENTS, LLC., AND DUPLICATION OF THIS DRAWING WITHOUT OUR EXPRESSED WRITTEN CONSENT IS PROHIBITED. ALL RIGHTS RESERVED.



DATE	11/6/24	-
DRAWN	WAR	-
SCALE	1/4" = 1'-0"	-
SHEET	2 OF 9	-

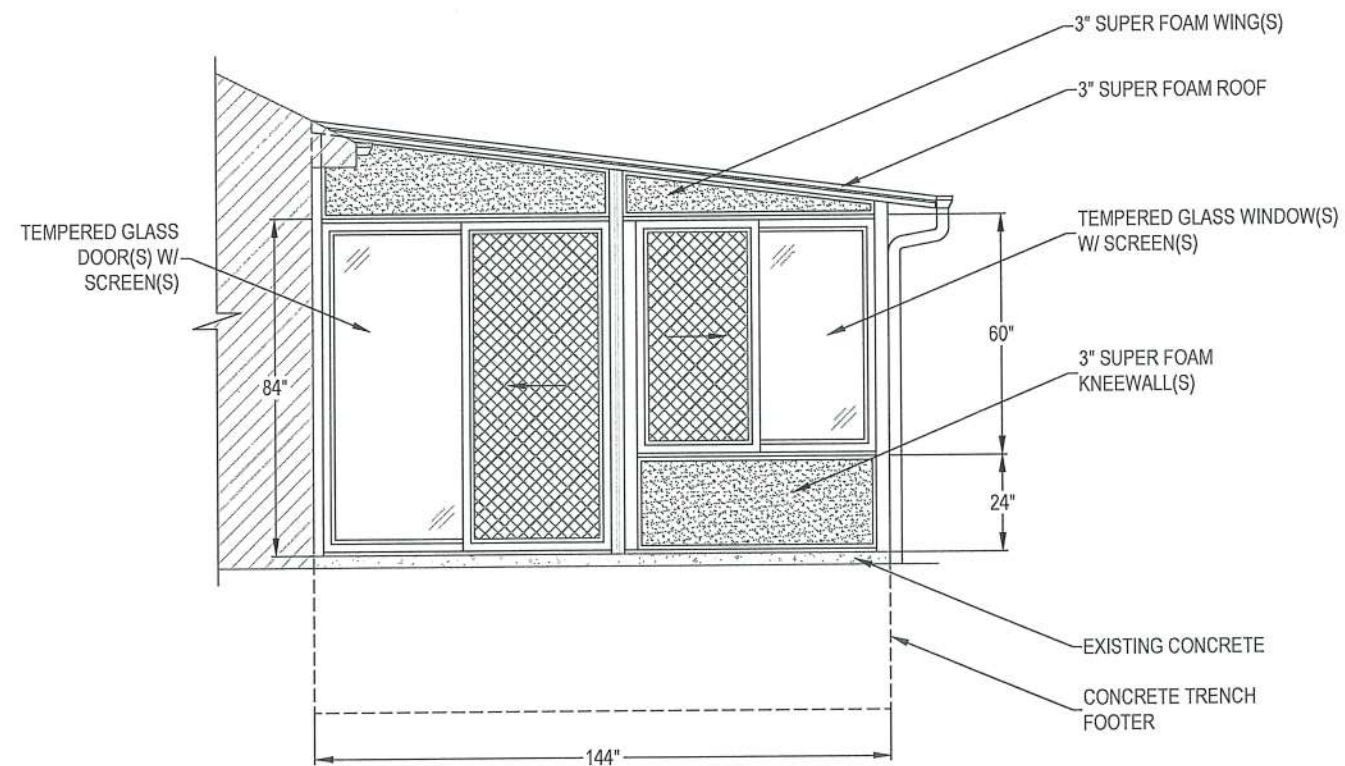
JOSEPH SIRIANNI
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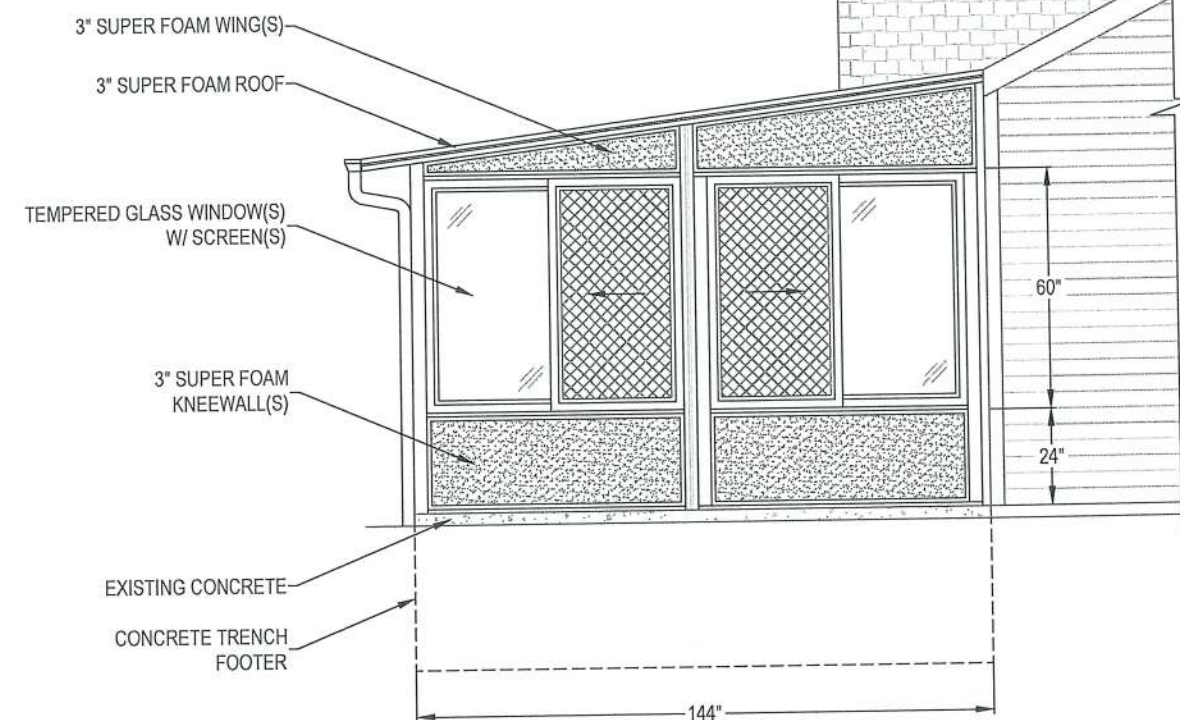


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ELEVATION - "A" WALL



ELEVATION - "C" WALL

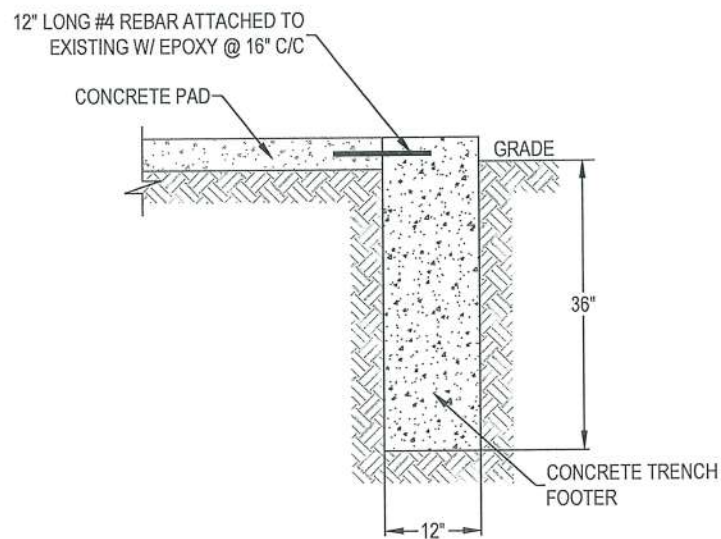
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DRAWN	WAR	-
SCALE	1/4" = 1'-0"	-
SHEET	3 OF 9	-

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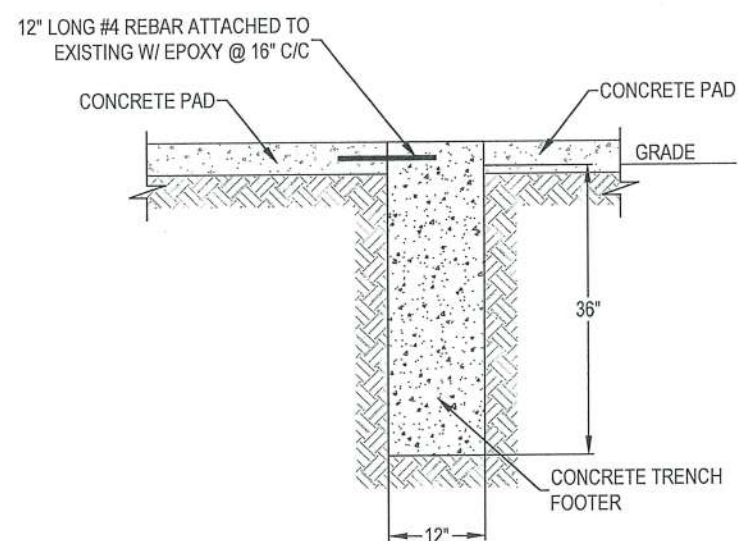
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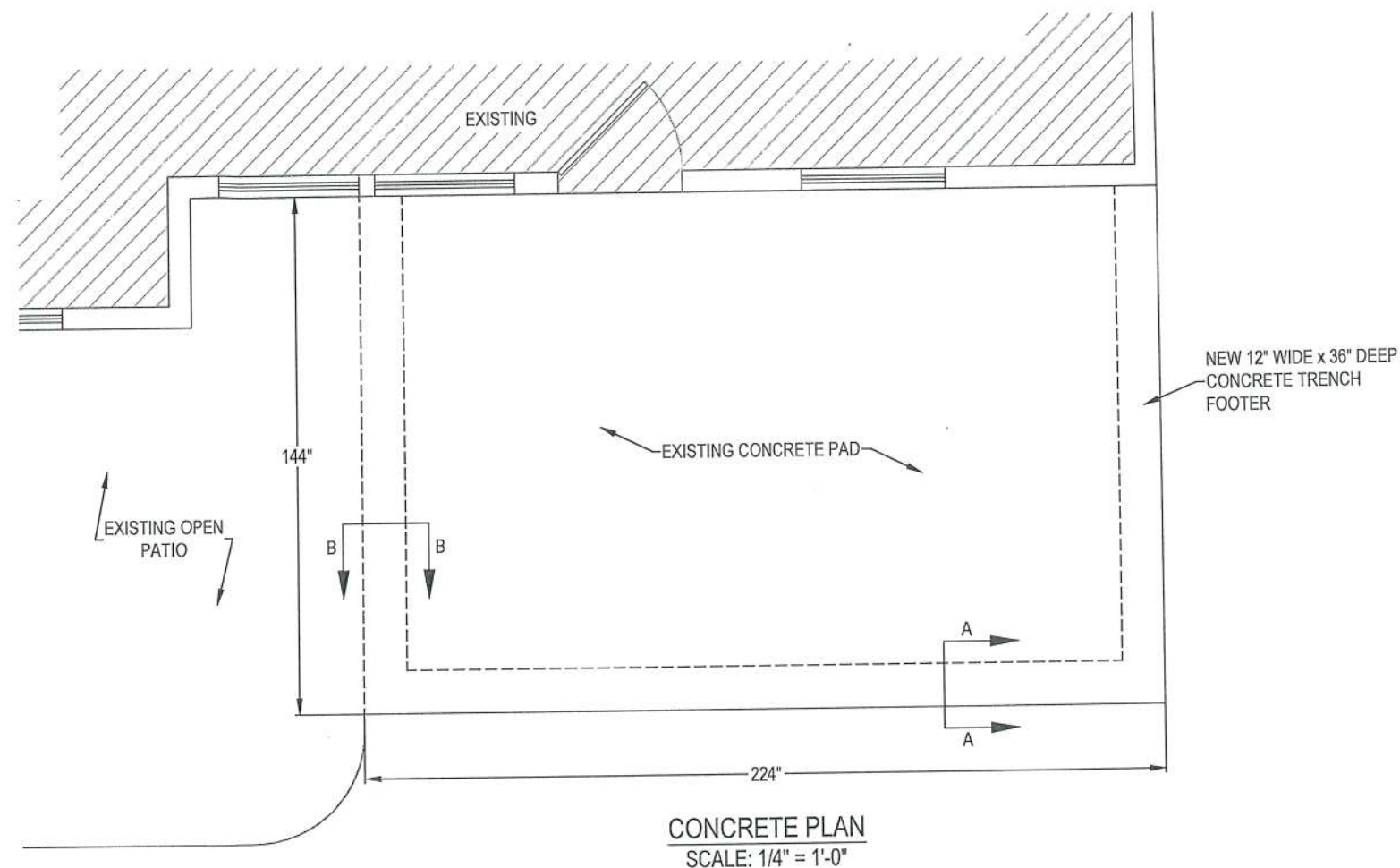
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SECTION A-A
SCALE: 1/2" = 1'-0"



SECTION B-B
SCALE: 1/2" = 1'-0"



CONCRETE PLAN
SCALE: 1/4" = 1'-0"

NOTE: CONCRETE BY OWNER

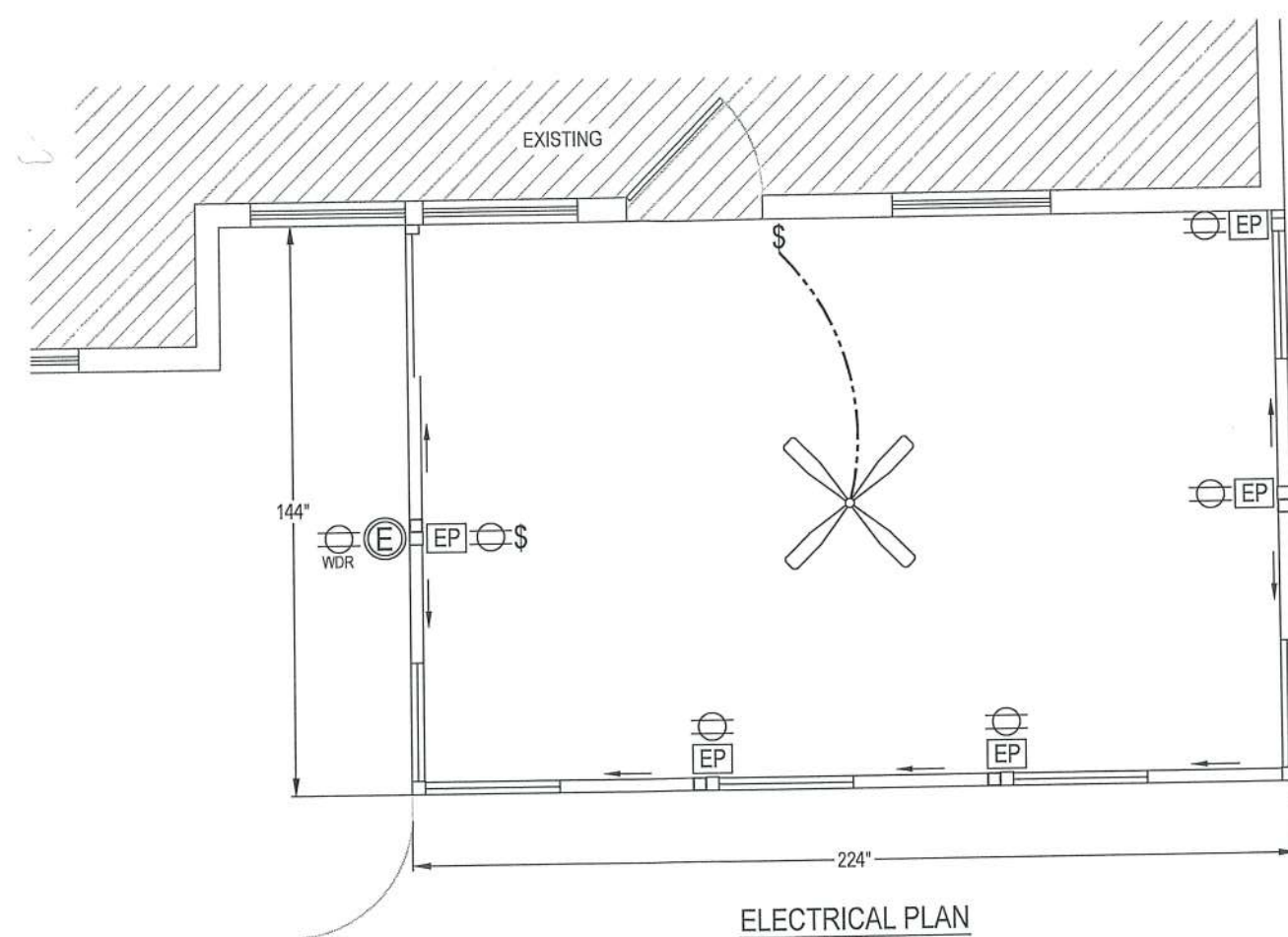
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DRAWN	WAR	-
SCALE	AS NOTED	-
SHEET	4 OF 9	-

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GDI ELECTRICAL SYMBOL LEGEND

- EP ELECTRICAL RACEWAY POST
- ⊕ DUPLEX RECEPTACLE
- ⊕ WDR WEATHERPROOF DUPLEX RECEPTACLE (W/ GFCI)
- ⓔ EXIT LIGHT
- \$ SWITCH
- ⊗ CEILING FAN
- LINE FROM SWITCH TO FIXTURE CONTROLLED

DATE	11/6/24	-
DRAWN	WAR	-
SCALE	1/4" = 1'-0"	-
SHEET	5 OF 9	-

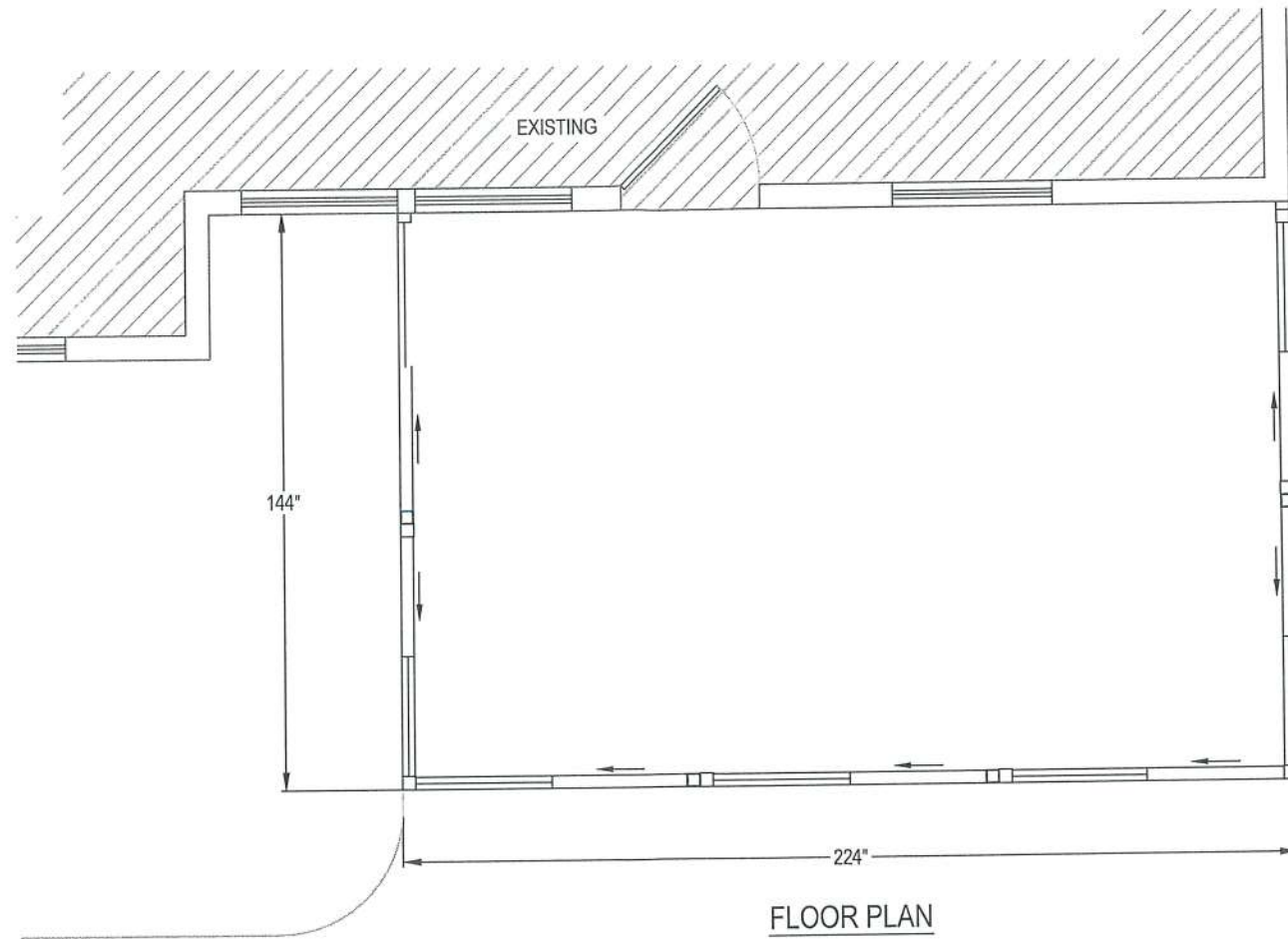
JOSEPH SIRIANNI
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ENGINEER'S STAMP APPLIES TO
SUNROOM STRUCTURE ONLY;
ELECTRICAL BY OTHERS

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DATE	11/6/24	-
DRAWN	WAR	-
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SHEET	6 OF 9	-

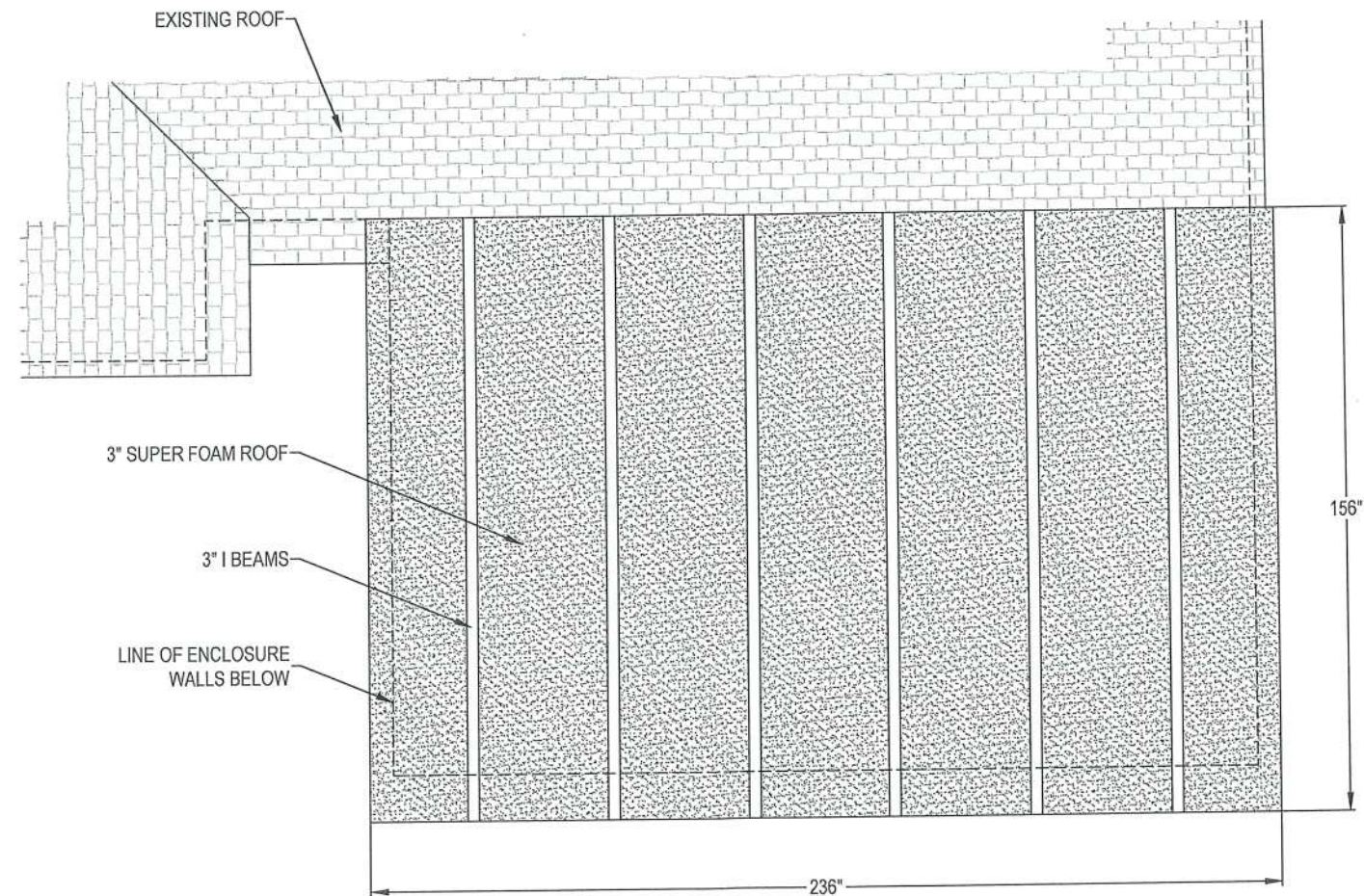
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ROOF PLAN

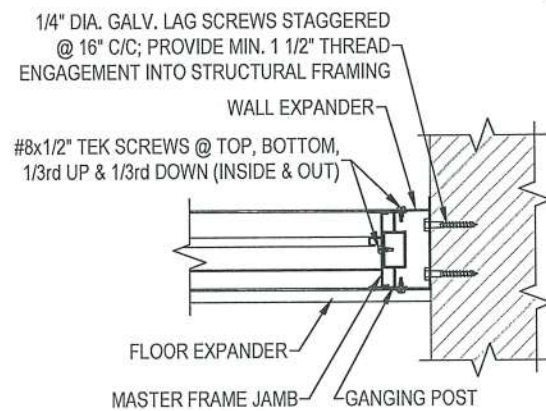
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DRAWN	WAR	-
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SHEET	7 OF 9	-

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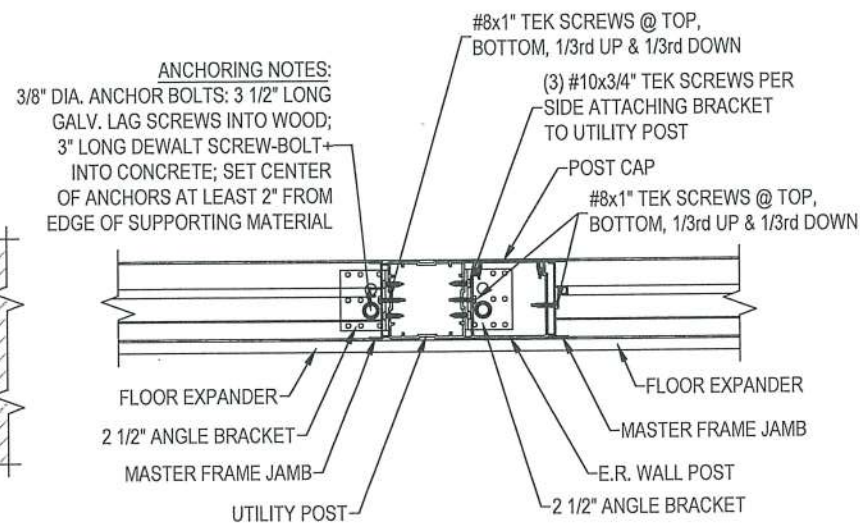
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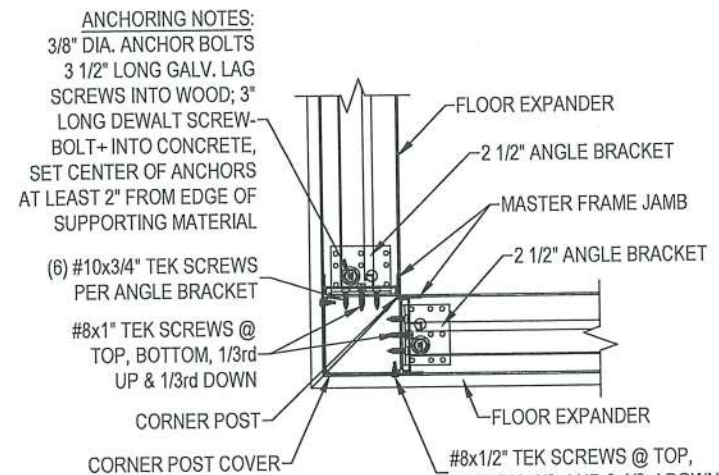
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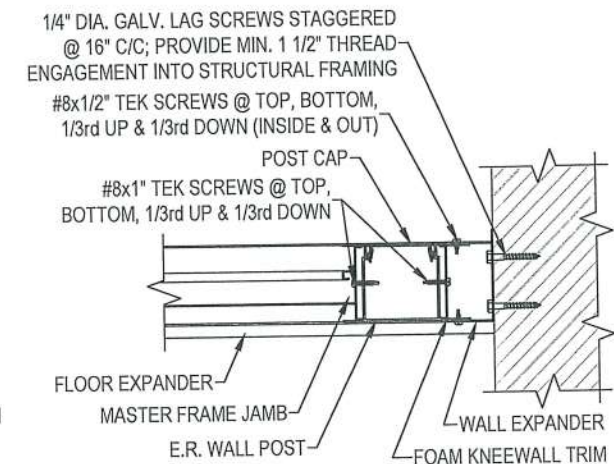
PLAN VIEW OF MASTER FRAME JAMB
CONNECTION @ EXISTING WALL



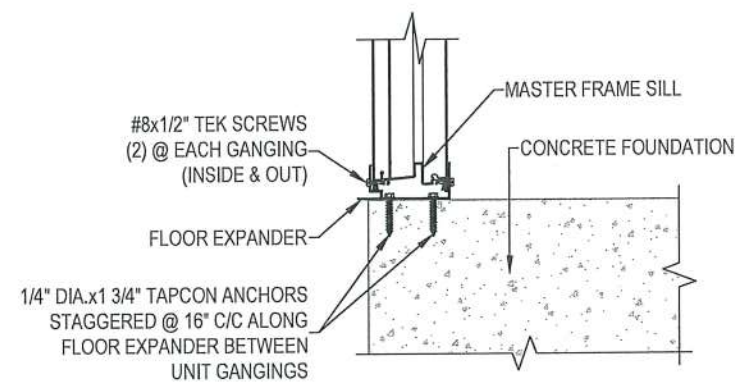
PLAN VIEW OF MASTER FRAME JAMBS & E.R.
WALL POST CONNECTIONS @ UTILITY POST



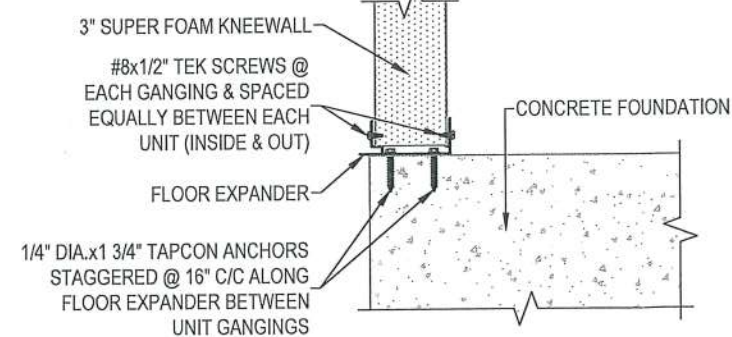
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ CORNER POST



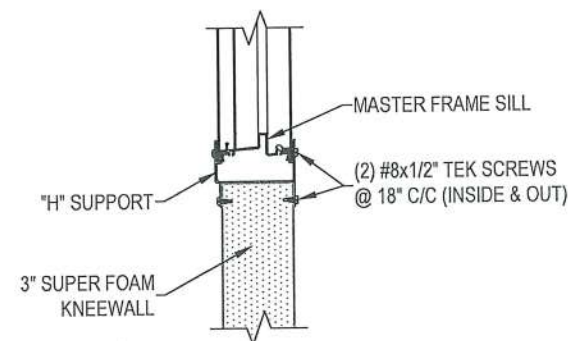
PLAN VIEW OF MASTER FRAME JAMB & E.R.
WALL POST CONNECTION @ EXISTING WALL



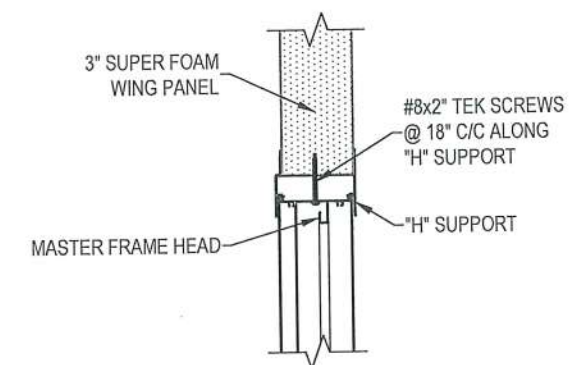
SECTION THROUGH MASTER FRAME SILL
CONNECTION @ CONCRETE FOUNDATION



SECTION THROUGH FOAM KNEEWALL
CONNECTION @ CONCRETE FOUNDATION



SECTION THROUGH MASTER FRAME SILL
CONNECTION @ FOAM KNEEWALL



SECTION THROUGH MASTER FRAME
HEAD CONNECTION @ FOAM WING

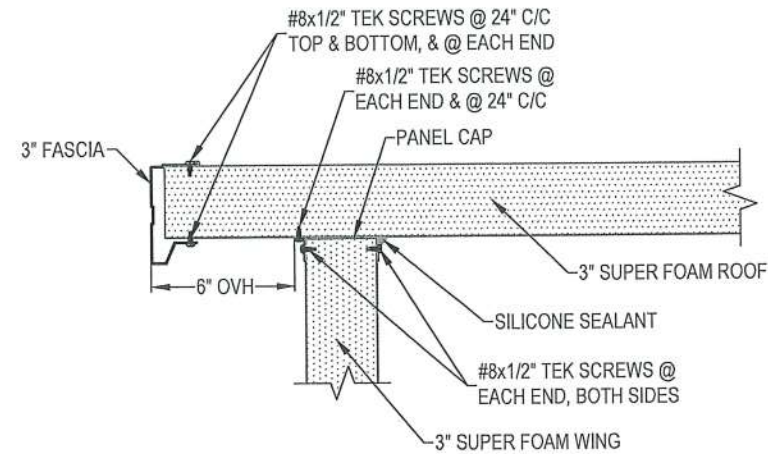
DATE	11/6/24
DRAWN	WAR
SCALE	1 1/2" = 1'-0"
SHEET	8 OF 9

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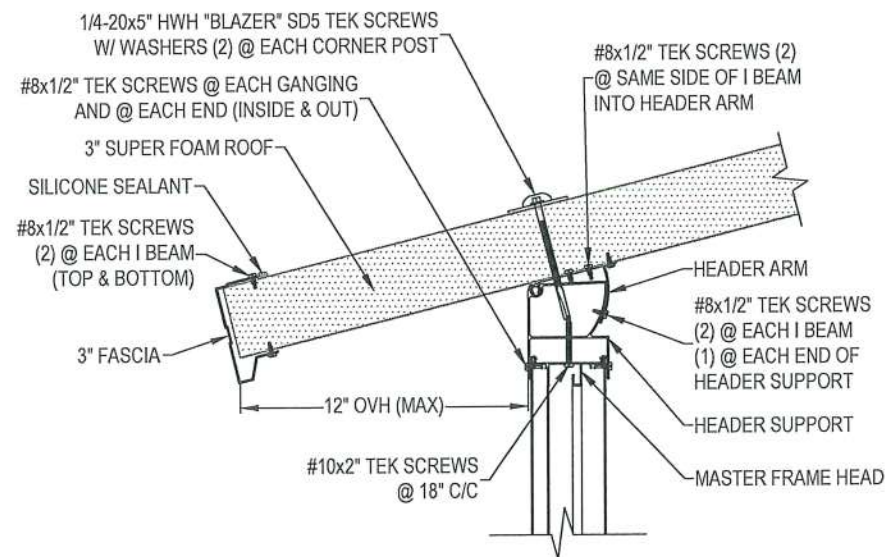
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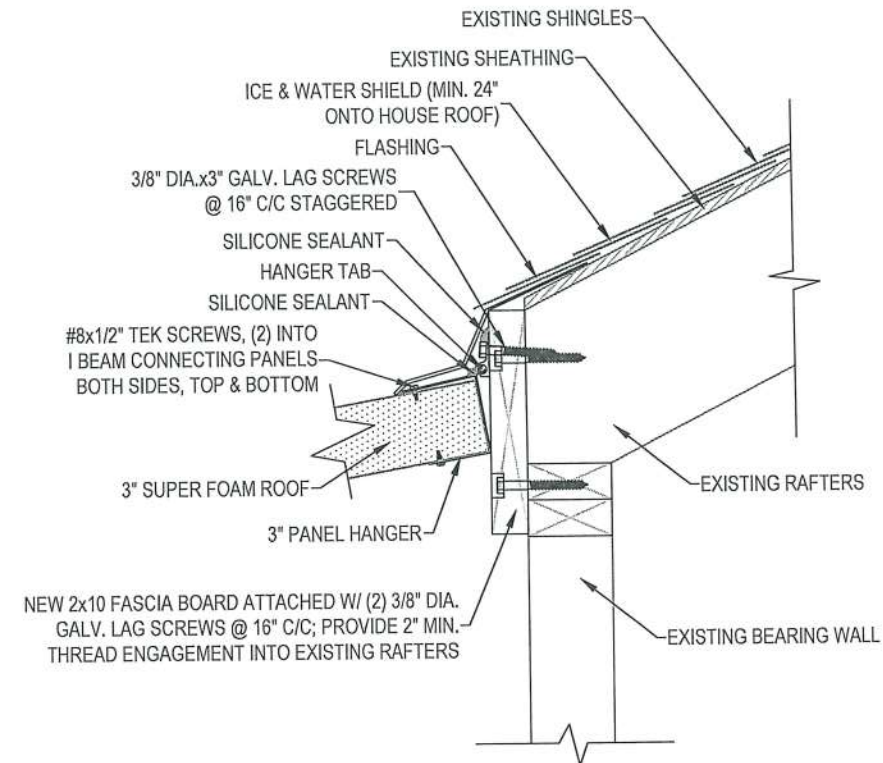
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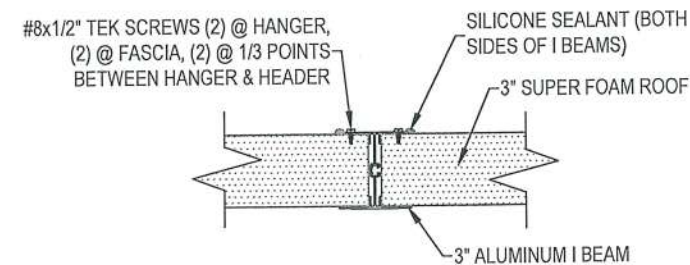
SECTION THROUGH 3" SUPER FOAM ROOF PANEL
CONNECTION @ 3" SUPER FOAM WING PANEL



SECTION THROUGH MASTER FRAME & HEADER
CONNECTION @ 3" SUPER FOAM ROOF



SECTION THROUGH 3" SUPER FOAM ROOF & PANEL HANGER
ASSEMBLY CONNECTION @ OVERHANG CUT OFF



SECTION THROUGH 3" ROOF
CONNECTION @ I BEAM

DATE	11/6/24	-
DRAWN	WAR	-
SCALE	1 1/2" = 1'-0"	-
SHEET	9 OF 9	-

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7 SAGAMORE AVENUE
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JOB #42283

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(N.J. LIC. #33998)
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PH. # 856-853-7306

April 1, 2025

VIA EMAIL

Stephanie Kramer, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Review No. 1

Application No. PB2025-04

76 Seneca Place – Bulk Variance - Block 53, Lot 8
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No.: OPP-0366

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Resolution of Approval dated April 7, 1999;
- Plan entitled "Survey of Property," prepared by Charles Surmonte P.E. & P.L.S, last dated October 19, 2021, consisting of one (1) sheet; and,
- Plans entitled "Hopkins Residence," prepared by Anthony M. Condouris Architect, Inc., dated July 25, 2024, last revised February 18, 2025, consisting of three (3) sheets.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 14,105 SF (0.32 acres) on the south side of Seneca Place approximately 550 feet east of Comanche Drive. The Applicant proposes a second story addition and renovation to numerous rooms.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below.

A. VARIANCES/DESIGN WAIVERS

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. A variance is required for the expansion of a non-conforming structure in accordance with Ordinance 390-10B(2)(b). The existing non-conformities are the principal structure front

yard setback of 29.2 feet whereas 30 feet is required and side yard setback of 2.8 feet where 10 feet are required; and,

- b. Side Yard Setback, Accessory Structure - the R-3 Zone requires accessory structures to provide a side yard setback of 10 feet, the existing shed is currently 1.0 feet off the property line.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. GENERAL COMMENTS

1. If approved, a signed and sealed copy of the survey shall be provided to the Board Secretary.
2. The property is situated within the AE10 flood zone. The Applicant is requested to provide clarification regarding the status of the Flood Development Permit Application, as the extent of the proposed improvements may be classified as a Substantial Improvement. This classification could necessitate bringing the structure into compliance with the Flood Damage Prevention Ordinance.

Should you have any questions or require additional information regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/hlo

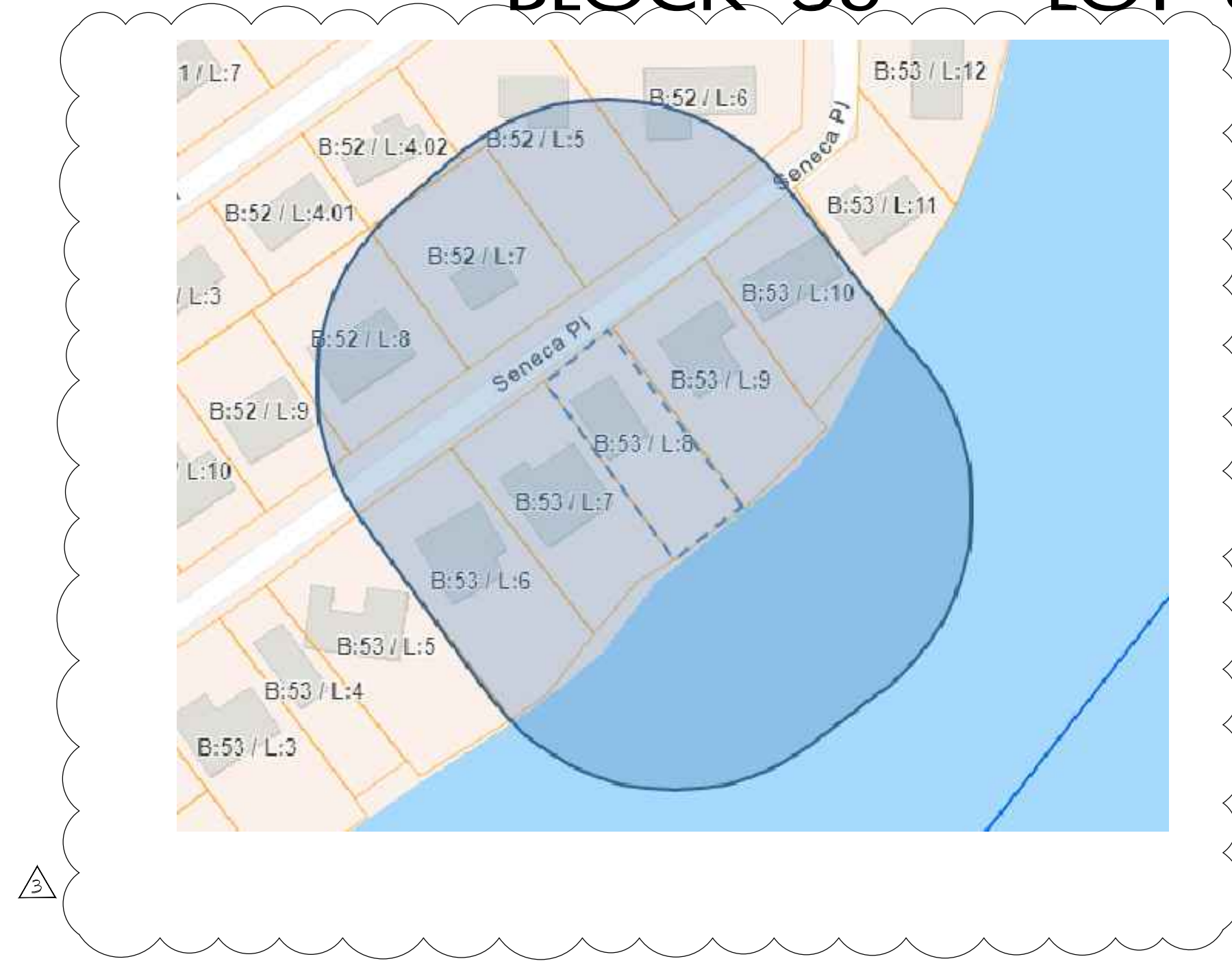
cc: Kevin Kennedy, Esq. (via email)
John A. Sarto, Esq, Applicant's Attorney (via email)
Anthony M. Condouris, AIA (via email)

R:\Projects\M-P\Opp\OPP0366\Correspondence\OUT\250401_whw_Kramer_76 Seneca Place_Review No 1.docx

NJ STATE LIC#A113804

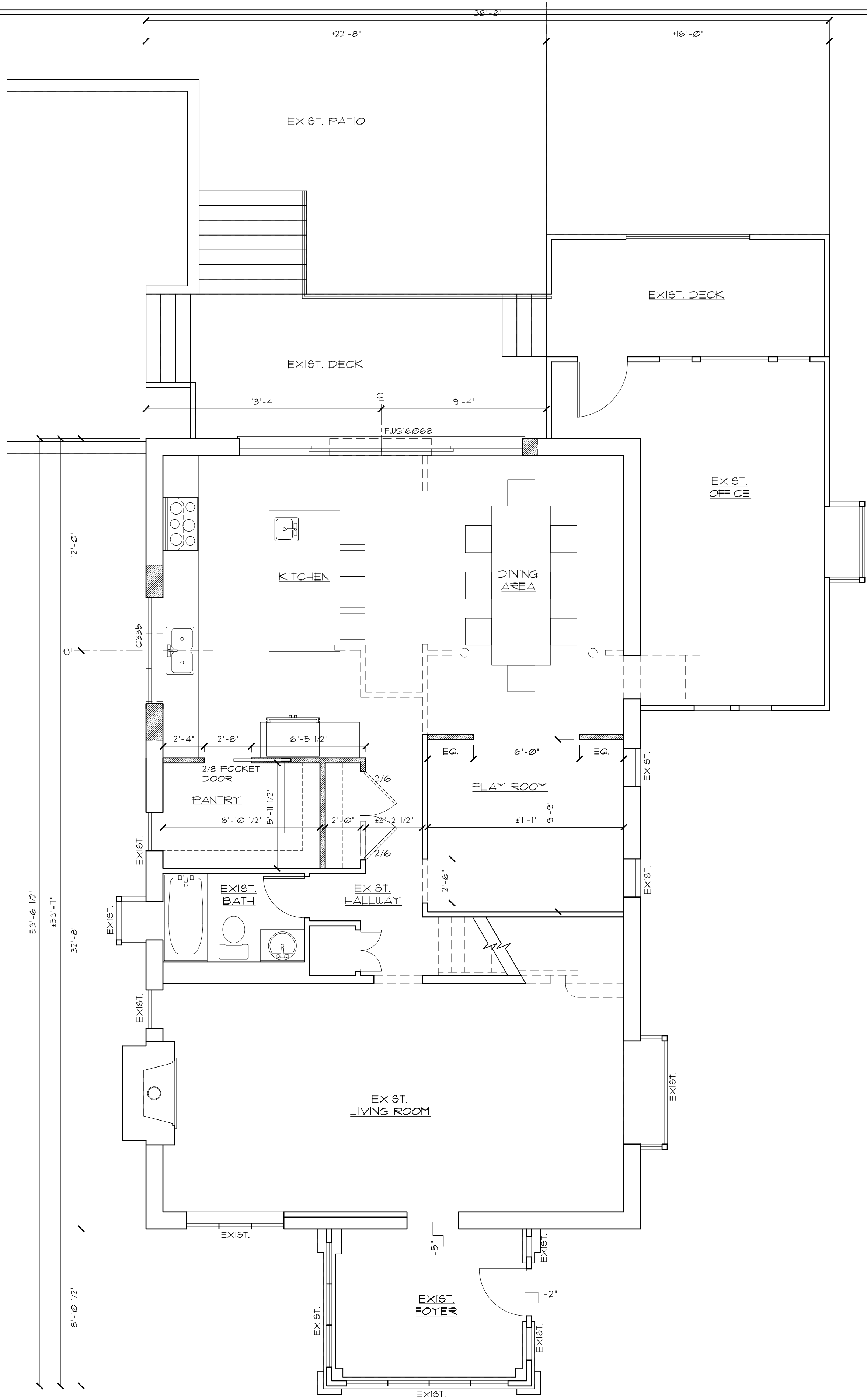
A N T H O N Y M. C O N D O U R I S
ARCHITECT - NO
220 BINGHAM AVENUE, RUSSOON, NJ 07076
phone: 732-842-3800 ~ fax: 732-842-7777 ~ email: info@amcarchitect.com ~ www.amcarchitect.com

LICENSED SURVEYOR TO VERIFY SETBACKS, PROPERTY
LINES AND SET PROPER FIRST FLOOR ELEVATION AND
CORNERS OF BUILDING PRIOR TO CONSTRUCTION

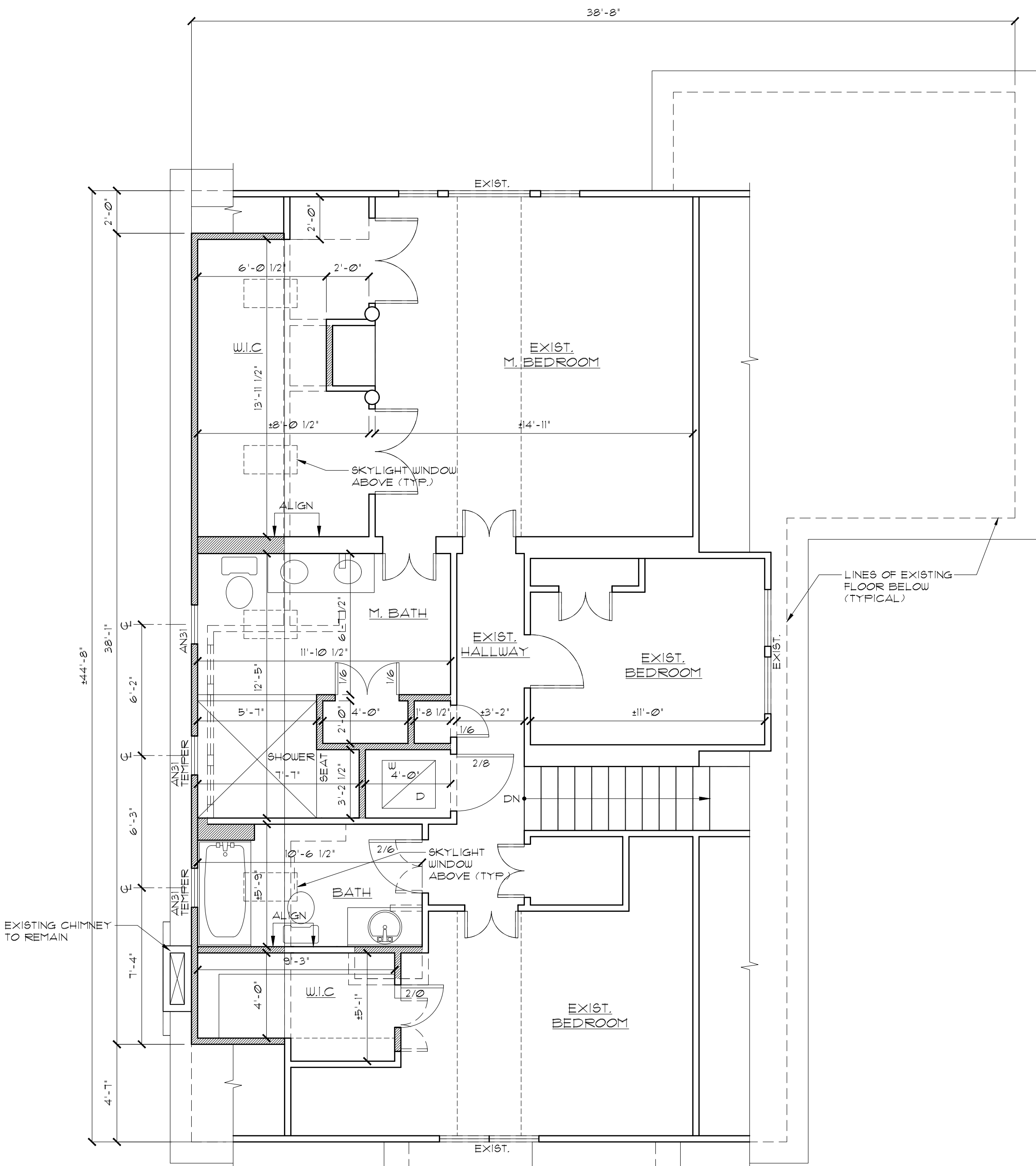


* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR CALCULATING CONSTRUCTION COSTS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PARTITION LEGEND	
---	WALLS TO BE DEMOLISHED
---	EXISTING WALLS
---	NEW WALLS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

DATE
7/25/24

DRAWN BY
MB

CLIENT
HOPKINS RESIDENCE

ADDRESS
76 SENECA PLACE
OCEANPORT, NEW JERSEY

JOB NUMBER
21-148

REVISIONS

DATE

11-30-24

12-11-24

2/8/25

ARCHITECT

20 BINGHAM AVENUE, RUMSON, NJ 07760

Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcarchitect.com

ANTHONY M. CONDOURIS

ARCHITECT

20 BINGHAM AVENUE, RUMSON, NJ 07760

Telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcarchitect.com

REVISIONS

DATE

11-30-24

12-11-24

2/8/25

CLIENT

HOPKINS RESIDENCE

ADDRESS

76 SENECA PLACE

OCEANPORT, NEW JERSEY

JOB NUMBER

21-148

BLOCK

B3

LOT

S

DATE

7/25/24

DRAWN BY

MB

SHEET NO.

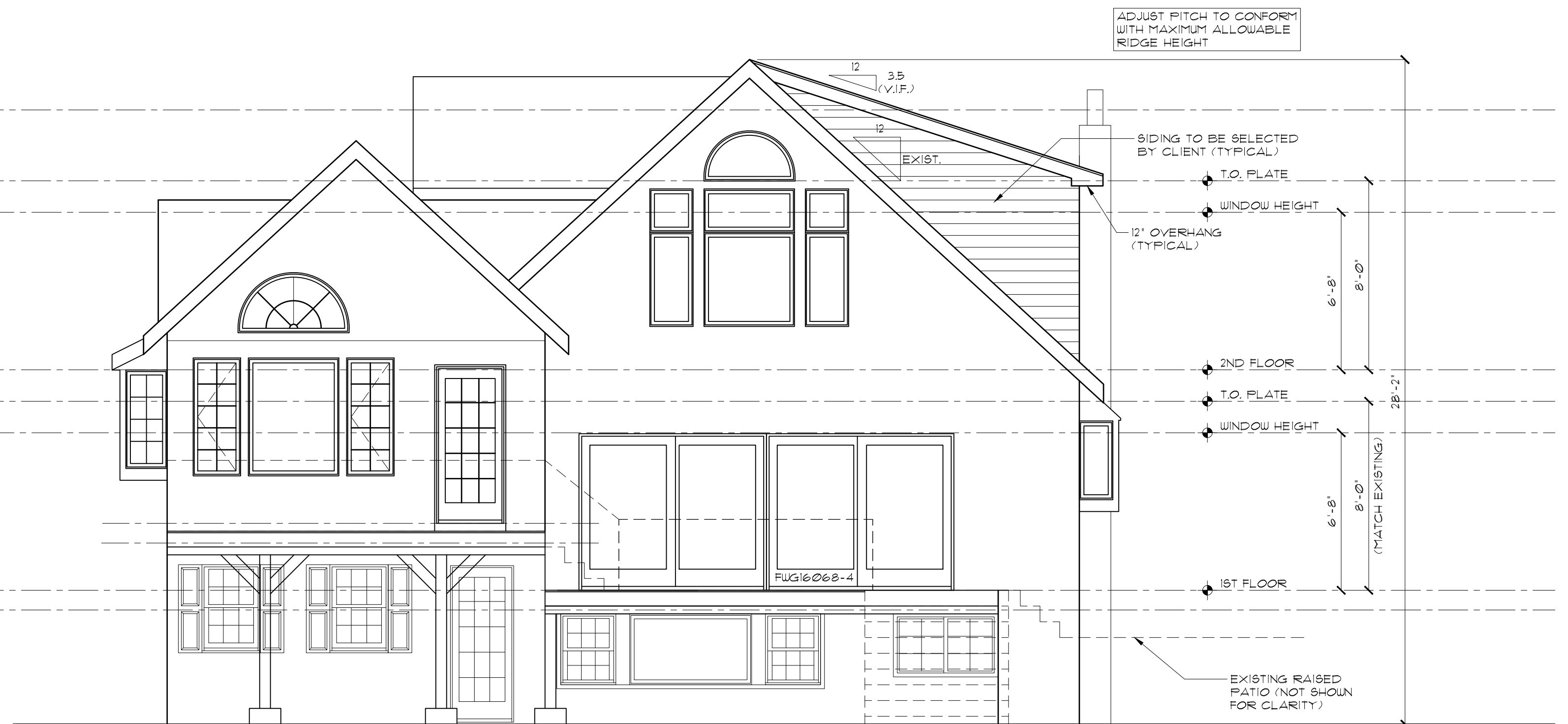
Z-2



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



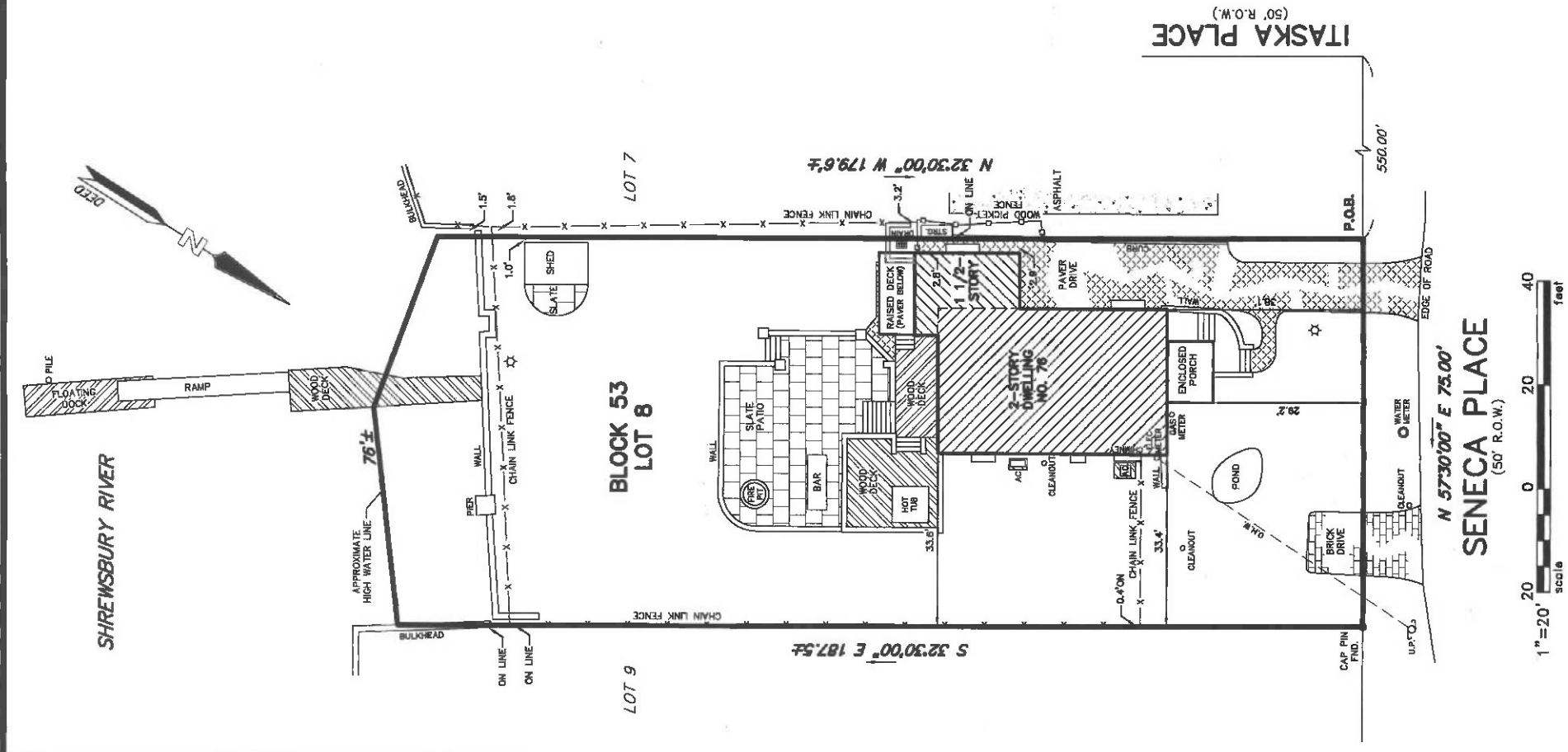
ANTHONY M. CONDOURIS
ARCHITECT
20 BINGHAM AVENUE, RUMSON, NJ 07760
telephone ~ 732-842-3800 ~ fax 732-842-7777 ~ www.amcarthitect.com

REVISIONS	DATE
1	11/8/24
2	12/11/24
3	2/8/25

CLIENT	HOPKINS RESIDENCE
ADDRESS	16 SENECA PLACE OCEANPORT, NEW JERSEY
JOB NUMBER	21-148
BLOCK	53
LOT	8

DATE	7/25/24
DRAWN BY	MB
SHEET NO.	Z-3

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



SURVEY OF PROPERTY
PREPARED FOR ROGER HOPKINS
76 SENECA PLACE
LOT 8 BLOCK 53

BOROUGH OF OCEANPORT MONMOUTH COUNTY NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35880

301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No.	21-1282	DATE:	10-19-21	SCALE:	1"=20'	SHEET:	1	OF	1
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APPLICANT: Gormley, John and Patricia
APPLICANT'S ATTORNEY: Pro Se
APPLICATION NO.:
BLOCK 53 LOT 8

RESOLUTION OF THE
ZONING BOARD OF ADJUSTMENT
OF THE BOROUGH OF OCEANPORT

APPROVAL OF BULK VARIANCE(S)

WHEREAS, John and Patricia Gormley, hereinafter referred to as the "Applicant", filed an application with the Zoning Board of Adjustment of the Borough of Oceanport (hereinafter referred to as the "Board") seeking the following bulk variance(s):

1. Minimum lot width of 75 feet whereas 120 feet is required for the construction of a second floor deck off the rear of the house.

WHEREAS, the application pertains to the premises known as Block 53 Lot 8 on the Tax Map of the Borough of Oceanport, and commonly known as 76 Seneca Ave, ^{PL} Oceanport, New Jersey;

WHEREAS, all notice requirements were satisfied by the Applicant and the Board had jurisdiction to hear, consider, and determine the application at issue;

WHEREAS, the Board held public hearing(s) with regard to the referenced application on March 3, 1999,

WHEREAS, the Board, having given due consideration to the exhibits moved into evidence and the testimony presented by the Applicant and the Objectors (none were present) and their attorney at said hearings, does hereby make the following findings of fact:

1. The Premises are located in an R-3 Zone.

2. The premises consist of an existing single-family dwelling with a total lot area of 14,339 s.f., frontage of 75 feet, depth of 194/182 feet, with a front yard setback of 29 feet, left side yard setback of 33.5 feet, right side yard setback of 2.89 feet, and rear

4. The Applicant testified that the proposed construction will be done to improve their living space. Furthermore, the proposed construction does not impact adversely on the lot size.

5. The Board further finds that it appears that the bulk variance(s) requested by the Applicant are/is necessitated by the size and configuration of the lot in question, that the proposed construction is suitably placed, and that the size of the proposed deck construction is in keeping with the architectural style of the existing dwelling and those in the neighborhood.

6. Based upon the facts and circumstances presented, the Board finds that the strict application of the Zone under the Zoning Ordinance of the Borough of Oceanport would result in peculiar and exceptional practical difficulties to, and exceptional and undue hardship upon, the Applicant ;.

7. Furthermore, the Board finds that the granting of the application here at issue would advance the purpose of the Municipal Land Use Law and zoning ordinances of the Borough of Oceanport by permitting the Applicant to construct an addition to the existing single-family home.

8. Lastly, the Board finds that the benefits resulting from the approval of this application substantially outweigh any detriment, specifically insofar as the Board finds that virtually no detriment would result by the granting of the application.

NOW, THEREFORE, BE IT RESOLVED by the Board that it adopts the aforesaid findings of fact and specifically makes the following conclusions:

1. Based upon the aforesaid findings of fact, the Board concludes that:

(a) the Applicant has established and demonstrated that the premises are such an exceptional size or shape and/or are so uniquely affected by exceptional topographic or physical features, and/or are so uniquely affected by other extraordinary and exceptional circumstances that the strict application of the zoning regulations would

benefits of any such deviation would substantially outweigh any detriment resulting from a grant of the application.

2. Based upon the aforesaid findings of fact, the Board further concludes that granting the approvals set forth herein will not cause substantial detriment to the public good and will not substantially impair the intent and purpose of the zoning ordinance and zoning plan.

BE IT FURTHER RESOLVED by the Board that the following bulk variance(s) be and are hereby granted:

1. lot width of 75feet

ALL APPROVALS GRANTED HEREIN ARE SUBJECT TO THE FOLLOWING CONDITIONS:

1. that the Applicant obtain all necessary building permits and other construction permits required by any local, county, or state law, rule, or regulation;

2. Monmouth County Planning Board approval, if required;

3. Freehold soil erosion permit, if required;

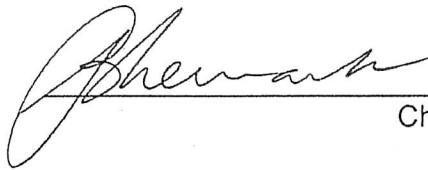
4. that the construction shall be substantially in accordance with the plans submitted;

5. all representations made by Applicant and Applicant's witnesses shall be made a part of this Resolution as a condition of this approval.

6. that the deck be a second floor deck with the following dimensions: 6 feet 7 inches wide, 15 feet long, 9 feet 6 inches ^{high} ~~long~~ and no closer that 3 feet to the right side property boundary.

BE IT FURTHER RESOLVED that a copy of the within Resolution, certified to be true, shall be forwarded to the Applicant, to the Clerk of the Borough of Oceanport, and to the Zoning/Construction Official of the Borough of Oceanport, and the Applicant shall cause Notice of this Board's decision to be published, within 10 days of the date hereof,

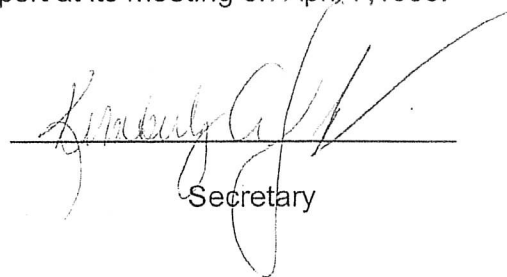
Dated: April 7, 1999



Chairman

I hereby certify that the foregoing is a true copy of a Resolution adopted by the Zoning Board of Adjustment of the Borough of Oceanport at its meeting on April 7, 1999.

Dated: April 7, 1999



Secretary