



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • OCTOBER 22, 2019

Regular

Maple Place School

7:30 PM

2 Maple Place, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement

This meeting complies with the Open Public Meetings Act by notification on January 9th and 11th, 2019 of this location, date and time to the Asbury Park Press and the LINK News and by the posting of same on the municipal bulletin board and Borough Web Site.

III. Flag Salute

IV. Roll Call

V. Board Business

1. Planning/Zoning Board - Regular - Sep 24, 2019 7:30 PM
2. Resignation of Daphne Halpern

VI. Old Business

1. PB2019-09 Oceanport Board of Education
Oceanport School District - Referendum Projects - RE-SUBMISSION
Maple Place School, 2 Maple Place
-Capital Project - Site and Parking Modifications
Wolf Hill School, Wolf Hill Ave, 29 Wolf Hill Ave
-Capital Project - Site and Parking Modifications
-Education Project - Two new additions

6A:26-3.2 School facilities projects, item (c)

Where required by N.J.S.A. 40:550-31 and 18A:18A-16, each school district shall submit applications for school facilities projects to the planning board(s) of the municipality(ies) in which the school district is situated, no later than the date the school district submits to the Division each application to afford the planning board(s) the opportunity to prepare and submit findings to the Division of Administration and Finance, Office of School Facilities, PO Box 500, Trenton, New Jersey 08625-0500. A school district shall provide to the Division proof of the date that it submits each school facilities project application to the planning board(s). The planning board(s) shall submit to the Division findings, if any, within 45 days of its receipt of each project application from a school district required to use the Development Authority, and has an additional 10 days to file with the Division notice of recommendations against approval of the project. No school facilities project application shall be considered complete until comments have been received from the planning board(s) or until either 45 days or 55 days, as applicable, have passed from the planning board's receipt of each school facilities project application, whichever is earlier. If the school district or its architect receives the planning board findings, it shall be forwarded promptly to the Division at the above address

VII. New Business

1. PB2019-11 Mangan, Nichola
Vacant Lot - Shrewsbury Ave
Block 66, Lots 3 & 4
Bulk variance for lot width, 120' required, 102.09 existing

2. PB2019-13 Pulley, Gregory
27 Morris Place
Block 60, Lot 9
Variance relief for addition to single family home

VIII. Resolutions

1. Resolution of Approval - Oceanport Urban Renewal Project LLC
2. Resolution of Approval - Joe Fiore

IX. Petitions from the Public

X. Adjournment

**BOROUGH OF OCEANPORT****PLANNING/ZONING BOARD****MINUTES • SEPTEMBER 24, 2019****Regular****Maple Place School****7:30 PM****2 Maple Place, Oceanport, NJ 07757**

- I. Call to Order:** Chairman Widdis called the meeting to order at 7:30 p.m.
- II. Open Public Meetings Statement:** This meeting complies with the Open Public Meetings Act by notification on January 9th and 11th, 2019 of this location, date and time to the Asbury Park Press and the LINK News and the posting of same on the municipal bulletin board and Borough Web Site.
- III. Flag Salute:** Chairman Widdis led the audience and members of the Board in the flag salute.
- IV. Roll Call:**

Attendee Name	Title	Status	Arrived
Christopher Widdis	Chairman	Present	
James Whitson	Vice Chairman	Present	
Darren Davis	Mayor's Designee	Absent	
Robert Proto	Council Liaison	Absent	
Joseph Foster	Environmental Committee Liaison	Present	
John (Jack) Kahle	Class IV	Present	
Michael Savarese	Class IV	Absent	
Robert Kleiberg	Class IV	Present	
Daphne Halpern	Class IV	Absent	
Thomas Tvrdik	Alternate I	Present	
Jeanne Smith	Board Secretary	Present	
William White	Board Engineer/Planner	Present	
Kevin Kennedy	Board Attorney	Present	

V. Board Business:

1. Planning/Zoning Board - Regular - Aug 13, 2019 7:30 PM

Chairman Widdis called for a motion to approve the minutes of August 13, 2019, which was made by Mr. Whitson, seconded by Mr. Kahle and approved by the eligible members of the Board.

2. Planning/Zoning Board - Regular - Sep 10, 2019 7:30 PM

Chairman Widdis called for a motion to approve the minutes of September 10, 2019, which was made by Mr. Whitson, seconded by Mr. Kleiberg and approved by the eligible members of the Board.

VI. Old Business - None:

VII. New Business:

1. PB2019-12 Fiore, Joe
36 Tohican Place
Block 4, Lot 5
Request for side yard setback of 0' where 10' is required for retaining wall

Exhibits**A-1** Land Use Development Application of Joe Fiore**A-2** Plot Plan prepared by Mid Atlantic, dated July 13, 2018, last revised August 1, 2018**A-3** Photograph of both properties, taken by Mr. Bebout on September 21, 2019**A-4** Plot Plan prepared by Mid Atlantic, with handwritten modifications from Mr. Fiore

William White, Board Engineer/Planner was sworn. Mr. Kennedy marked **Exhibits A-1, A-2** for the record.

Mr. Kennedy asked if there was anyone present who had an objection to the notice provided for this application. Hearing none, advised that he had reviewed the notice, found service in order and the Board had jurisdiction.

Joe Fiore, Applicant/Owner, was sworn. He requested that his neighbor joining him be sworn. Clifford Bebout, 34 Tohican Place, was sworn in.

Chairman Widdis requested a brief history of the property before the Board, which Mr. Fiore provided. Mr. Fiore explained that his reason for the Application was because the initial grading plan wasn't sufficient to keep water off Mr. Bebout's property. Together, they proposed a retaining wall, a swale and pipe connected to downspouts to direct the water to the street. Mr. Fiore stated the proposed retaining wall would be 30" high. Mr. Bebout requested that 36" be approved. Mr. White explained that currently, there was a steep slope, and raising the wall will pick up the grade and create a "U". Mr. Bebout stated there was concern that the stone fill in the swale will still send runoff toward his property. Mr. Fiore provided more specific details on the wall. Mr. Bebout introduced **Exhibits A-3**. Mr. Fiore introduced **Exhibit A-4** and explained new grading. There was additional discussion regarding the height of retaining wall and direction of runoff. Mr. White stated a small section of the retaining wall should be at 36". Mr. Bebout provided information regarding the pitch of the proposed pipe. Mr. Kleiberg advised that cleanouts will be required as well as overflow for leaders and updated Plumbing permit. Mr. Foster, Mr. Fiore and Mr. White discussed the length of the pipe, which will not be in the right of way.

Chairman Widdis opened the meeting to questions from the public. As there were none, he closed that portion of the meeting. Chairman Widdis opened the meeting to comments from the public. As there were none, he closed that portion of the meeting.

Motion to Approve Application of Joe Fiore

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	John (Jack) Kahle, Class IV
SECONDER:	Thomas Tvrdik, Alternate I
AYES:	Widdis, Whitson, Foster, Kahle, Kleiberg, Tvrdik
ABSENT:	Davis, Proto, Savarese, Halpern

2. PB2019-11 Oceanport Urban Renewal Preservation LLC

274-278 E. Main St.

Block 121, Lot 5

Site Plan with variance(s)

Exhibits**A-1** Land Use Development Application of Chris Harvey**A-2** Survey prepared by LAN Associates, dated March 27, 2019 (1 sheet),

- A-3** Partial Topographic Survey, prepared by PS&S, dated July 3, 2019 (1 sheet)
- A-4** Preliminary and Final Site Plan, prepared by PS&S, dated August 12, 2019 (8 sheets)
- A-5** Maser Consulting Review letter dated September 9, 2019
- A-6** Illustrated Site Plan Rendering With Landscaping Details, prepared by PS&S, dated August 12, 2019
- A-7** Vehicle Truck Circulation Plan, prepared by PS&S, dated August 12, 2019
- A-8** Signage Details, prepared by PS&S, dated March 14, 2019

William White, Board Engineer/Planner was sworn. Mr. Kennedy marked **Exhibits A-1, A-2, A-3, A-4, A-5** for the record.

Mr. Kennedy asked if there was anyone present who had an objection to the notice provided for this application. Hearing none, advised that he had reviewed the notice, found service in order and the Board had jurisdiction.

Arron Brotman, Applicant's Attorney, appeared and advised that Wells Fargo Affordable Housing Community Development Corporation was the majority owner, and Oceanport Urban Renewal Preservation LP was the primary owner, which consists of Matt Finkel and Dave Pierson.

Mark Cifelli, Applicant's Engineer was sworn, provided his qualifications and background and was accepted as an expert in the field of Engineering. Mr. Brotman explained that the Application was regarding ongoing interior and exterior updates to Oceanport Gardens. Mr. Cifelli described current conditions of the property, including number of units and parking spaces and proposed improvements, including solar pedestrian crossing lights.

Serena Menendez, Property Manager for Oceanport Gardens, was sworn. She provided testimony regarding the current use of the site, specifically regarding meals delivered and that each unit has a kitchen.

Mr. Cifelli explained that the Applicant wishes to restripe the parking lot and add one parking spot, renovate the trash/recycling area and introduced **Exhibit A-6**, and described ADA parking, landscaping, lighting and signage. Signage would require a variance. Mr. Cifelli stated the Applicant is also requesting waivers for the width of the rear driveway, adding concrete curbing rather than Belgian block. The request for a waiver for parking width will be eliminated. Mr. White reminded the Board that the proposed signage is similar to the nearby Jockey Club. Mr. Foster requested clarification regarding parking on the north side of the building, driveway width and vehicle circulation plan. Mr. Cifelli explained how restriping would allow an additional parking spot, how sloping would be appropriate and no change to the truck pattern. Mr. Cifelli introduced and explained **Exhibit A-7**. There was additional discussion regarding the proposed crossing signage.

PUBLIC:

Chairman Widdis opened the meeting to the public for questions regarding the Application.

Karen Long, 32 Revere Dr., asked for information regarding interior upgrades. Ms. Menendez, previously sworn, stated that all apartments are being renovated with new kitchens, flooring, appliances, countertops, toilets and windows. There are no plans for elevator replacement.

As no one else from the public wished to be heard, Chairman Widdis closed that portion of the meeting.

Jason Schooling, Applicant's Planner, was sworn and provided his qualifications and background. He provided testimony regarding signage for ingress and egress, which would require a C-2 variance. Mr. Schooling stated that the benefits would outweigh any detriments by providing better

direction and promoting a desirable visual environment. The signs will be visible from the street, but not cause any intrusion or distraction. Mr. Schooling discussed the reasons for the waiver requests for concrete curbing and reducing the width of the rear driveway. Mr. White explained the reasons to allow the reduction in width. Mr. Foster requested information regarding the size of the signs. Mr. Schooling stated the signs will be 78 ½" by 48" and 51 ½" by 31 ½".

PUBLIC:

Chairman Widdis opened the meeting to the public for questions regarding the Application. As no one from the public wished to be heard, Chairman Widdis closed that portion of the meeting.

Chairman Widdis opened the meeting to the public for comments from the public.

Jeffrey Oakes, 60 Pemberton Ave., asked if the Planning Board would be sitting on the proposed ADA Committee. Chairman Widdis asked Mr. Oakes to focus on this application. Mr. Oakes stated he was in favor of approving the application, particularly the crosswalk improvements. He asked if the crosswalks in front of the Community Center will be addressed. He stated he has petitioned Monmouth Park Racetrack for improvements to handicap parking. Chairman Widdis advised that Mr. Oakes may discuss other topics at the end of the meeting.

As no one else from the public wished to be heard, Chairman Widdis closed that portion of the meeting.

Motion to Approve Application of Oceanport Urban Renewal Preservation LP

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Whitson, Vice Chairman
SECONDER:	Robert Kleiberg, Class IV
AYES:	Widdis, Whitson, Foster, Kahle, Kleiberg, Tvrdek
ABSENT:	Davis, Proto, Savarese, Halpern

VIII. Resolutions:

1. Resolution of Approval, The Loft Partnership, 552 Caren Franzini Way

As the resolution had been previously provided to the Board, Mr. Kennedy summarized the Resolution, after which Mr. Foster made a motion to approve the resolution as amended which was seconded by Mr. Kahle and received the following roll call:

RESULT:	ADOPTED [5 TO 0]
MOVER:	Joseph Foster, Environmental Committee Liaison
SECONDER:	John (Jack) Kahle, Class IV
AYES:	Widdis, Whitson, Foster, Kahle, Tvrdek
ABSENT:	Davis, Proto, Savarese, Halpern
INELIGIBLE:	Kleiberg

2. Resolution of Approval, Nancy Herman, 33 Iroquois Ave

As the resolution had been previously provided to the Board, Mr. Kennedy summarized the Resolution, after which Mr. Kahle made a motion to approve the resolution as presented which was seconded by Mr. Foster and received the following roll call:

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	John (Jack) Kahle, Class IV
SECONDER:	Joseph Foster, Environmental Committee Liaison
AYES:	Widdis, Whitson, Foster, Kahle, Kleiberg, Tvrdek
ABSENT:	Davis, Proto, Savarese, Halpern

3. Resolution of Approval, Carl Ingrassia, 544 Seawaneka Ave

As the resolution had been previously provided to the Board, Mr. Kennedy summarized the Resolution, after which Mr. Whitson made a motion to approve the resolution as presented which was seconded by Mr. Kahle and received the following roll call:

Motion to Approve PR-19-21

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Whitson, Vice Chairman
SECONDER:	John (Jack) Kahle, Class IV
AYES:	Widdis, Whitson, Foster, Kahle, Kleiberg, Tvrdek
ABSENT:	Davis, Proto, Savarese, Halpern

IX. **Petitions from the Public:** Chairman Widdis opened the meeting to Petitions from the Public.

Jeff Oakes, 60 Pemberton Ave., reappeared and reiterated his concern regarding the sidewalk in front of the Community Center. He asked if the Planning Board would have the authority to ban the sale of alcohol. Ms. Smith advised that only the Governing Body is permitted to adopt ordinances, and the Planning Board has authority only to grant variances from those ordinances. Mr. Oakes discussed the hypocrisy of the Board in relation to medical cannabis. Mr. Oakes also stated that the drain on Pemberton Ave. is frequently clogged, and he takes it upon himself to clear it. He asked that the Borough be more cognizant of maintenance of it. Mr. Oakes further added that the property owner at the end of Pleasant Pl. has made unapproved changes to the end of the road. Mr. White advised that location will be added to the Monmouth County DPW list of areas for cleanout.

As no one else from the public wished to be heard, Chairman Widdis closed that portion of the meeting.

X. **Adjournment:** As there was no further business, the meeting was adjourned at 9:09 pm on a motion by Mr. Whitson which was seconded by Mr. Kahle and approved by the Board.

Respectfully submitted,

Jeanne Smith
Board Secretary



Planning/Zoning Combined Board

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 1457)

Meeting: 10/22/19 07:30 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1457

PB2019-09 Oceanport Board of Education

Oceanport School District - Referendum Projects - RE-SUBMISSION

Maple Place School, 2 Maple Place

-Capital Project - Site and Parking Modifications

Wolf Hill School, Wolf Hill Ave, 29 Wolf Hill Ave

-Capital Project - Site and Parking Modifications

-Education Project - Two new additions

6A:26-3.2 School facilities projects, item (c)

Where required by N.J.S.A. 40:550-31 and 18A:18A-16, each school district shall submit applications for school facilities projects to the planning board(s) of the municipality(ies) in which the school district is situated, no later than the date the school district submits to the Division each application to afford the planning board(s) the opportunity to prepare and submit findings to the Division of Administration and Finance, Office of School Facilities, PO Box 500, Trenton, New Jersey 08625-0500. A school district shall provide to the Division proof of the date that it submits each school facilities project application to the planning board(s). The planning board(s) shall submit to the Division findings, if any, within 45 days of its receipt of each project application from a school district required to use the Development Authority, and has an additional 10 days to file with the Division notice of recommendations against approval of the project. No school facilities project application shall be considered complete until comments have been received from the planning board(s) or until either 45 days or 55 days, as applicable, have passed from the planning board's receipt of each school facilities project application, whichever is earlier. If the school district or its architect receives the planning board findings, it shall be forwarded promptly to the Division at the above address

{ResDiscussion}

September 26, 2019

Mr. Christopher Widdis
Chairman - Planning Board
Borough of Oceanport
315 E. Main Street
Oceanport, NJ 07757

RE: RE-SUBMISSION to Borough of Oceanport Planning Board
Oceanport School District - Referendum Projects

Dear Mr. Widdis,

We are in receipt of the Resolution dated August 13th, 2019 from the Oceanport Planning Board, which provides comments in reference to the preliminary submission made on July 10th 2019 on behalf of the Oceanport School District, regarding future plans for potential projects as part of a proposed referendum. The Department of Education also received the board's comments and has incorporated them into a larger list of recommended changes to the proposed projects. As such, we are resubmitting said projects/drawings for the Board's reference. Although no action is required by the Oceanport Planning Board, comments are always welcome. If the referendum were to pass, formal and more final submissions will be made to the Board in the future.

Once again, for reference, projects included in this submission are as follows:

- Maple Place School – Block 2 Lot 1 - State Project #25-3830-030-19-1000
 - Capital Project – Site and Parking Lot Modifications – Improvements for safety and modifications to the parking lots, resulting in increased parking spaces.
- Wolf Hill School – Block 117 Lot 11, 12, 13, 14, 15 - State Project #25-3830-050-19-1000
 - Capital Project – Site and Parking Lot Modifications – Improvements for safety and modifications to the parking lots, resulting in increased parking spaces
- Wolf Hill School – Block 117 Lot 11, 12, 13, 14, 15 - State Project # 25-3830-050-19-2000
 - Educational Project – Two new additions; at the rear of the building on grade, and on the second floor of the 1948 section.

If you have any questions or require additional information, please call me at (973) 484-4800 or e-mail me at alexisg@solutions-arch.com

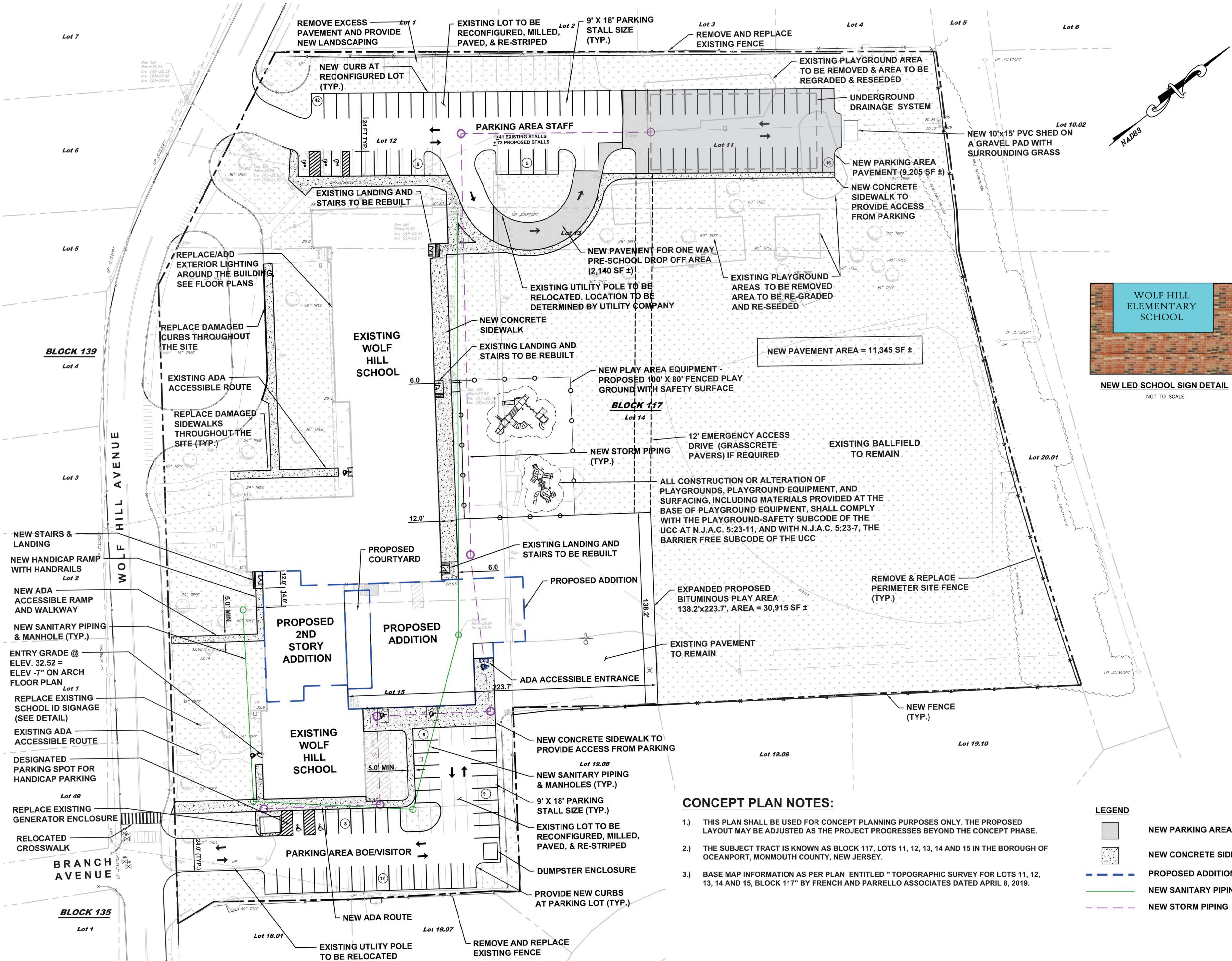
Sincerely,



Alexis Goldman, AIA, LEED AP, CDT
Associate Principal

cc. Richard Altringer,
New Jersey Department of Education,
Office of Facilities

- a) It was noted that the proposed Parking Lot Improvements would create and promote better site circulation routes; 😊
- b) It was noted that the proposed Parking Lot Improvements would seem to establish more easy-to-follow circulation routes; 😊
- c) It was noted that the proposed Parking Lot Improvements would promote pedestrian and motorist safety;
- d) It was noted that the proposed pedestrian / motorist safety improvements were well thought out (per the conceptual Plans presented); 😊
- e) There was a concern that the Plans should be further reviewed and approved by the Borough's Fire Officials, as some of the access aisles seemed somewhat narrow, such that a large fire truck might not be able to safely / appropriately / conveniently maneuver the same;
 - a. Should the referendum pass, we would certainly review the site plans with the Borough's Fire Official.
- f) There was a concern that there should be a physical disconnect / barrier at both ends of the emergency access drive so as to preclude non-emergency vehicles from utilizing the same;
 - a. We understand the concern here; should the referendum pass, we would discuss this with the local police, fire official and the Board of Education to determine the proper type of barriers that would be beneficial to all parties.
- g) There was a concern that the first 9 parking spaces from Wolf Hill Avenue on the southside of Parking Area A (Wolf Hill School) should be eliminated (because of a potential health / safety / traffic hazard associated with the said location created by the student drop-off traffic), and that the said 9 parking spaces should be relocated to the northern end of the same parking lot;
 - a. Said 9 parking spaces have been removed from the revised design. At that time, they have not been replaced in another location.
- h) There was a concern as to whether the trash bins (particularly for the Wolf Hill School) are large enough to appropriately accommodate the garbage needs of the schools;
 - a. The dumpster enclosure has been separated from the generator enclosure on the revised drawings, allowing the dumpsters to be larger and locating them closer to the kitchen in the proposed addition. Should the referendum pass, this location could be changed, based on further discussions with the Borough and the Board of Education.
- i) There was a concern that the trash areas seem particularly small for the reasonably anticipated garbage needs of the school facilities;
 - a. See item h above. Additionally, should the referendum pass, there will be more detailed conversations on the exact needs of the school district related to trash.
- j) There was a concern that the Board Members would like to more thoroughly review the trash collection / storage details
 - a. Agreed; should the referendum pass, the more final drawings, with trash collection details will be provided to the Borough for review.
- k) There was a concern that the Board Members should further review / approve the lighting details - i.e. where the lights will be, how many lights there will be, how the lights will be mounted, will the lights be sufficient for anticipated security needs, etc.,
 - a. Agreed; should the referendum pass, more detailed lighting designs would be completed, with careful selection of the lighting, to provide safety without disturbing the neighbors. The lighting plans/calculations and fixtures selections would be shared with the Borough for review.
- l) There was a concern that the preliminary Plans are so conceptual in nature, that more detailed Plans should be further presented to, and reviewed by, the Planning Board; and
 - a. Should the referendum pass, formal and more final submissions will be made to the Borough in the future.
- m) There was an obvious concern that all Plan details should satisfy Prevailing Building / Construction Code Requirements.
 - a. Should the referendum pass, more detailed designs will be executed, all within compliance with current Construction codes.



CONCEPT PLAN NOTES:

- 1.) THIS PLAN SHALL BE USED FOR CONCEPT PLANNING PURPOSES ONLY. THE PROPOSED LAYOUT MAY BE ADJUSTED AS THE PROJECT PROGRESSES BEYOND THE CONCEPT PHASE.
- 2.) THE SUBJECT TRACT IS KNOWN AS BLOCK 117, LOTS 11, 12, 13, 14 AND 15 IN THE BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY.
- 3.) BASE MAP INFORMATION AS PER PLAN ENTITLED " TOPOGRAPHIC SURVEY FOR LOTS 11, 12, 13, 14 AND 15, BLOCK 117" BY FRENCH AND PARRELLO ASSOCIATES DATED APRIL 8, 2019.

LEGEND

- NEW PARKING AREA PAVEMENT
- NEW CONCRETE SIDEWALK
- PROPOSED ADDITION
- NEW SANITARY PIPING
- NEW STORM PIPING

SOLUTIONS ARCHITECTURE
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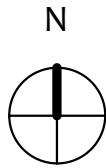
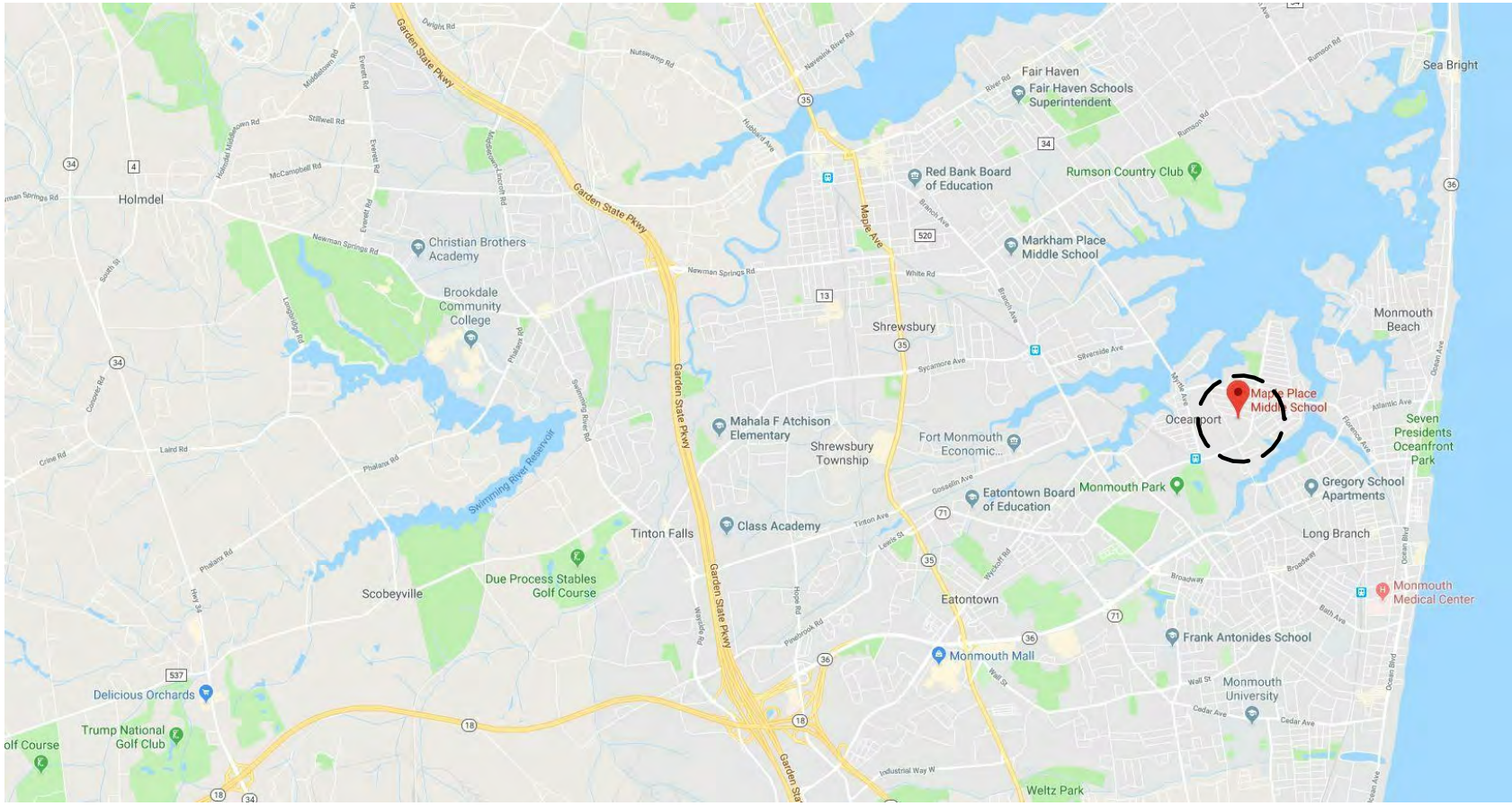
PLANNING BOARD SUBMISSION
FOR
OCEANPORT SCHOOL DISTRICT
AT
WOLF HILL ELEMENTARY SCHOOL
29 WOLF HILL AVENUE, OCEANPORT, NJ 07057

FPA FRENCH & PARRELLO
Regional Offices
Camden, NJ
New York, NY
732.312.3800
Corporate Office
1500 Route 24, Suite 101
New York, NY 10011
732.312.3800

SITE PLAN

No.	DATE:	COMMENTS:
07/10/19	DOE SUBMISSION	
08/07/19	DOE RE-SUB.	
09/26/19	DOE RE-SUB.	

DATE: 07/10/19	SOLUTION No. 18.131
SCALE: 1"= 30'	
DRAWN BY: DC	DRAWING No. A.1.0
CHECKED BY: KRS	



PRELIMINARY PLANNING BOARD SUBMISSION FOR DEPARTMENT OF EDUCATION

FOR

OCEANPORT SCHOOL DISTRICT

AT

MAPLE PLACE MIDDLE SCHOOL

2 MAPLE PLACE
OCEANPORT, NJ 07757

LOCAL BUILDING CODES:

ALL WORK SHALL COMPLY WITH ALL GOVERNING CODES, REGULATIONS AND ORDINANCES, ETC. COMPLIANCE WITH THE FOLLOWING STANDARDS (MOST RECENT VERSION) IS REQUIRED:

NJ CODE REFERENCE	
N.J.A.C. 5:23	UNIFORM CONSTRUCTION CODE (UCC)
NJAC 5:23-1	General Provisions
NJAC 5:23-2	Administration and Enforcement; Process
NJAC 5:23-3	Subcodes
NJAC 5:23-3A	State-Jurisdiction Subcodes
NJAC 5:23-4	Enforcing Agencies; Duties; Powers; Procedures
NJAC 5:23-4A	Industrialized/Modular Buildings and Building Components
NJAC 5:23-4B	Manufactured Homes and Manufactured Home Add-on Units
NJAC 5:23-4C	Enforcement of Federal Manufactured Home Standards
NJAC 5:23-4D	Recreational Park Trailers
NJAC 5:23-5	Licensing of Code Enforcement Officials
NJAC 5:23-6	Rehabilitation Subcode
NJAC 5:23-7	Barrier Free Subcode
NJAC 5:23-8	Asbestos Hazard Abatement Subcode
NJAC 5:23-9	Code Interpretations
NJAC 5:23-10	Radon Hazard Subcode
NJAC 5:23-11	Playground Safety Subcode
NJAC 5:23-12	Elevator Safety Subcode
NJAC 5:23-12A	Optional Elevator Inspection Program
NJ SUB-CODE REFERENCE	
N.J.A.C. 5:23-3.14	2015 INTERNATIONAL BUILDING CODE - NEW JERSEY EDITION
N.J.A.C. 5:23-3.16	2015 NATIONAL ELECTRIC CODE
N.J.A.C. 5:23-3.15	2016 NATIONAL STANDARD PLUMBING CODE
N.J.A.C. 5:23-3.18	2015 INTERNATIONAL ENERGY CONSERVATION CODE
N.J.A.C. 5:23-3.20	2015 INTERNATIONAL MECHANICAL CODE
N.J.A.C. 5:23-3.22	2015 INTERNATIONAL FUEL GAS CODE
N.J.A.C. 5:23-7.2	2015 BARRIER-FREE SUBCODE & 2009 ANSI A117.1

GENERAL NOTES

- CONTRACTOR IS REQUIRED TO VISIT THE SITE & EXAMINE THE EXISTING CONDITIONS TO HIS COMPLETE SATISFACTION PRIOR TO STARTING WORK. THE CONTRACTOR SHALL COMPARE THE EXISTING CONDITIONS TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS & SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES. FAILURE TO DO SO SHALL PLACE ALL THE BURDEN OF RESPONSIBILITY ON THE CONTRACTOR TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS AT NO ADDITIONAL COST TO THE OWNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING JOB CONDITIONS, DIMENSIONS, AND QUANTITY OF WORK. ALL DIMENSIONS OF EXISTING CONDITIONS INDICATED ON THE CONTRACT DOCUMENTS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO STARTING THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR FILING OF PERMITS AND REQUESTING ALL NECESSARY INSPECTIONS, FOOTING, FRAMING, ELECTRICAL, ROUGHING, INSULATION, ETC.
- PRODUCT MANUFACTURERS, IN CONJUNCTION WITH SUBCONTRACTOR AND CONTRACTOR, ARE RESPONSIBLE FOR ALL COMPONENTS AND CALCULATIONS AND/OR CERTIFICATIONS OF THEIR PRODUCT AND FOR PROVIDING COMPLETE SYSTEM/ASSEMBLIES TO MEET THE DESIGN INTENT OF THE PROJECT.
- THE INDICATION OF SUBSTRATE & CONFIGURATION OF CONCEALED ITEMS & MATERIALS SHOWN ON THE CONTRACT DOCUMENTS IS FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL NOT BE ENTITLED TO ADDITIONAL COMPENSATION FOR ANY VARIANCE BETWEEN ACTUAL EXISTING CONDITIONS AND THAT REPRESENTED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL DISCUSS & VERIFY WITH ALL GOVERNING AUTHORITIES ALL CODE REQUIREMENTS INDICATED OR REQUIRED FOR THE COMPLETE EXECUTION OF THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERALEAL, STATE, AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL OBTAIN PERMITS & GIVE NOTICES TO SUCH AGENCIES IN AMPLE TIME FOR OFFICIALS TO CONDUCT INSPECTIONS AND OBTAIN TIMELY APPROVALS. FAILURE TO COMPLY WILL SOLELY BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR THE PUBLIC, AND CONSTRUCTION WORKERS IN AND AROUND THE CONSTRUCTION AREA & ADJACENT PROPERTY. ADEQUATE BARRIERS & SIGNAGE SHALL BE PROVIDED TO EXERCISE CONTROL OF SAFE INGRESS & EGRESS OF PREMISES. FIRE EXITS SHALL NOT BE BLOCKED. PROPER SITE SECURITY DURING WORKING & OFF-HOURS SHALL BE MAINTAINED. BARRICADE ALL UNSAFE OR POTENTIALLY DANGEROUS CONDITIONS. THE CONTRACTOR SHALL FOLLOW O.S.H.A. STANDARDS DURING THE COURSE OF THE PROJECT.
- DO NOT SCALE THE DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTE THAT NOT ALL DIMENSIONS ARE GIVEN ON THE CONTRACT DOCUMENTS. CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS.
- ALL INFORMATION FOR ALL TRADES CONTAINED WITHIN THE CONTRACT DOCUMENTS SHALL BE USED TOGETHER & IN CONCERT WITH ONE ANOTHER AS A WHOLE BODY OF INFORMATION FOR THE PROJECT. IN THE EVENT OF CONFLICTS BETWEEN DOCUMENTS, THE GREATER QUANTITY OR HIGHER QUALITY OF WORK SHALL PREVAIL AND BE PROVIDED.
- ALL ITEMS LABELED "EXISTING" ARE EXISTING "TO REMAIN" UNLESS OTHERWISE INDICATED. ITEMS NOT LABELED "EXISTING" ARE TO BE PROVIDED. THE TERM "PROVIDE" MEANS FURNISH & INSTALL AS IT IS USED THROUGHOUT THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, SERVICES, ETC. TO COMPLETE THE ENTIRE WORK IN A MANNER ACCEPTABLE TO THE OWNER AND THE ARCHITECT. IT IS UNDERSTOOD THAT NOT EVERY DETAIL OR DIMENSION IS SHOWN IN THE CONTRACT DOCUMENTS, NOR ARE THEY NECESSARY FOR THE CONTRACTOR TO PROVIDE A QUALITY PRODUCT. NO WORK SHOULD BE INSTALLED IF THE CONTRACTOR IS UNSURE OF THE DESIGN INTENT. INSTALLATION OF ANY WORK THAT DOES NOT COMPLY WITH THE DESIGN INTENT AS DETERMINED BY THE ARCHITECT, SHALL BE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE SCOPE OF THE CONTRACT INCLUDES ALL THE WORK AS INDICATED ON THE DRAWINGS. THE CONTRACTOR BEARS SOLE SOURCE RESPONSIBILITY FOR THE DELIVERY OF THE PROJECT TO 100% COMPLETION.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, SERVICES, ETC. TO COMPLETE THE ENTIRE WORK IN A MANNER ACCEPTABLE TO THE OWNER AND THE ARCHITECT. IT IS UNDERSTOOD THAT NOT EVERY DETAIL OR DIMENSION IS SHOWN IN THE CONTRACT DOCUMENTS, NOR ARE THEY NECESSARY FOR THE CONTRACTOR TO PROVIDE A QUALITY PRODUCT. NO WORK SHOULD BE INSTALLED IF THE CONTRACTOR IS UNSURE OF THE DESIGN INTENT. INSTALLATION OF ANY WORK THAT DOES NOT COMPLY WITH THE DESIGN INTENT AS DETERMINED BY THE ARCHITECT, SHALL BE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
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- THE ARCHITECT'S PRINCIPALS, EMPLOYEES, AGENTS, AND CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF, OR EXPOSURE OF PERSONS, TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING, BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), RADON, LEAD, OR OTHER TOXIC SUBSTANCES.
- ALL CONSTRUCTION, EQUIPMENT, CONTENTS, ETC. SHALL BE PROTECTED BY THE CONTRACTOR DURING THE ENTIRE PERFORMANCE OF THE WORK. AREAS DISTRIBUTED OR DAMAGED BY THE CONTRACTOR SHALL BE COMPLETELY RESTORED, REPAIRED, OR REPLACED BY THE CONTRACTOR TO THE OWNER'S COMPLETE SATISFACTION AT NO ADDITIONAL COST.
- ALL DEBRIS AND UNUSED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. NO ON-SITE STORAGE, BURNING, OR BURIAL OF DEBRIS SHALL BE PERMITTED. THE CONSTRUCTION SITE SHALL BE KEPT IN A CLEAN AND SAFE MANNER, INCLUDING, BUT NOT LIMITED TO DAILY BROOM CLEANING THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT.
- ALL MATERIALS AND PRODUCTS SHALL BE PROTECTED AND PROPERLY STORED ACCORDING TO DAILY BROOM CLEANING THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT. ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED RECOMMENDATIONS TO MAINTAIN THE PROPER WARRANTIES.
- MISCELLANEOUS WOOD, COLD FORMED, OR ROLLED STEEL SHAPES, WHETHER BLOCKING OR SUB-FRAMING THAT ARE REQUIRED FOR THE INSTALLATION OF OTHER ITEMS NECESSARY FOR A COMPLETE PACKAGE SHALL BE PROVIDED WHETHER OR NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING & BRACING TO SUPPORT EXISTING OR NEW CONSTRUCTION NOT FULLY SET UNTIL PERMANENT SUPPORTS ARE ERECTED. TAKE ALL NECESSARY MEASURES TO PREVENT COLLAPSE OF ANY ELEMENT OF NEW OR EXISTING CONSTRUCTION.
- DETAILS & SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS & ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" INDICATE ALL "LIKE CONDITIONS" ARE TO BE TREATED SIMILARLY.
- UNLESS FACTORY FINISHED, OR OTHERWISE SPECIFICALLY NOTED IN THE CONTRACT DOCUMENTS, ALL EXPOSED SURFACES SHALL BE PAINTED/COATED IN COLORS & TEXTURES AS SELECTED BY THE OWNER. NO SURFACES SHALL BE LEFT UNFINISHED UNLESS SPECIFICALLY NOTED IN THE CONTRACT DOCUMENTS.
- WORK NOT INDICATED IN PART OF THE DRAWING, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE PROVIDED BY THE CONTRACTOR.
- MINOR DETAILS OR INCIDENTAL ITEMS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER, OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ACTUAL SCOPE OF DEMOLITION SHALL NOT BE LIMITED TO WHAT IS SPECIFICALLY INDICATED ON THE DRAWINGS, BUT SHALL INCLUDE ALL COMPLETE OR SELECTIVE DEMOLITION AS MAY BE NECESSARY TO ACCOMPLISH THE INTENDED CONSTRUCTION. THIS APPLIES TO THE WORK OF ALL TRADES.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE UNLESS OTHERWISE NOTED.

PROJECT INFORMATION:

PROJECT LOCATION: MAPLE PLACE MIDDLE SCHOOL
2 MAPLE PLACE
OCEANPORT, NJ 07757

USE GROUP: "E" - EDUCATION

NUMBER OF STORIES: ONE

BUILDING SQUARE FOOTAGE: +/- 56,000 SF

SQUARE FOOTAGE OF ADDITIONS: 0 SF

PROJECT TEAM:

OWNER: OCEANPORT BOARD OF EDUCATION

ARCHITECT: SOLUTIONS ARCHITECTURE, LLC
96 POMPTON AVE. 2ND FLOOR, SUITE 200
VERONA, NJ 07044
973.484.4800

MEP & CIVIL ENGINEERS: FRENCH & PARRELLO ASSOCIATES
1800 ROUTE 34
WALL TOWNSHIP, NJ 07719
732.312.9800

DRAWING LIST	
Sheet Number	Sheet Name
0.TS	TITLE SHEET
A.1.0	SITE IMPROVEMENTS

Consulting Engineer's Seal:

TITLE SHEET

No.	DATE:	COMMENTS:
	07/01/19	DOE SUBMISSION
	08/07/19	DOE RE-SUB.
	09/26/19	DOE RE-SUB.

DATE: 07/10/19	SOLUTION No.
SCALE: 12" = 1'-0"	18.131
DRAWN BY: MJ	DRAWING No.
CHECKED BY: AG	0.TS

PLANNING BOARD SUBMISSION

FOR
OCEANPORT SCHOOL DISTRICT

AT
MAPLE PLACE MIDDLE SCHOOL

2 MAPLE PLACE, OCEANPORT, NJ 07757

SOLUTIONS
ARCHITECTURE
FRANK A. MESSINEO, AIA • A114580

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96 Pompton Avenue, 2nd Floor, Suite 200, Verona, NJ 07044
www.solutionsarch.com
info@solutionsarch.com

Architect's Seal:

PLANNING BOARD SUBMISSION

SITE PLAN

No.	DATE:	COMMENTS:
	07/10/19	DOE SUBMISSION
	08/07/19	DOE RE-SUB.
	09/26/19	DOE RE-SUB.

DATE: 07/10/19	SOLUTION No.
SCALE: 1" = 40'	18.131
DRAWN BY: DC	DRAWING No.
CHECKED BY: KBS	A.1.0

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 1422)**

Meeting: 10/22/19 07:30 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1422

PB2019-11 Mangan, Nichola

Vacant Lot - Shrewsbury Ave

Block 66, Lots 3 & 4

Bulk variance for lot width, 120' required, 102.09 existing



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

7.1.a

Corporate Headquarters
331 Newman Springs Road, Suite 203
Red Bank, NJ 07701
T: 732.383.1950
F: 732.383.1984
www.maserconsulting.com

September 23, 2019

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
315 E. Main Street
Oceanport, NJ 07757

Re: Bulk Variance
Shrewsbury Avenue
Block 66, Lots 3 and 4
Borough of Oceanport, Monmouth County, New Jersey
MC Project No. OPP-257

Dear Board Members:

Our office has received the following information in support of the above-referenced Bulk Variance application:

- Conceptual Architectural Plans not titled, not dated, consisting of two (2) sheets;
- Plan entitled "Shrewsbury Avenue Plot Plan", prepared by DW Smith Associates, LLC last revised September 18, 2019 and consisting of one (1) sheet.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 18,855 SF (0.4329 acres) on the west side of Shrewsbury Avenue, approximately 100 feet south of the intersection with Iroquois Avenue Place. The Applicant proposes to construct a single-family dwelling with an attached front entry two car garage on the currently vacant lot.

Based on our review of the application, we recommend that the application be deemed **complete** and scheduled for the next available hearing. A planning and engineering review of the application is provided below.

Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Lot Width: 120 feet required, 102.09 feet existing/proposed. A Bulk Variance is required for the pre-existing condition.



The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

- **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
- **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

General Comments

1. Building height is measured from the crown of the road at the midpoint of the property frontage to the peak of the roof. The Applicant is not requesting a variance. If approved, a condition of approval will be the requirement of a Surveyor’s certification of the building height to be submitted to the Zoning Officer once sheathing is completed and prior to installation of any roofing or siding materials.
2. A copy of the signed and sealed Boundary and Topographic Survey shall be provided.
3. The applicant shall clarify if the lots are to be consolidated by deed or map. The Applicant should indicate if the subdivision is to be filed by deed or map. If filing by deed, the appropriate metes and bounds descriptions should be forwarded to this office for review and approval.



Jeanne Smith, Planning Board Secretary
MC Project No. OPP-257
September 23, 2019
Page 3 of 3

Additional Agency Approvals

This application is subject but not limited to the following outside agency approvals or letter of no jurisdiction:

- a. Two River Water Reclamation Authority
- b. New Jersey American Water
- c. Freehold Soil Conservation District
- d. Oceanport Road Opening Permit

We reserve the opportunity to further review and comment on this application and all pertinent documentation, pursuant to testimony presented at the public hearing.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING P. A.

A handwritten signature in blue ink, appearing to read 'W. H. White, III'.

William H.R. White, III, P.E., P.P., C.M.E.
Planning Board Engineer and Planner

WHW/nb

cc: Kevin Kennedy, Esq. (kkennedy@kevinkennedylaw.net)
Nichola Mangan (Bill@crossptllc.com)

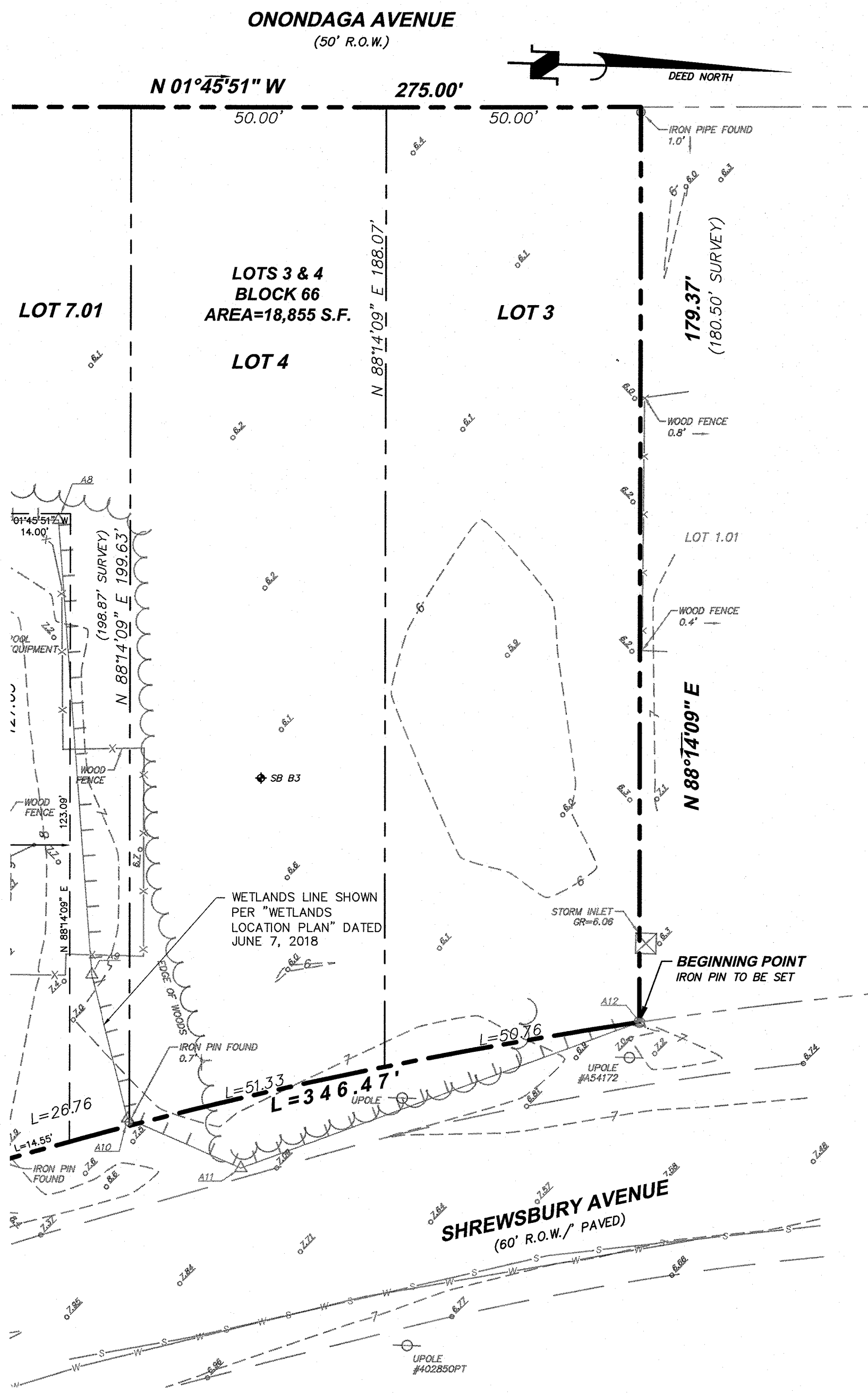
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GENERAL NOTES:

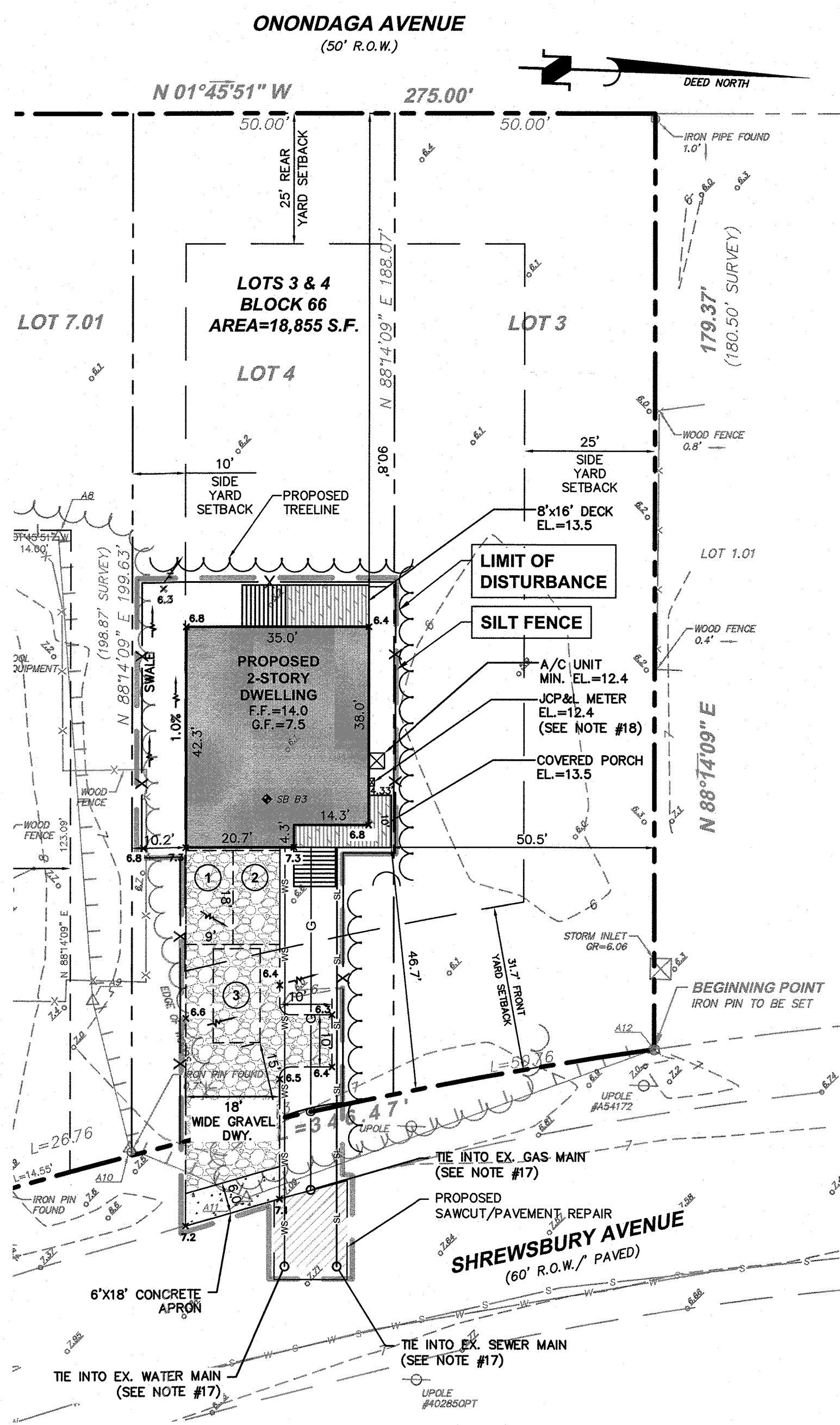
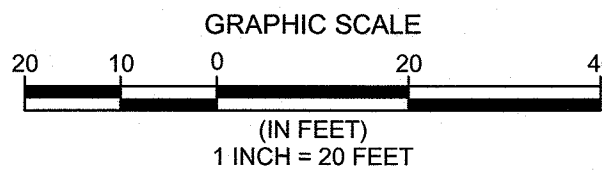
APPLICANT: WILLIAM MANGAN
CROSSPOINT, LLC
540 SHREWSBURY AVENUE
OCEANPORT, NJ 07757

OWNER: ALEXIS MANGAN
507 BROWNSTRONG RIDGE
MERIDEN, CT 06451

- THE PROPERTY IS KNOWN AS LOTS 3 & 4, BLOCK 66, AS SHOWN ON THE BOROUGH OF OCEANPORT TAX MAP SHEET NO. 10.
- PLOT PLAN IS BASED ON A PLAN ENTITLED, "BOUNDARY AND TOPOGRAPHIC SURVEY LOTS 3, 4, 6 & 7.01, BLOCK 66 TAX MAP SHEET NO. 10, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY". PREPARED BY DW SMITH ASSOCIATES, LLC, DATED 9/11/17 LAST REVISED 3/14/18 AND WETLANDS LOCATION PLAN LOTS 3, 4 & 7.01 BLOCK 66 TAX MAP SHEET NO. 10 BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY DW SMITH ASSOCIATES DATED JUNE 7, 2018.
- THE ENTIRE SITE EXISTS WITHIN A FLOOD HAZARD AREA. NO RIPARIAN ZONE EXISTS ON THE SUBJECT SITE. THE APPLICANT INTENDS TO CONSTRUCT A NEW 2 STORY DWELLING AND STEPS TO GRADE TO BE IN CONFORMANCE WITH FEMA REGULATIONS. NEW CONSTRUCTION SHALL HAVE LOWEST FLOOR ELEVATED ABOVE THE DESIGNED FLOOD ELEVATION, WHICH IS THE BASE FLOOD ELEVATION (BFE) PLUS TWO FEET, BFE=10.0. ARCHITECTURAL PLANS HAVE NOT BEEN DESIGNED FOR THIS PROPERTY. DWELLING WILL NOT EXCEED A FOOTPRINT OF 35' X 50', AND WILL NOT EXCEED MAXIMUM BUILDING HEIGHT OF 35'. THE APPLICANT WILL NOT ENCLOSE LOWER LEVEL OF PILES, AREA BELOW F.F. WILL NOT BE USED AS A GARAGE. THE EXISTING LOT IS VACANT.
- VERTICAL DATUM IS BASED ON NAVD 88.
- THE DEED SHALL BE MODIFIED TO INCLUDE THE FOLLOWING ITEMS:
 - SA. THE DRIVEWAY IS LIKELY TO BE INUNDATED WITH FLOOD WATERS, WHICH MAY RESULT IN DAMAGE AND/OR INCONVENIENCE.
 - SB. THE DRIVEWAY IS LOCATED IN AND BELOW THE ELEVATION OF THE FLOOD HAZARD AREA ZONE AE, WITH A 1% ANNUAL FLOOD CHANCE OF 100 YEAR FLOOD.
 - SC. THE DEPTH OF FLOODING FROM THE BASE FLOOD ELEVATION (ELEVATION 10 IN NAVD 88) TO THE DESIGN GRADE OF THE DRIVEWAY SHALL BE 3-4 FEET IN DEPTH.
- ALL PROPOSED DECKS AND PORCHES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE 16 SET FORTH AT N.J.A.C. 7:13-7.16.
- ALL PROPOSED STAIRS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE 15 SET FORTH AT N.J.A.C. 7:13-7.15.
- GENERAL CONSTRUCTION ACTIVITIES WILL NOT RAISE THE EXISTING GROUND ELEVATION IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE 9 SET FORTH AT N.J.A.C. 7:13-7.9.(g).
- ALL PROPERTY MAINTENANCE SHALL BE COMPLETED IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE 1 SET FORTH AT N.J.A.C. 7:13-7.1.
- THE USE OF PLASTIC UNDER LANDSCAPED OR GRAVEL AREAS IS PROHIBITED. ALL SUB-GRAVEL LINERS SHALL BE MADE OF FILTER CLOTH OR OTHER PERMEABLE MATERIAL.
- THE DRIVEWAY SHALL BE PITCHED TO DRAIN ALL RUNOFF TO PERMEABLE AREAS OF THE SITE.
- THE PROJECT IS NOT CONSIDERED "MAJOR DEVELOPMENT" UNDER THE STORMWATER MANAGEMENT RULES (LESS THAN ONE ACRE OF DISTURBANCE AND LESS THAN A QUARTER-ACRE OF NEW IMPERVIOUS AREA).
- CURRENT EFFECTIVE BASE FLOOD ELEVATION IS 10 IN ZONE 'AE' PER FEMA MAP NO. 34025C01846, PANEL 184 OF 457, REVISED ON JUNE 20, 2018.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND TO DESIGNATE A QUALIFIED EMPLOYEE RESPONSIBLE FOR SITE SAFETY PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE NEW JERSEY ONE CALL SYSTEM FOR UTILITY MARK OUTS THREE (3) BUSINESS DAYS IN ADVANCE. UNDER NO CIRCUMSTANCES SHALL ANY UNDERGROUND EXCAVATION OR WORK BE PERFORMED DURING THIS TIME. THE CONTRACTOR CAN CALL THE NJ ONE CALL SYSTEM SEVEN (7) DAYS A WEEK, TWENTY-FOUR (24) HOURS A DAY BY CALLING 811 OR 1-800-272-1000. THE CONTRACTOR SHALL FOLLOW THE GUIDELINES OUTLINED IN THE NEW JERSEY UNDERGROUND DAMAGE PREVENTION GUIDELINES FOUND ON THE NJ ONE CALL WEBSITE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE DONE TO UNDERGROUND UTILITIES.
- BROKEN OR DAMAGED CURBS, SIDEWALKS OR APRONS ALONG THE ROAD FRONTAGE ARE TO BE RECONSTRUCTED PER THE DIRECTION OF THE BOROUGH ENGINEER.
- NEW GAS, ELECTRIC, CABLE, TELEPHONE, WATER AND SANITARY SEWER SERVICES ARE TO BE EXTENDED TO THE DWELLING. UTILITIES TO BE INSTALLED UNDERGROUND.
- PER J.C.P.L. THE BOTTOM OF THE ELECTRICAL METER SHALL BE INSTALLED AT OR ABOVE THE DESIGN FLOOD ELEVATION (D.F.E.) AND NO MORE THAN 6 FT. ABOVE ADJACENT GRADE OR 5 FT ABOVE THE NEAREST CLEAR HORIZONTAL PLATFORM SURFACE. BOTTOM OF METER ELEVATION=12.4. A 42"X48" FLAT AREA BELOW THE METER SHALL BE PROVIDED.
- THE BOROUGH OF OCEANPORT ZONING ORDINANCE SECTION 390-22.D. TABLE 1 REQUIRES 3.0 PARKING SPACES FOR A SINGLE FAMILY DWELLING. A DRIVEWAY HAS BEEN PROVIDED TO MEET THIS REQUIREMENT.
- YARD AREAS NOT UTILIZED FOR BUILDINGS, DRIVEWAYS OR OTHER STRUCTURES SHALL BE PERMANENTLY STABILIZED BY THE PROPERTY OWNER IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT STABILIZATION AND FREEHOLD SOIL CONSERVATION DISTRICT.
- THE SEASONAL HIGH WATER TABLE IS ENCOUNTERED AT ELEVATION 6.1.
- PER ORDINANCE SECTION 390-14.A (3), CHIMNEYS MAY BE ERCTED WITHIN A SIDE YARD, PROVIDED THAT THEY DO NOT EXCEED 20 SF IN AGGREGATE EXTERNAL AREA.
- THE APPLICANT SHALL PROVIDE AT THE TIME OF THE SHEATHING INSPECTION A CERTIFICATION FROM A LICENSED SURVEYOR INDICATING THE FINAL AS-BUILT HEIGHT OF THE SUBJECT STRUCTURE AS MEASURED FROM THE CROWN OF THE ROAD IN THE CENTER OF THE LOT INDICATING COMPLIANCE WITH THE BULK HEIGHT REQUIREMENTS OF THE ZONE DISTRICT OR ANY HEIGHT VARIANCE APPROVED BY THE BOARD.
- RECEIVED DEP AUTHORIZATION TO CONSTRUCT FHGPC6 PERMIT TO CONSTRUCT SINGLE FAMILY IN TIDAL PERMIT #1338-18-0003.1 - FHC190001. EFFECTIVE DATE OF AUTHORIZATION 04/01/2019. PLEASE REFER TO PERMIT FOR GENERAL PERMIT BY CERTIFICATION (GPBC) CONDITIONS.
- THE CRAWL SPACE SHALL REQUIRE FLOOD VENTING IN COMPLIANCE WITH F.E.M.A. REGULATIONS.
- ALL CONSTRUCTION BELOW ELEVATION 12.4 WILL BE REQUIRED TO BE CONSTRUCTED OF FLOOD RESISTANT MATERIALS.

**EXISTING CONDITIONS**

SCALE: 1" = 20'

**PLOT PLAN**

SCALE: 1" = 20'

AREA OF DISTURBANCE	
4,994 S.F.	0.11 AC.

IMPERVIOUS COVERAGE CALCULATIONS		
PRINCIPAL BUILDING COVERAGE	EXISTING	PROPOSED
HOUSE (S.F.)	0	1,420
COVERED PORCH (S.F.)	0	105
TOTAL PRINCIPAL BUILDING COVERAGE: (S.F.)	0	1,525
PRINCIPAL BUILDING COVERAGE (%)	0	8.1

SEQUENCE OF CONSTRUCTION	
1	INSTALL SILT FENCE
2	CLEARING OF LOT
3	ROUGH GRADING OF PROPERTY
4	CONSTRUCTION OF DWELLING UNIT(S)
5	FINAL GRADING OF LOT(S)
6	PERMANENT STABILIZATION OF LOT(S)

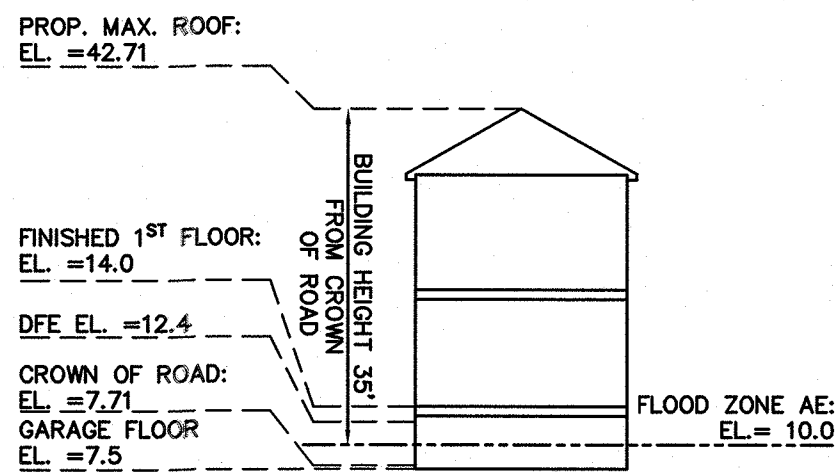
**ZONING SCHEDULE - R-3 SINGLE FAMILY RESIDENTIAL ZONE
BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY**

MINIMUM AREA REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA (S.F.)	12,000	18,855
LOT WIDTH (FEET)	120	102.09*
LOT DEPTH (FEET)	100	188 +/-
MINIMUM REQUIRED YARD AREAS - PRINCIPAL BUILDING		
FRONT YARD SETBACK (FEET) (1)	31.7	47.4
SIDE YARD SETBACK (FEET)	10	10.2
SIDE YARD COMBINED SETBACK (FEET)	25	65.0
REAR YARD SETBACK (FEET)	25	90.8
BUILDING HEIGHT REQUIREMENTS		
MAXIMUM HEIGHT (FT)/STORIES (2)	35.0/2.5	35.0/2
MAXIMUM LOT COVERAGE		
PRINCIPAL BUILDING COVERAGE (%)	25	8.1

* EXISTING NON-CONFORMITY

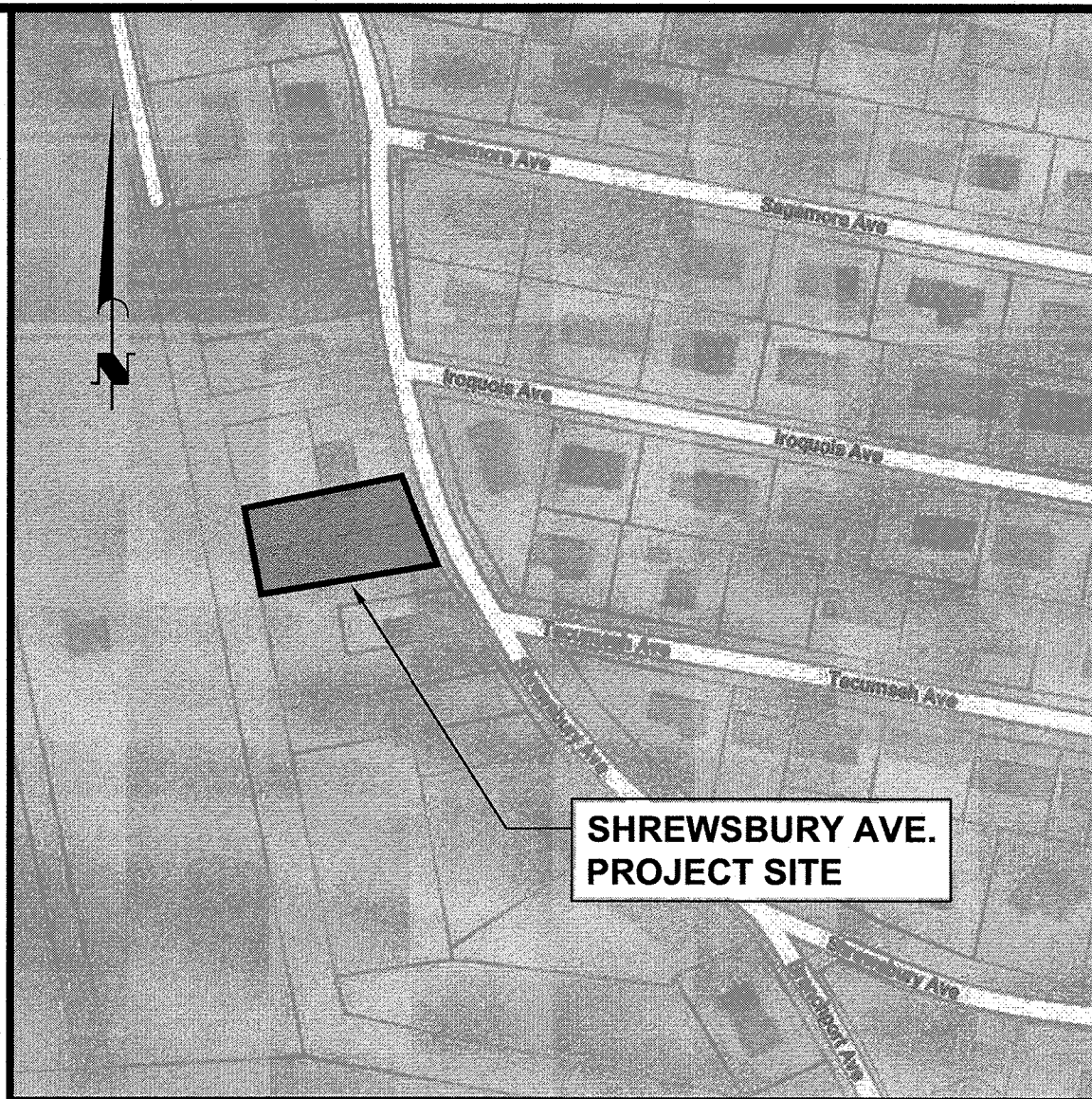
(1) THE FRONT YARD SETBACK IS BASED UPON THE AVERAGE ALIGNMENT OF EXISTING PRINCIPAL STRUCTURES WITHIN 200' OF THE PROPERTY WITHIN THE SAME BLOCK. PER DWSA "BOUNDARY AND TOPOGRAPHIC SURVEY, LOTS 3, 4, 6 & 7.01, BLOCK 66, TAX MAP SHEET NO. 10, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY", DATED 9/11/17, LAST REVISED 5/24/18, THE FRONT SETBACK ON LOT 6 IS 32.7 FT. PER "FINAL AS-BUILT PLAN FOR #548 SHREWSBURY AVENUE, BLOCK 66, LOT 1.01, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY KEE ENGINEERING ENTERPRISES, INC., DATED 7/12/17, THE FRONT SETBACK ON LOT 1.01 IS 30.7 FT. THEREFORE, THE AVERAGE FRONT SETBACK IS 31.7 FT.

(2) THE VERTICAL DISTANCE AS MEASURED BY THE CROWN OF THE ROAD OF THE IMPROVED STREET ON WHICH IT FRONTS AT THE MIDPOINT OF THE LOT TO THE HIGHEST POINT OF THE STRUCTURE, EXCLUDING SUCH APPURTENANCES AS OUTLINED IN SECTION 390-13.

**BUILDING HEIGHT CALCULATIONS**

SCALE: 1" = 20'

2	09/18/19	C.A.F.	REVISED PER PLANNING BOARD ENGINEER REVIEW LETTER DATED 09/10/19
1	04/25/19	C.A.F.	REVISED TO PROVIDE DEP APPROVAL (04/01/19)
No.	DATE	BY	DESCRIPTION
			REVISIONS



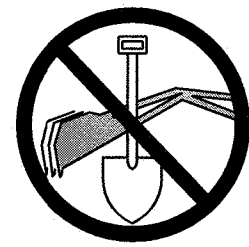
KEY MAP
SCALE: 1" = 200'

LEGEND

F.F. =	PROPERTY LINE
G.F. =	FINISHED FLOOR ELEVATION
(TBR)	GARAGE FLOOR ELEVATION
(TBR)	TO BE REMOVED
(TBR)	TO REMAIN
7.10	EXISTING SPOT ELEVATION
7.0	PROPOSED GRADE ELEVATION
87	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING TREELINE
	PROPOSED TREELINE
X	EXISTING FENCE
X	SILT FENCE
	LIMIT OF DISTURBANCE
	SOIL BORING LOCATION
	9'X18' PARKING SPACE
	ASPHALT DRIVEWAY
	GRAVEL DRIVEWAY
	CONCRETE APRON
	PAVEMENT REPAIR

**BEFORE YOU DIG
CALL TOLL FREE
IN NJ
1-800-272-1000**

THREE WORKING DAYS BEFORE YOU DIG

**CROSSPOINT, LLC**

**LOTS 3 & 4, BLOCK 66
TAX MAP SHEET #10**

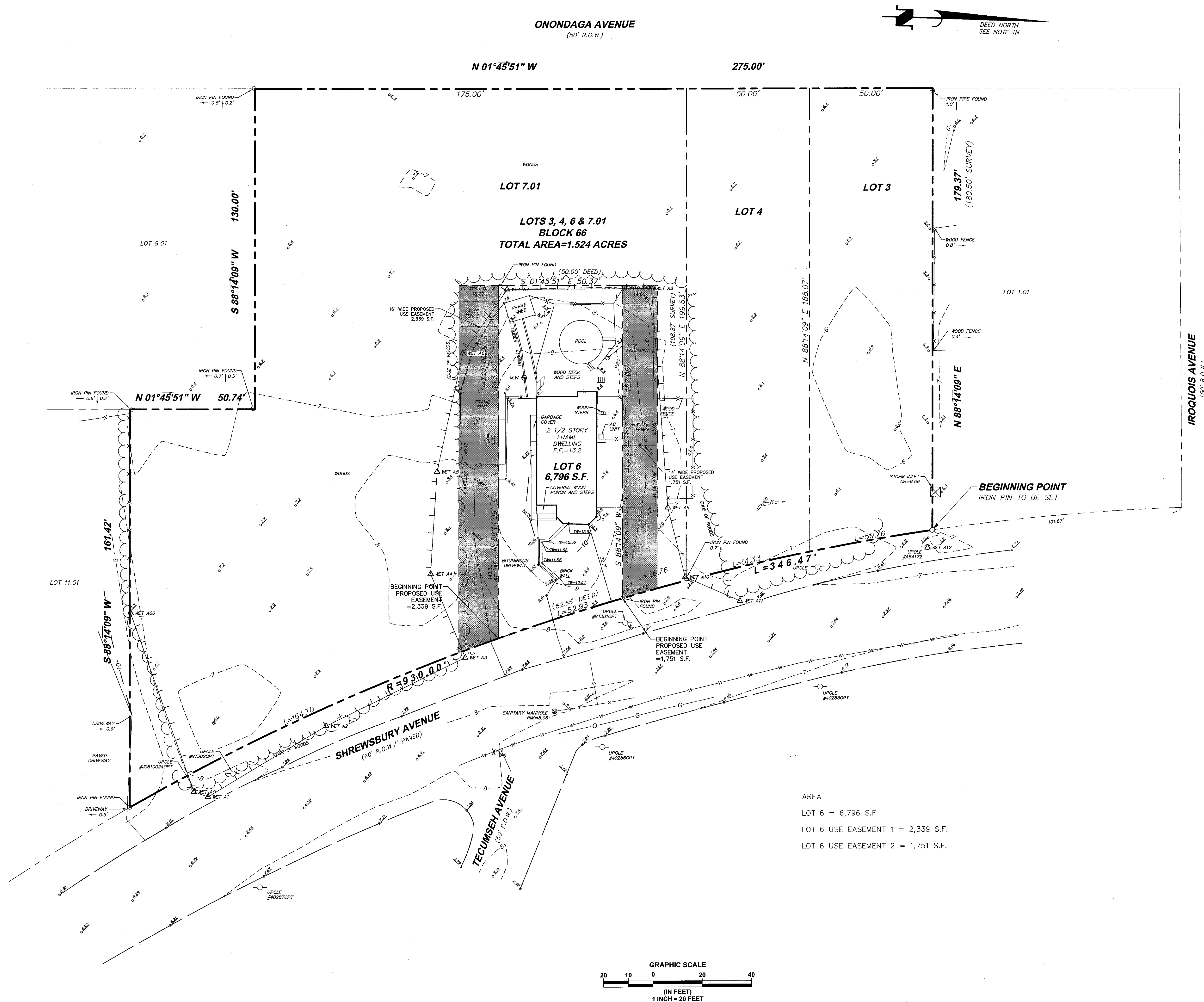
BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY

**SHREWSBURY AVENUE
PLOT PLAN**

ENGINEERS ▽ PLANNERS ▽ SURVEYORS
ENVIRONMENTAL SERVICES ▽ COMMUNITY ASSN. SERVICES ▽ LANDSCAPE ARCHITECTS
NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

CAROLYN A. FEIGIN
PROFESSIONAL ENGINEER
N.J. P.E. No. 24GE04247200

PROJECT No.:	16-719.00
DATE:	JULY 06, 2018
DESIGNED BY:	R.E.
DRAWN BY:	P.T.
REVIEWED BY:	C.A.F.
SHEET:	1 OF 1



DEED DESCRIPTION:

THE ABOVE PREMISES BEING KNOWN AND DESIGNATED AS LOTS 41, 43, 45-74, BLOCK 1-A AS SHOWN ON A CERTAIN PLAN ENTITLED "PERFECTED AND AMENDED MAP OF PROPERTY KNOWN AS PORTAUECK, MONMOUTH CO., N.J." AS FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON NOVEMBER 11, 1920 AS CASE No. 23-6, ALSO KNOWN AS LOTS 3, 4, 6 AND 7.01, BLOCK 66 ON THE BORO OF OCEANPORT TAX MAP SHEET No. 10.

GENERAL NOTES:

- THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE FOLLOWING:
 - FILED MAP CASE No. 23-6 AS REFERENCED ABOVE.
 - A PLAN ENTITLED "SURVEY OF PROPERTY, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, N.J." PREPARED BY CHARLES M. WIDDIS, DATED NOVEMBER 7, 1986, REVISED FEBRUARY 1, 1988.
 - A PLAN ENTITLED "SURVEY OF LOTS 3 & 4, BLOCK 66, BORO OF OCEANPORT, MONMOUTH COUNTY, N.J." PREPARED BY AZIMUTH LAND SURVEYING Co., INC., DATED MARCH 28, 2000.
 - A PLAN ENTITLED "SURVEY OF PROPERTY, BLOC 66, LOT 5, 7, 8, SITUATED IN BOROUGH OF OCEANPORT, MONMOUTH COUNTY, N.J." PREPARED BY CHARLES C. WIDDIS, DATED OCTOBER 8, 2003.
 - DEED BOOK 8236, PAGE 1269 (LOT 6)
 - DEED BOOK 8245, PAGE 1141 (LOT 3)
 - DEED BOOK 5692, PAGE 151 (LOT 4)
 - DEED BOOK 8718, PAGE 801 (LOT 7.01)
 - BORO OF OCEANPORT TAX MAP SHEET No. 10.
 - AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY DW SMITH ASSOCIATES, LLC PERSONNEL ON SEPTEMBER 8 AND 11, 2017.
- SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS OF RECORD.
- UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PROPERTY HAS NOT BEEN REVIEWED FOR ANY STATE OF NEW JERSEY TIDELAND CLAIMS THAT MAY ENCUMBER THIS PROPERTY.
- VERTICAL DATUM IS NAVD 88.
- NO ATTEMPT HAS BEEN MADE TO IDENTIFY THE PRESENCE/ABSENCE OF FRESHWATER WETLANDS CLAIMS.

THIS SURVEY IS CERTIFIED TO:

CROSSPOINT, LLC

AND TO ALL CURRENT PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED. THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AND IS CORRECT; THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

Thomas J. Murphy
 THOMAS J. MURPHY
 PROFESSIONAL LAND SURVEYOR
 No. 240503720700

BOUNDARY AND TOPOGRAPHIC SURVEY

LOTS 3, 4, 6 & 7.01 BLOCK 66
 TAX MAP SHEET No. 10

BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY



ENGINEERS ▼ PLANNERS ▼ SURVEYORS
 ENVIRONMENTAL SERVICES ▼ COMMUNITY ASSN. SERVICES ▼ LANDSCAPE ARCHITECTS
 NJ CERTIFICATE OF AUTHORIZATION 24GA28122400

PROJECT No.: 16-710.00	
DATE: SEPTEMBER 11, 2017	SCALE: 1" = 20'
DESIGNED BY: J.A.H.	DRAWN BY: C.A.K./A.S.C.
REVIEWED BY: J.A.H.	SHEET: 1 OF 1

Thomas J. Murphy
 THOMAS J. MURPHY
 PROFESSIONAL LAND SURVEYOR
 N.J. P.L.S. No. 240503720700

No.	DATE	BY	DESCRIPTION
2	05-24-2018	J.A.H.	REVISED TO SHOW WETLAND LINE. SURVEY NOT CONTINUED TO DATE.
1	03/14/2018	J.A.H.	REVISED TO SHOW PROPOSED USE EASEMENTS. SURVEY NOT CONTINUED TO DATE (C.A.K.)
REVISIONS			

**Planning/Zoning Combined Board**

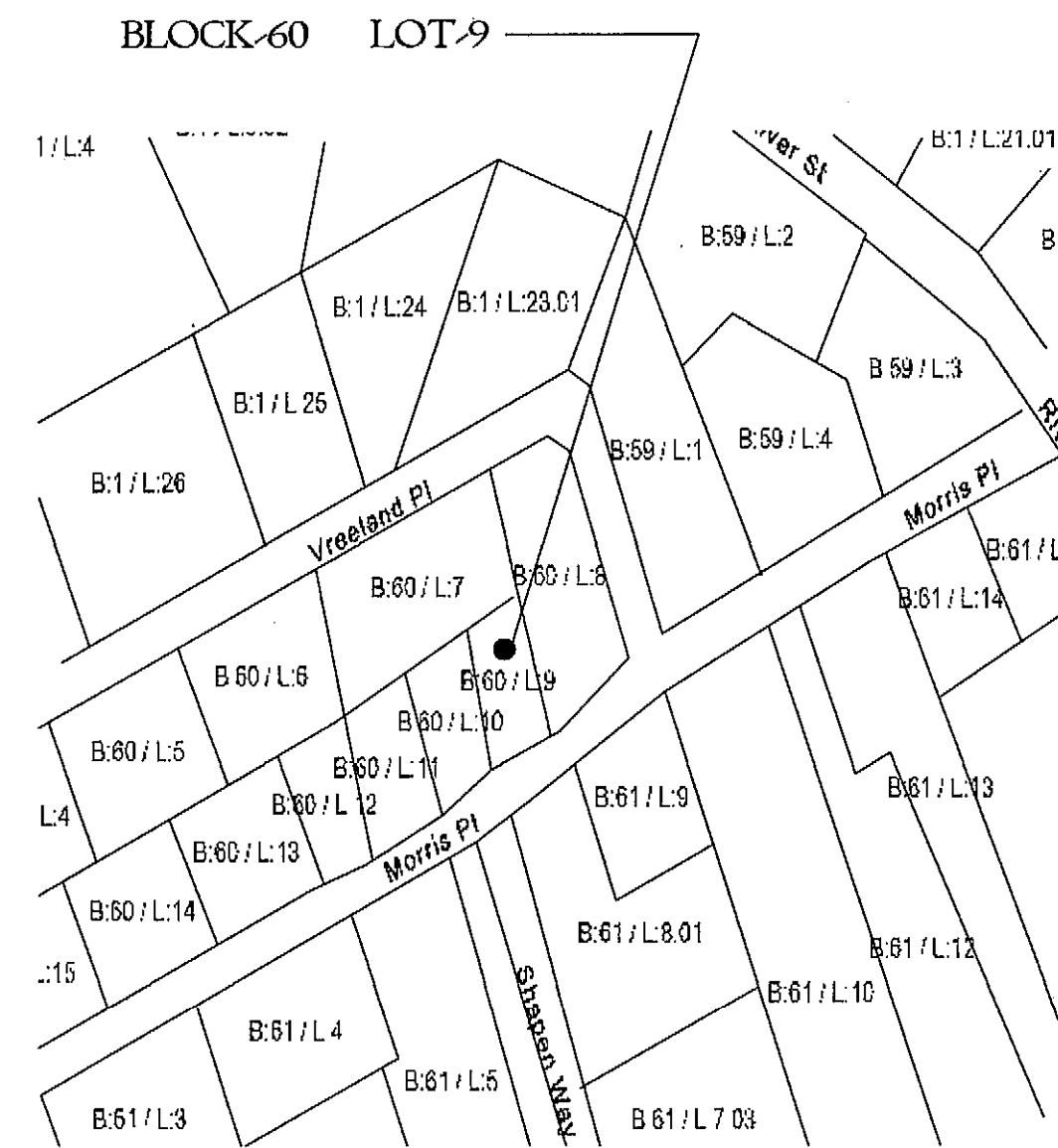
315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 1444)**

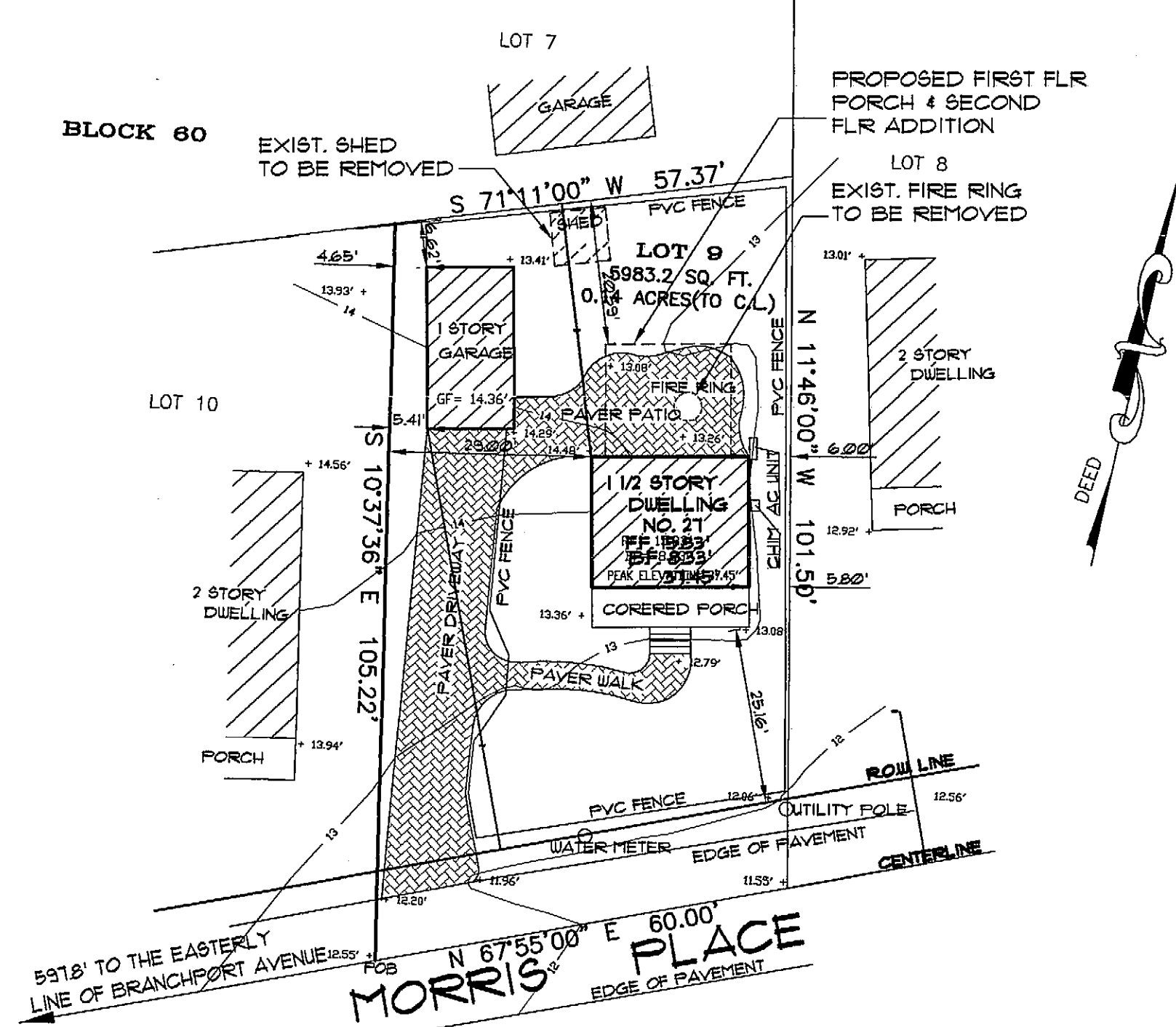
Meeting: 10/22/19 07:30 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1444

PB2019-13 Pulley, Gregory

27 Morris Place
Block 60, Lot 9
Variance relief for addition to single family home

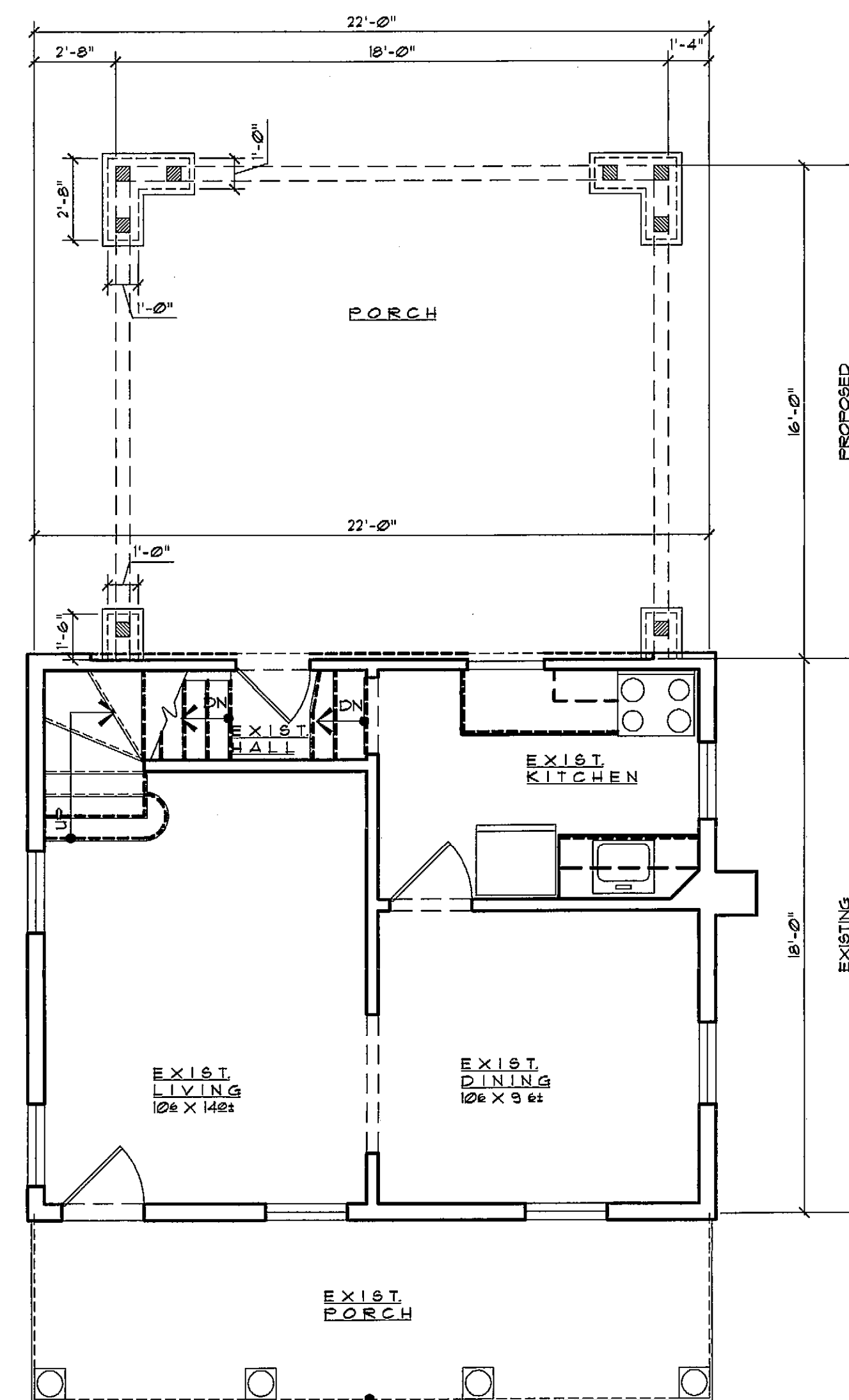


KEY MAP
SCALE: N.T.S. MONMOUTH COUNTY GIS

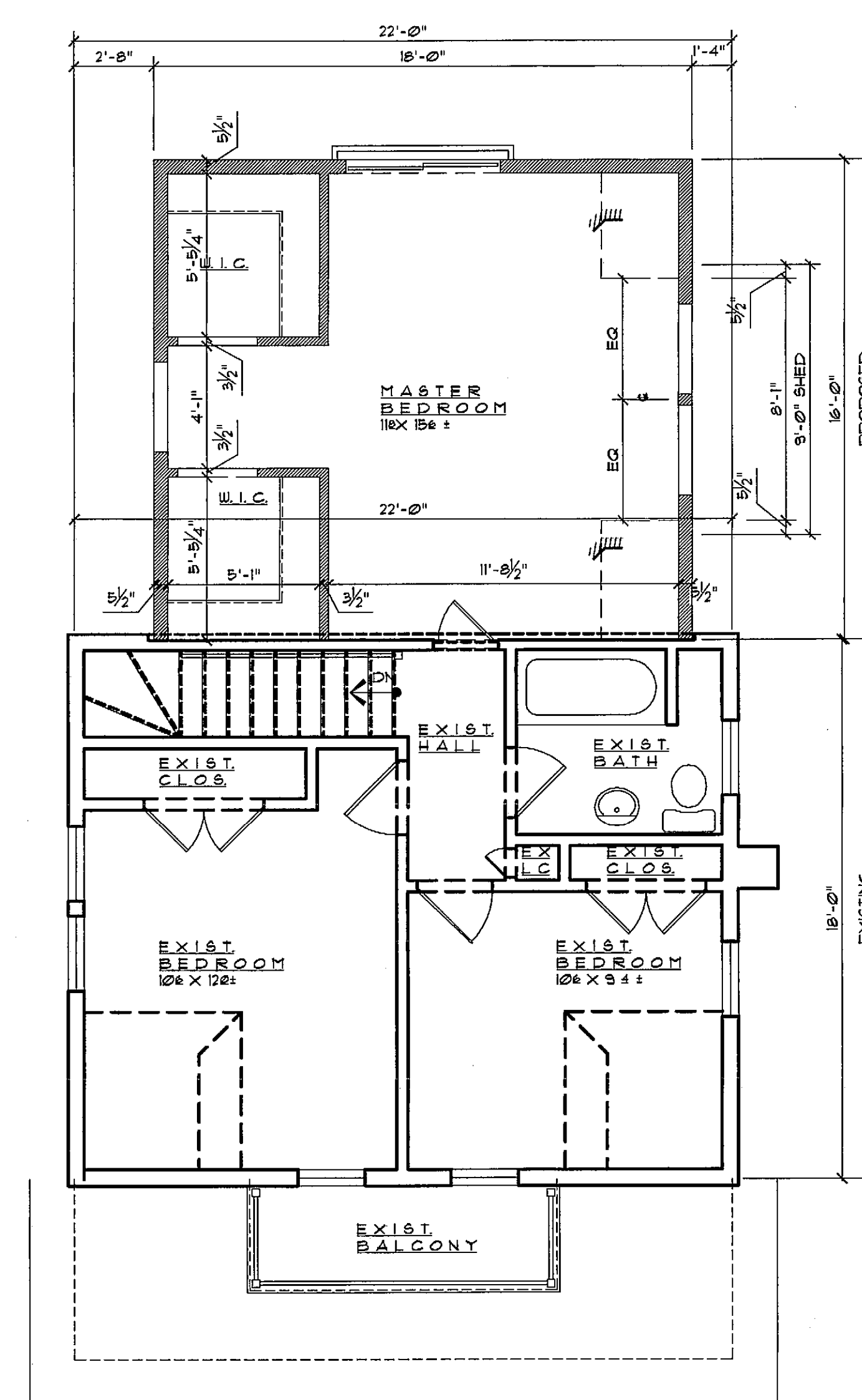


SITE PLAN
SCALE: 1" = 20'-0"

SURVEY INFORMATION
TAKEN FROM SURVEY BY:
LAND CONTROL SERVICES, INC.
620 WARDELL STREET
LONG BRANCH, NJ 07740
PH: 732-229-7628
DATE: 6-10-19



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ZONING DATA

27 MORRIS PLACE
OCEANPORT, NJ
BLOCK 60 LOT 9
R-3 RESIDENTIAL ZONE

	REQUIRED	EXISTING	PROPOSED
LOT AREA	12,000 SF	* 5,983.2 SF	N/C
LOT WIDTH	120'	* 60'	N/C
LOT DEPTH	100'	101.5'	N/C

BH	2 1/2 / 35'	2 / 25'-5 3/8"	N/C
----	-------------	----------------	-----

LC FB	25 %	851 SF / 9.31 %	839 SF / 14.02 %
LC AB	5 %	288 SF / 4.81 % 61 SF / 1.02 % TO BE REMOVED * 5.33 %	288 SF / 4.81 %
FY5B FB	30'	* 25.16'	N/C
FY5B FB	10' / 25'	* 5.8' / 34.8'	N/C
FY5B FB	25'	36.25'	* 20.59'

FY5B AB GARAGE	10'	* 4.65'	N/C / N/C
FY5B AB GARAGE	5'	6.62'	N/C / N/C

IS	31 %	2,245 SF / 31.52 %	2,184 SF / 36.50 %
----	------	--------------------	--------------------

NA NOT APPLICABLE
NC NO CHANGE
* EXISTING NON-CONFORMING
** VARIANCE NEEDED

BOROUGH OF OCEANPORT PLANNING BOARD

CHAIRMAN DATE

SECRETARY DATE

ENGINEER DATE

EXISTING LOT COVERAGE (PRINCIPAL BUILDING)

DWELLING 551 SF
551 SF / 9.21%

PROPOSED LOT COVERAGE (PRINCIPAL BUILDING)

DWELLING 551 SF
PROPOSED ADDITION 288 SF
839 SF / 14.02%

EXISTING LOT COVERAGE (ACCESSORY BUILDING)

GARAGE 288 SF
SHED 61 SF
349 SF / 5.83%

PROPOSED LOT COVERAGE (ACCESSORY BUILDING)

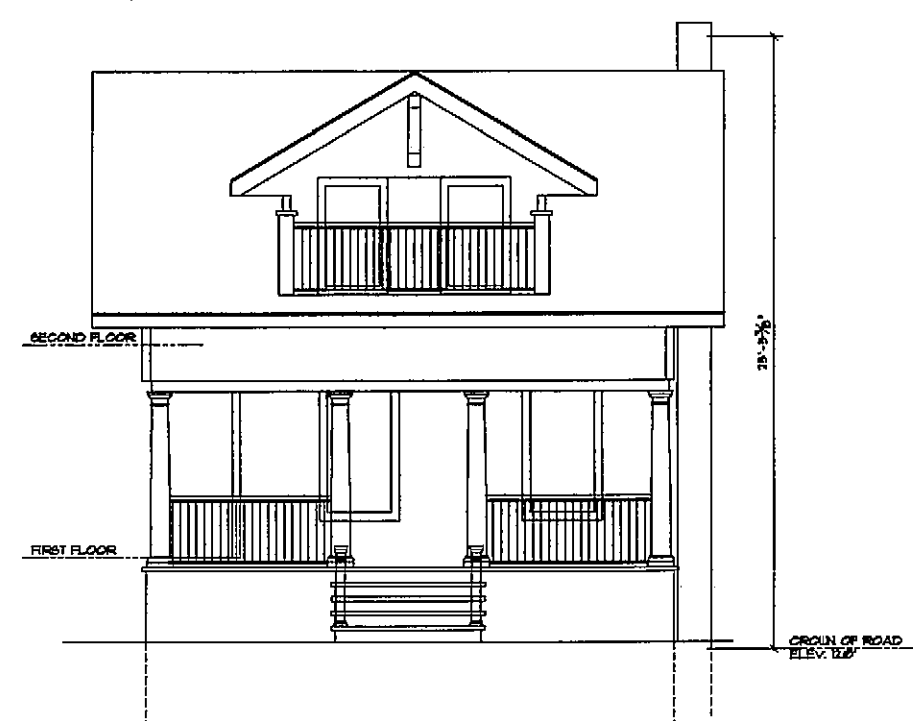
GARAGE 288 SF
SHED -61 SF (TO BE REMOVED)
288 SF / 4.81%

EXISTING IMPERVIOUS SURFACE

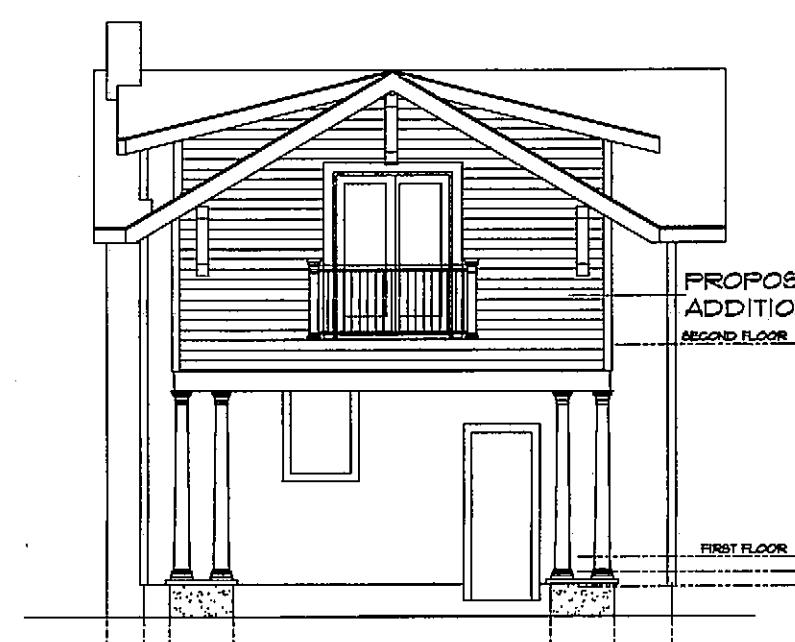
DWELLING 551 SF
GARAGE 288 SF
SHED 61 SF
DRIVEWAY 682 SF
WALK 142 SF
PATIO 521 SF
2,245 SF / 31.52%

PROPOSED IMPERVIOUS SURFACE

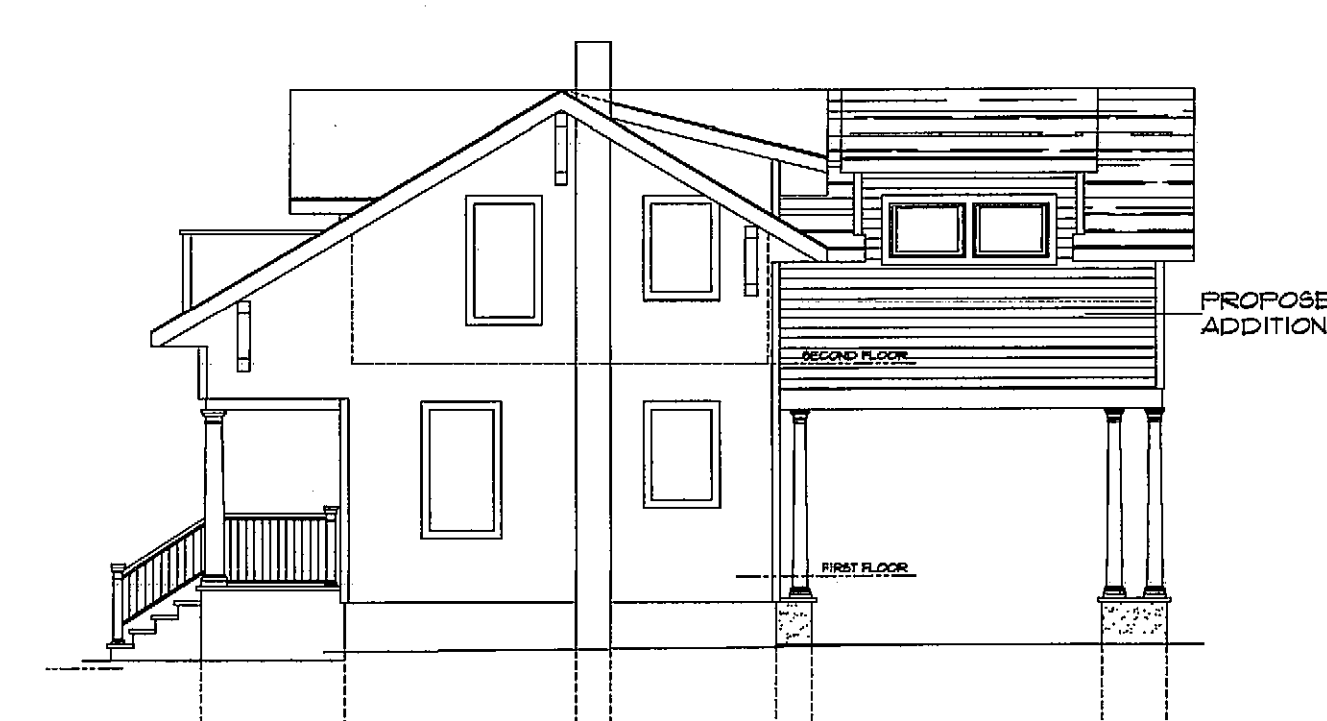
DWELLING 839 SF
GARAGE 288 SF
SHED -61 SF
DRIVEWAY 682 SF
WALK 142 SF
PATIO 233 SF
2,184 SF / 36.50%



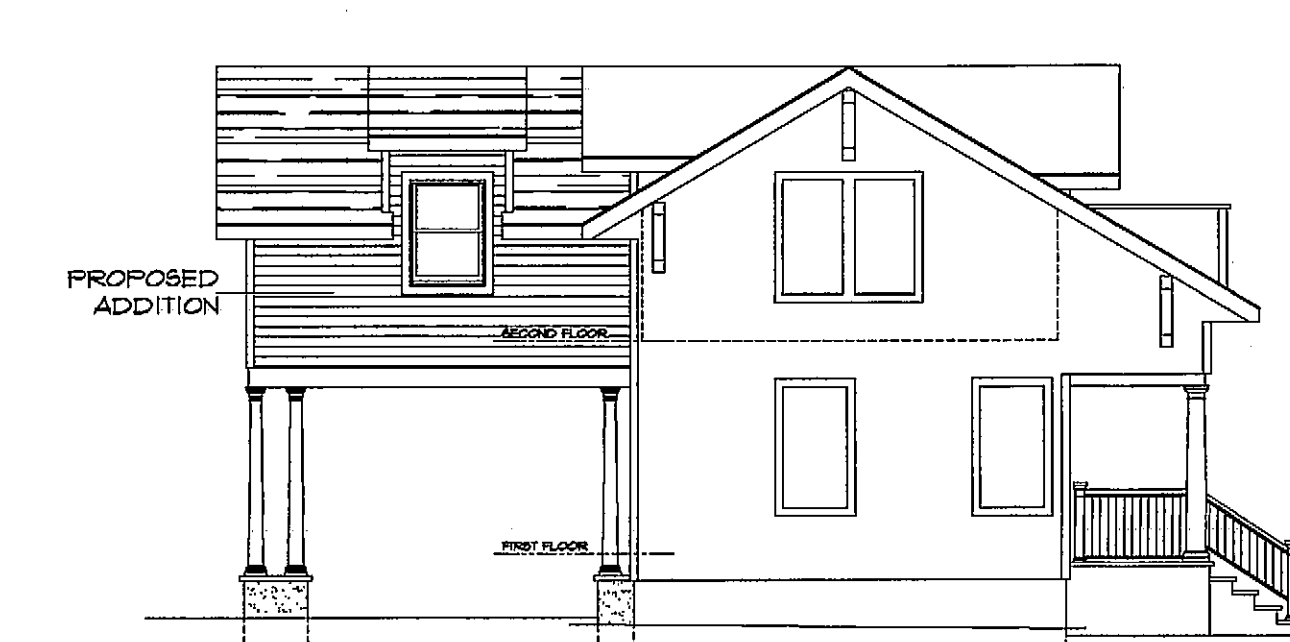
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

JEREMIAH J. REGAN, AIA.
ARCHITECT

147 BRIGHTON AVENUE • 2ND FLR • LONG BRANCH • NJ • 07740
PH: (732) 870-2977 • FAX: (732) 870-1213 • EMAIL: jeremiahregan@aol.com
NEW JERSEY LIC AL-10726
MARYLAND LIC 8060-A

PROJECT TITLE
ADDITION • ALTERATION
PULLEY RESIDENCE
27 MORRIS PLACE
OCEANPORT, NJ
BLOCK 60 LOT 9

SUBJECT
KEY MAP
SITE PLANS
ZONING DATA
FLOOR PLANS
ELEVATIONS

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	8-29-19	GENERAL	MH

SCALE AS NOTED	DRAWN BY MH	CHECKED BY JJR
PROJECT NO. 1933	DATE 7/24/19	

DRAWING NO.
V-1
1 OF 1



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

7.2.b

Corporate Headquarters
331 Newman Springs Road, Suite 203
Red Bank, NJ 07701
T: 732.383.1950
F: 732.383.1984
www.maserconsulting.com

September 24, 2019

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
315 E. Main Street
Oceanport, NJ 07757

Re: Bulk Variance
27 Morris Place
Block 60, Lot 9
Borough of Oceanport, Monmouth County, New Jersey
MC Project No. OPP-258

Dear Board Members:

Our office has received the following information in support of the above-referenced Bulk Variance application:

- Architectural Plans prepared by Jeremiah J. Regan, AIA, last revised August 29, 2019 and consisting of one (1) sheet;
- Plan entitled “Location and Topographical Survey”, prepared by Land Control Services, LLC, dated June 10, 2019 and consisting of one (1) sheet.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 5,983.2 SF (0.1374 acres) on the north side of Morris Place, approximately 600 feet east of the intersection with Branchport Avenue. The Applicant proposes to construct an addition to an existing single-family dwelling. The property contains a detached one-story garage.

Based on our review of the application, we recommend that the application be deemed **complete** and scheduled for the next available hearing. A planning and engineering review of the application is provided below.

Variances/Design Waivers

We offer the following comments for the Board’s consideration:

1. Bulk variances are required for the following:
 - a. Minimum Rear Yard Setback: 25 feet required, 36.25 feet existing and 20.58 feet proposed. A Bulk Variance is required.



Jeanne Smith, Planning Board Secretary
MC Project No. OPP-258
September 24, 2019
Page 2 of 2

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

- **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
- **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

General Comments

1. A copy of the signed and sealed Boundary and Topographic Survey shall be provided.
2. Should the Board approve the application, a condition of approval should be the submission of a limited grading plan for the rear yard to assure neighbors are not adversely impacted, unless the Applicant certifies that existing grades will be maintained.

We reserve the opportunity to further review and comment on this application and all pertinent documentation, pursuant to testimony presented at the public hearing.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING P. A.

A blue ink signature of William H.R. White, III, written in a cursive style.

William H.R. White, III, P.E., P.P., C.M.E.
Planning Board Engineer and Planner

WHW/nb

cc: Kevin Kennedy, Esq. (kkennedy@kevinkennedylaw.net)
Gregory Pulley (geggy22@aol.com)

R:\General\Projects\Opp\OPP-257\Correspondence\OUT\190923_whw_smith_shrewsbury_avenue.docx

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**RESOLUTION - PB (ID # 1462)**

Meeting: 10/22/19 07:30 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1462

Resolution of Approval - Oceanport Urban Renewal Project LLC

RESOLUTION

**BOROUGH OF OCEANPORT PLANNING BOARD
APPROVAL OF THE APPLICATION OF
OCEANPORT URBAN RENEWAL, LP
OCEANPORT GARDENS
274-278 EAST MAIN STREET
OCEANPORT, NEW JESEY
BLOCK 121, LOT 5
APPLICATION NO.: PB 2019-10
APPROVAL DATE: SEPTEMBER 24, 2019
MEMORIALIZATION DATE: OCTOBER 22, 2019**

INTRODUCTION

WHEREAS, Agents of Oceanport Urban Renewal, LP have made Application to the Oceanport Planning Board for the property located at 274-278 East Main Street, Oceanport, New Jersey (Block 121, Lot 5), within the Borough's Village Center Zone, for the following approval: Preliminary and Final Site Plan Approval, Bulk Variance Approval, and Design Waiver Approval to effectuate a number of site improvements to a property currently hosting a 6 story senior apartment building; and

PUBLIC HEARING

WHEREAS, the Board held a Public Hearing on September 24, 2019, Applicant's representatives having filed proper Proof of Service and Publication in accordance with Statutory and Ordinance Requirements; and

EVIDENCE / EXHIBITS

WHEREAS, at the said Hearing, the Board reviewed, considered, and analyzed the following:

- *Zoning Application Package, introduced into Evidence as A-1;*
- *Survey, prepared by LAN Associates, dated March 27, 2019, consisting of 1 sheet, introduced into Evidence as A-2;*

PR-19-22

10-22-19

- *Partial Topographic Survey, prepared by PS&S, dated July 3, 2019, consisting of 1 sheet, introduced into Evidence as A-3;*
- *Preliminary and Final Site Plan, prepared by PS&S, dated August 12, 2019, consisting of 8 sheets, introduced into Evidence as A-4;*
- *Maser Consulting Review Memorandum, dated September 9, 2019, introduced into Evidence as A-5;*
- *Illustrated Site Plan Rendering With Landscaping Details, prepared by PS&S, dated August 12, 2019, introduced into Evidence as A-6;*
- *Vehicle Truck Circulation Plan, prepared by PS&S, dated August 12, 2019, introduced into Evidence as A-7;*
- *Signage Details, prepared by PS&S, dated March 14, 2019, introduced into Evidence as A-8;*
- *Affidavit of Service; and*
- *Affidavit of Publication.*

WITNESSES

WHEREAS, sworn testimony in support of the Application was presented by the following:

- Mark Cifelli, P.E.
- Serena Menendez, Property Manager;
- Jason Schooling, P.P.
- Aaron Brotman, Esq., Appearing

WHEREAS, William H.R. White, III, P.E., P.P., CME, the Board Engineer, was also sworn with regard to any testimony and information he would provide in connection with the subject Application; and

TESTIMONY AND OTHER EVIDENCE PRESENTED ON BEHALF OF THE APPLICANT'S

REPRESENTATIVES

WHEREAS, testimony and other evidence presented by the Applicant's Representatives revealed the following:

- The Applicant herein is the owner of the subject property.
- The Applicant has owned the subject property since approximately July of 2019.
- There is an existing 6 story senior apartment building located on the site (which is identified as "Oceanport Gardens").
- The existing building contains 100 apartments.
- The existing apartment building is occupied by seniors who are over the age of 55.
- There is also an existing 68 space parking lot on the property, along with other site improvements.
- As indicated, the building houses 100 senior apartments. The facility is not an assisted living facility, and the within Application will not change the said fact.
- The Applicant's representatives are in the midst of an ongoing internal and external renovation project.
- The within Application represents one stage of the on-going renovation process.
- The Applicant's proposed improvements associated with the within Application include the following:
 - The installation of 2 monument signs;
 - The planting of additional landscaping;
 - The re-striping of a portion of the existing parking lot;
 - The replacement of the existing sidewalk; and
 - The installation of pedestrian-actuated cross-walk signs, with flashing beacons.
- As indicated, the Applicant is proposing the installation of 2 monument signs.
- Details pertaining to the 2 proposed signs including the following:

SIGN ONE

(Northern Sign)

Type of Sign	Free Standing Monument Sign
1 or 2 sided Sign?	The said sign is a two-sided sign
Size of Sign	4 ft. X ____ ft.

PR-19-22

10-22-19

Sign Area	26.2 sq. ft.
Location of Sign:	_____ adjacent to the _____ driveway.
Sign Content:	
Sign Letter Height:	
Sign Color:	
Illumination?	The sign will not be illuminated.
Interchangeable Copy?:	The proposed sign will not contain/provide interchangeable copy messages

SIGN TWO**(Southern Sign)**

Type of Sign	Free Standing Monument Sign
1 or 2 sided Sign?	The sign is a one-sided sign
Size of Sign	3 ft. X _____ ft.
Sign Area	11.3 sq. ft.
Location of Sign:	_____ adjacent to the _____ driveway.
Sign Content:	
Sign Letter Height:	
Sign Color:	
Illumination?	The sign will not be illuminated.
Interchangeable Copy?:	The proposed sign will not contain/provide interchangeable copy messages

- Although the same are not part of the within Application, several internal improvements have already been effectuated at the site.
- The internal improvements which have already been effectuated at the site include the following:
 - The installation of new kitchens in the apartments;
 - The installation of new floors in the apartments;
 - The installation of new appliances in the apartments;
 - The installation of new high efficiency toilets in the apartments;
 - An upgraded amenities room; and
 - An upgraded/new computer room.
- The Applicant's representatives anticipate that the proposed improvements will be completed in the very near future.

- The Applicant's representatives will be utilizing licensed Contractors in connection with the renovation process.

VARIANCE

WHEREAS, the Application as presented and modified requires approval for the following

Variance:

SIGN VARIANCE: The Village Center Zone does not permit free-standing signs; whereas, in the within situation, the Applicant is proposing two free-standing monument signs.

DESIGN WAIVERS

WHEREAS, the Application as presented and modified requires Approval for the following

Design Waivers:

CURB MATERIAL: The Prevailing Zoning Ordinance requires all curbing to be granite block; whereas, in the within situation, the Applicant will be replacing some curb on the north side of the building with concrete vertical curb (similar to what currently exists on the property);

ACCESS DRIVE WIDTH: The Prevailing Zoning Regulations require a minimum of 25 foot wide access drive width; whereas, in the within situation, the Access Drive proposed for the five-space parking lot (in the rear of the building) is only 13 ft. wide;

PUBLIC COMMENTS

WHEREAS, public comments, questions, statements, and/or concerns regarding the Application were submitted by the following:

- Karen Long
- Jeffrey Oaks

FINDINGS OF FACT

NOW, THEREFORE, BE IT RESOLVED, by the members of the Oceanport Planning Board, after having considered the aforementioned Application, plans, evidence, and testimony, that the Application is hereby **granted / approved with conditions**.

In support of its decision, the Oceanport Planning Board makes the following Findings of Fact and Conclusions of Law:

1. The Oceanport Planning Board has proper jurisdiction to hear the within matter.
2. The subject property is located at 274-278 East Main Street, identified as Block 121, Lot 5, Oceanport, New Jersey, within the Borough's Village Center Zone.
3. The subject property contains approximately 4.39 acres.
4. The subject property is located on the west side of East Main Street, approximately 350 ft. northwest of the intersection with Haskell Way.
5. The subject property currently hosts a 100 Unit 6 Story Senior Apartment Building.
6. The property also hosts a parking lot and other site improvements.
7. As part of an on-going renovation process, the Applicant's representatives are proposing a number of site-related improvements, including, the following:
 - The installation of 2 monument signs;
 - The planting of additional landscaping;
 - The re-striping of a portion of the existing parking lot;
 - The replacement of the existing sidewalk; and
 - The installation of pedestrian-actuated cross-walk signs, with flashing beacons.
8. Such a proposal requires Preliminary and Final Site Plan approval, bulk variance approval, and design waiver approval.
9. The Oceanport Planning Board is statutorily authorized to grant the requested relief and therefore, the matter is properly before the said entity.

10. With regard to the Application, and the requested relief, the Board notes the following:

- In response to questioning from a member of the public, the Applicant's representatives testified as to a number of internal improvements which have recently been effectuated at the site – including kitchen improvements, flooring improvements, and bathroom improvements.
- The Board appreciates the significant improvements which have already been effectuated at the site during the Applicant's short tenure of ownership.
- The existing building is a 100 Unit Apartment Building, housing individuals over the age of 55 years. The existing building / facility is not an assisted living facility – and, approval of the within Application will not in any way change the existing use at the site.
- The existing site has a 68 space parking lot – and, as a result of the re-striping improvements authorized herein, the parking spaces will be increased to 69 parking spaces. Thus, approval of the within Application will not reduce, or otherwise compromise, the parking situation at the site.
- Approval of the within Application will not reduce the amount of on-site parking spaces.
- There are several landscaping improvements associated with the within Application – including, the following:
 - a. The removal of 7 existing / dead / dying / unhealthy trees;
 - b. The planting of 16 new trees;
 - c. The planting of additional foundation plants along the street frontage;
 - d. The planting of additional shrubbery; and
 - e. The planting of trees in the parking lot.
- The proposed landscaping improvements, as referenced above, will help beautify the site.
- There is a need for increased / improved landscaping at the site – and approval of the within Application will advance such a need.
- The proposed landscaping improvements will improve the overall aesthetic appeal of the site / property.

- As part of the within Application, the Applicant's representatives will be re-striping a portion of the existing parking spaces in the parking lot.
- The aforesaid re-striping will help improve the site, and render the overall parking plan more modern and more functional.
- The aforesaid re-striping will improve the overall parking circulation plan at the site.
- The aforesaid re-striping will increase the number of overall parking-spaces at the site.
- The aforesaid re-striping will help improve public safety.
- Per the testimony and evidence presented, there is a need for re-striping at the site – and the same will be effectuated as a result of the within approval.
- The sidewalk replacement approved herein will result in better and newer sidewalks, which will be beneficial for all occupants of the building, all building guests, as well as other residents of the Borough of Oceanport.
- As part of the within approval, the Applicant's representatives will also be installing pedestrian-actuated cross-walk signs, with flashing beacons.
- Per the testimony presented, there is a need for pedestrian-actuated cross-walk signs at the site, and approval of the within Application will fulfill the aforesaid need.
- The absence of pedestrian cross-walk signs at the site is dangerous – and, as such, approval of the within Application (with the installation of the aforesaid cross-walk signs) will actually improve public safety.
- Approving Applications which promote public safety represents a legitimate development goal.
- The pedestrian cross-walk signs approved herein will have a push-button feature to activate the signal. The said feature will be very beneficial for the senior occupants of the building.
- The portion of East Main Street in front of the Oceanport Gardens building is, essentially, a double-wide street, separated by a significant / mountable median. Thus, individuals crossing the same essentially need to cross a portion of the street, then cross the mounted median, and then cross the remaining portion of the street. It is abundantly clear that, given the width of the 2 streets and median, it will take a longer time for most individuals (including seniors) to cross the said street than it would take to cross other local standard streets).

- The cross-walk signs approved herein are user-friendly, which should furthermore promote and enhance public safety.
- The subject cross-walk signs will also be placed in the median, which will further enhance overall safety at the site.
- The cross-walk signs approved herein recognize the somewhat unique features associated with the existing double-wide road, with mounted median.
- Residents of the Oceanport Gardens building typically leave the building to cross the street so as to access the post office, convenient stores, and other commercial establishments. As such, there is a need for improved cross-walk signs (particularly in recognition of the double-wide street set-up, with mountable median).
- The cross-walk signs approved herein will have solar panel beacon lights, which should be more visible in sunlight, at night, in fog, in rain, in snow, in mist, etc.
- The solar panel beacon lights associated with the cross-walk signs approved herein will likely minimize the need for any digging in and around the public street.
- There is currently no shoulder on the East Main Street roadway – and thus, the installation of the aforesaid cross-walk signs will result in a safer and more efficient way to cross the street in front of the subject building.
- The aforesaid cross-walk signs will promote safety for all residents of the Borough of Oceanport, including Seniors and Children who cross the street in the area of the subject building.
- One purpose of the Municipal Land Use Law suggest that Boards should approve Applications wherein traffic and circulation routes will be improved. In the within situation, the Board finds that approval of the within Application, with the parking lot improvements and the cross-walk sign improvements, will result in a safer overall site/area. As such, the Board finds that approval of the within Application will advance the aforesaid purpose of the Municipal Land Use Law.
- The cross-walk signs approved herein, with push-button / smart features, will be appropriate for Seniors as well as children.
- The monument signs approved herein will better identify the Oceanport Garden building.
- There does not appear to be any immediate residential neighbors who will directly/negatively be affected by the monument signs approved herein.

- The adjacent commercial uses will not be adversely affected/impacted by the monument signs approved herein.
- There were no known public objections associated with the within Application.
- The monument signs approved herein will not cause confusion amongst travelling motorists and/or pedestrians.
- The monument signs approved herein will provide the Applicant, and guests who are looking for the building, with a greater visibility in the East Main Street area/corridor.
- The existing Oceanport Gardens building is set back relatively far off the road – helping justify the need for the non-compliant monument signs.
- The lack of the proposed monument signs at the site could potentially interfere with the ability of guests (who are unfamiliar with the building) to locate the building in a safe / prompt fashion.
- Given the factual testimony presented, and given the nature of the site, the proposed monument signs approved herein are appropriately sized in order to be visible for motorists/pedestrians in the East Main Street area.
- Per the testimony and evidence presented, there are other non-compliant signs in the Zoning District.
- The non-compliant monument signs approved herein are very consistent with the existing monument signs located in the nearby Jockey Court Development.
- In adopting Sign Ordinances, Municipal Governments typically establish the following objective:

To encourage signs which promote a more desirable visual environment through creative yet orderly design arrangements.

The Board herein finds that approval of the within Application will be consistent with the aforesaid general objective.

- In adoption Sign Ordinances, Municipal Governments typically establish the following objective:

To encourage signs which aid orientation, identify activities, describe local history and character, or serve other educational purposes.

The Board herein finds that approval of the within Application will advance the aforesaid general objective.

- Based upon the testimony and evidence presented, the proposed monument signs approved herein will not unduly interfere with, or otherwise unduly block, other signs in the area.
- The signs approved herein will not be placed in the Site Triangle Easement area.
- The signs approved herein will not be illuminated.
- The signs approved herein will not serve as a distraction to motorists or pedestrians in the area.
- The signs approved herein will not be located within a Municipal Right-of-Way.
- The Application as presented requires a Waiver so that the Applicant can utilize concrete vertical curb (as opposed to granite block) in the parking lot renovation aspect of the Proposal. Towards that end, the Board notes that the proposed concrete vertical curb is similar to what currently exists. Thus, the Board recognizes that use of the concrete vertical curb will result in a matching and more aesthetic overall appeal. As such, the Board finds good cause for the aforesaid Waiver to be granted.
- The Application as presented also requires a Waiver for a portion of the access drive-width. Specifically, a 25 ft. wide access drive is required, whereas 15 ft. currently exists, and 13 ft. is proposed (for a portion of the property). Per the testimony and evidence presented, the Board recognizes that the 13 ft. access drive width (for a portion of the property) is being proposed so as to allow ADA Access Ramps to be installed at the site. The Board clearly recognizes the overall benefits associated with improved ADA access and, as such, the Board finds that the aforesaid Design Waiver can be granted without causing substantial detriment to the Public Good.
- The Board is also aware that improved ADA Compliant Access Ramps will allow a greater amount of individuals (including individuals who mobility is challenged) to more appropriately, safely, and invitingly use/occupy the property.
- Improved safety and improved ADA access justifies the granting of the Variances / Design Waivers requested herein.
- Additionally, the Board is aware that a 13 ft. wide access drive approved herein will only be utilized for a portion of the property.
- The Board is also aware that the 13 ft. wide access drive approved herein will only border the five space "Employee-Only" Parking Lot which, by its very nature, will have a low-turn-over rate, and which will not be utilized by building occupants / guests.

- Per the testimony / evidence presented, the 13 foot wide access drive, associated with a portion of the employee only parking lot, will be safe (particularly given the low turn-over rate associated with the “Employee Only” parking lot).
- Approval of the within Application will not change the height of the existing building.
- Approval of the within Application will not change the location of the existing building.
- Approval of the within Application will not change the orientation of the existing building.
- Approval of the within Application will not change the number of overall dwelling units in the existing building.
- Approval of the within Application will not increase the overall number of bedrooms associated with the building.
- Approval of the within Application will not increase the size of any existing dwelling unit at the site.
- Approval of the within Application will not generate any additional parking demand for the site.
- Approval of the within Application will not materially change the existing parking lot arrangement (although the same will be improved.)
- Approval of the within Application will not result in the elimination of any existing parking spaces at the site.
- Approval of the within Application will not change the ingress/egress routes associated with the property.
- Approval of the within Application will not change the rate of garbage generated at the site.
- Approval of the within Application will not change the amount of noise associated with the site.
- Approval of the within Application will not change the number of employees associated with the overall operation of the Oceanport Gardens building.
- Approval of the within Application will increase the amount of occupants otherwise associated with the site.
- Approval of the within Application will not increase the amount of visitors associated with the site.

- Approval of the within Application will not change the density of the existing site.
- Approval of the within Application will not change the intensity of existing operations at the site.
- Approval of the within Application will not materially change the outward appearance of the actual brick and mortar portion of the building.
- The improvements associated with the within Approval will, to a great extent, take place on land which has already been developed. Thus, subject to the conditions noted herein, approval of the within Application will allow appropriate development to occur with little or no adverse impact on the environment.
- The Board recognizes that the Borough's Master Plan essentially and generally encourages the approval of Applications which enhance various neighborhoods throughout the Borough by providing for appropriate redevelopment, reinvestment, revitalization, and capital improvements, all designed to strengthen and improve the fabric of each area. For the reasons set forth herein, the Board finds that the approval of the within Application will, essentially, advance such general / presumed Master Plan objectives.
- The Board is also aware that the Borough's Master Plan and other Borough guides essentially encourage the approval of Applications which promote a cooperative approach to economic development and revitalization through investment, maintenance, and reinvestment in existing areas – and, for the reasons set forth herein, the Board finds the approval of the within Application will generally advance such a presumed Master Plan goal / objective.
- Subject to the conditions set forth herein, approval of the within Application will not impair the character of the existing area.
- Subject to the conditions contained herein, approval of the within Application will have no known detrimental impact on adjoining property owners and thus, the Application can be granted without causing substantial detriment to the public good.
- Approval of the within Application will promote various purposes of the Municipal Land Use Law; specifically, the same will provide a desirable visual environment through creative development techniques.
- The Application as presented and modified satisfies the statutory requirements of N.J.S.A. 40:55D-70(C) (Bulk Variances).

- Subject to the conditions contained herein, the Application as presented and modified satisfies the Preliminary and Final Site Plan Requirements of the Borough of Oceanport.

Based upon the above, and subject to the conditions contained herein, the Board is of the unanimous opinion that the requested relief can be granted without causing substantial detriment to the public good.

CONDITIONS

During the course of the Hearing, the Board has requested, and the Applicant's representatives have agreed, to comply with the following conditions:

- a. The Applicant's representatives shall comply with all commitments, promises, and representations made at or during the Public Hearing process.
- b. The Applicant shall comply with the terms and conditions of the Maser Consulting Review Memorandum, dated September 9, 2019 (A-5).
- c. The Applicant shall comply with all prevailing ADA requirements.
- d. There shall be no change of use associated with the within Application. That is, the testimony indicated that the building is currently utilized/operated/occupied as a Senior Apartment Building – and no change to the same is approved herein.
- e. The Applicant shall obtain any applicable outside Approvals – including any Approvals required by the NJDEP / CAFRA.
- f. The Applicant shall landscape the site in accordance with the approved Plans (and subject to any other conditions contained herein).
- g. The Applicant shall perpetually maintain/re-plant/replace the landscaping at the site, as necessary/required.
- h. The Applicant's representatives shall cause the Plans to be revised so as to portray and confirm the following:
 - The inclusion of a note confirming that the 5 space parking lot (behind the building) shall be an "Employee-Only" parking lot.
 - Confirmation that the parking space width (for all parking spaces) will comply with prevailing requirements (as no Parking Width Waiver is granted herein).

- The inclusion of a note confirming the relocation of the ADA parking space, per the Maser Consulting Review Memorandum (A-5).
- i. Unless otherwise waived by the Borough of Oceanport, the Applicant's representatives shall execute a Developer's Agreement, with the Borough of Oceanport. The said Developer's Agreement shall be subject to the review and approval of the Borough Council, the Borough Attorney, and the Borough Engineer.
 - j. Unless otherwise waived by the Board Engineer, the Applicant's representatives shall, in good faith, petition the Borough Council of the Borough of Oceanport so as to ascertain if the Borough of Oceanport desires to obtain Title 39 jurisdiction over the Applicant's property / parking lot. If the Borough of Oceanport is so inclined to accept such Title 39 jurisdiction, then, in that event, the Applicant's representatives shall, at no cost, sign any and all documents necessary to officially provide such Title 39 jurisdiction to the Borough. In this regard, the Applicant's representatives shall provide the Board Secretary with a written Status Report regarding the matter within 120 (one hundred twenty) days following the successful expiration of any appeal period associated with the within approval.
 - k. The Applicant's representatives shall, in good faith, work with the Board Engineer so as to coordinate any Stormwater Management Improvements.
 - l. The Applicant shall comply with all prevailing/applicable Affordable Housing Rules, Regulations, Directives, and Contributions, as required by the State of New Jersey, COAH, the Borough of Oceanport, the Court System, and any other Agency with jurisdiction over the matter.
 - m. The Applicant shall comply with any and all Prevailing ADA Requirements.
 - n. The Applicant shall obtain any applicable permits/approvals as may be required by the Borough of Oceanport - including, but not limited to, the following:
 - Building Permits
 - Plumbing Permits
 - Electric Permits
 - Fire Permits
 - o. The Applicant shall comply with all Prevailing FEMA / Flood Regulations.
 - p. Unless otherwise waived by the Board Engineer, the Applicant shall submit Grading / Drainage Plans (for the review and approval of the Board Engineer), so as to confirm that the same will have no adverse impact on the site or the surrounding properties

- q. The construction / installation shall be strictly limited to the Plans which are referenced herein, and which are incorporated herein at length. Additionally, the construction / renovation / installation shall comply with Prevailing Provisions of the Uniform Construction Code.

BE IT FURTHER RESOLVED, that all representations made under oath by the Applicant's representatives and / or agents thereof shall be deemed conditions of the approval granted herein, and any mis-representations or actions by the Applicant's representatives contrary to the representations made before the Board shall be deemed a violation of the within approval.

BE IT FURTHER RESOLVED, that the Application is granted only in conjunction with the conditions noted above - and but for the existence of the same, the within Application would not be approved.

BE IT FURTHER RESOLVED, that the granting of the within Application is expressly made subject to and dependent upon the Applicant's compliance with all other appropriate Rules, Regulations, and/or Ordinances of the Borough of Oceanport, County of Monmouth, and State of New Jersey.

BE IT FURTHER RESOLVED, that the action of the Board in approving the within Application shall not relieve the Applicant of responsibility for any damage caused by the subject project, nor does the Planning Board of the Borough of Oceanport, the Borough of Oceanport, or their agents/representatives accept any responsibility for the structural design of the proposed improvements, or for any damage which may be caused by the development / renovation / installation.

PR-19-22

10-22-19

This resolution memorializes an action taken at the regular meeting of the Oceanport Planning Board held on September 24, 2019 on roll call that evening by the following vote:

Offered by: _____

Seconded by: _____

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Widdis	()	()	()	()	()
Whitson	()	()	()	()	()
Davis	()	()	()	()	()
Proto	()	()	()	()	()
Foster	()	()	()	()	()
Kleiberg	()	()	()	()	()
Halpern	()	()	()	()	()
Kahle	()	()	()	()	()
Savarese	()	()	()	()	()
Tvrdik (Alt. 1)	()	()	()	()	()

This resolution was offered by _____, seconded by _____, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Widdis	()	()	()	()	()
Whitson	()	()	()	()	()
Davis	()	()	()	()	()
Proto	()	()	()	()	()
Foster	()	()	()	()	()
Kleiberg	()	()	()	()	()
Kahle	()	()	()	()	()
Savarese	()	()	()	()	()
Tvrdik (Alt. 1)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of _____, 2019.

Jeanne Smith, Secretary