



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • OCTOBER 13, 2020

Regular

REMOTE/VIRTUAL

7:30 PM

Municipal Building, 315 E. Main Street, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement

This meeting complies with the Open Public Meetings Act by notification on January 15, 2020 of this location, date and time to the Asbury Park Press and the LINK News and by the posting of same on the municipal bulletin board and Borough Web Site. This meeting further complies with the Open Public Meetings Act by notification on October 6, 2020 of this virtual/remote meeting, its location, date and time, and URL address at which to participate in the meeting to the Asbury Park Press and Star Ledger and by the posting of same on the municipal bulletin board and Borough Web Site. Registration for this meeting is required in order to participate. Register from the Borough website at www.oceanportboro.com "Click Here to REGISTER for Planning Board Virtual Meetings..." This meeting is also being broadcast on Verizon FiOS Channel 28. The public will be muted upon entry to the meeting but will be able to participate during public portions of the meeting by using one of the following options:

- Register to listen/view meeting at www.oceanportboro.com
- Submit text comments through the Go-to-Webinar application to be read out loud during the live-stream public portions of the meeting.
- Use the Go-to-Webinar "Raise Your Hand" icon to be acknowledged for an opportunity to speak
- Email your question/comments to public.comments@oceanportboro.com
- Call the Borough's Public Comments Line # 732-272-8337 that is answered only during the live-stream. Callers' information will be taken and called back for their designated time to speak allowing the caller to be put on speaker and enter his or her comment on the record.

Instructions for Public Participation in the meeting are also available on the Borough's website: www.oceanportboro.com

III. Flag Salute

IV. Roll Call

V. Board Business

1. Report of Pending Applications

VI. Old Business

1. PB2020-01 Sempkowski, Anthony
CARRIED from Sept. 8, 2020
CARRIED from August 11, 2020
74 Cayuga Ave
Block 27, Lot 9
Bulk Variance(s) for Improvements to Single Family Dwelling
2. PB2019-15 Triumphant Life Church
CARRIED from September 22, 2020
500 Malterer Avenue
Block 110.07, Lot 1
Site Plan Approval with Variances

VII. Petitions from the Public

VIII. Adjournment



Planning/Zoning Combined Board

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 1759)

Meeting: 10/13/20 07:30 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1759

PB2020-01 Sempkowski, Anthony

CARRIED from Sept. 8, 2020

CARRIED from August 11, 2020

74 Cayuga Ave

Block 27, Lot 9

Bulk Variance(s) for Improvements to Single Family Dwelling

HISTORY:

08/11/20 Planning/Zoning Board

Mr. Kennedy advised that the Applicant's Attorney, Mr. Toto, had submitted a request to adjourn the hearing to the September 8, 2020 meeting as additional time was necessary to prepare amended mapping. As jurisdiction had been previously accepted and a written waiver extending the time period for a decision by the Board through September 30, 2020, a motion was made by Mr. Whitson and seconded by Mr. Kleiberg.

09/08/20 Planning/Zoning Board

Mr. Kennedy advised that Mr. Toto, Attorney for the Applicant had advised that additional time was needed to complete revised plans in response to the Board Engineer's review letter and requested a further adjournment to the October 13, 2020 meeting as plans would not be able to be on filed in time to available for inspection 10 days in advance of the next meeting.



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

6.1.a

Corporate Headquarters
331 Newman Springs Road, Suite 203
Red Bank, NJ 07701
T: 732.383.1950
F: 732.383.1984
www.maserconsulting.com

April 27, 2020

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
315 E. Main Street
Oceanport, NJ 07757

Re: Bulk Variances
74 Cayuga Avenue
Block 27, Lot 9
Borough of Oceanport, Monmouth County, New Jersey
MC Project No. OPP-264

Dear Board Members:

Our office has received the following information in support of the above-referenced Bulk Variance application:

- Plans entitled “Plot Plan”, prepared by Geller Sive & Company dated November 12, 2013, and revised through June 3, 2014, consisting of one (1) sheet;
- Plan entitled “Final As-Built Survey with Topography”, prepared by DPK Consulting, LLC, dated January 31, 2020, consisting of one (1) sheet;
- Plans entitled “Tony Sempkowski Residence” prepared by Ronald Kacmarsky Architectural Group, last revised March 2, 2020, consisting of eight (8) sheets.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 12,000 SF (0.28 acres) on the south side of Cayuga Avenue approximately 860 feet from the intersection with Port Au Peck Avenue. The original home was damaged by super Storm Sandy. The Applicant is in the process of building a new dwelling.

Based on our review of the application, we recommend that the application be deemed **complete** and scheduled for the next available hearing. A planning and engineering review of the application is provided below.

Variances/Design Waivers

We offer the following comments for the Board’s consideration:



1. Bulk variances are required for the following:
 - a. Rear Yard Setback: 25 feet required, 24 feet proposed. A Bulk Variance is required.
 - b. Maximum Driveway Width (Ordinance 390-25k(1): 24' permitted, and the as-built condition provides a varying width up to 42'. The Applicant shall clarify the proposed surface and limits for the driveway. A Bulk Variance is required.
 - c. Driveway Side Yard Setback: 5' required from side property line, 0' is proposed. A Bulk Variance is required.
 - d. Retaining wall setback: 10 feet required from all property lines. The as-built survey indicates that the wall encroached into the abutting property. A Bulk Variance is required and an easement for the encroachment or the wall relocated.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

- **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
 - **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.
2. The property is located in the AE10 flood hazard zone which requires minimum design flood elevation (DFE) of 12.4. Flood Prevention Ordinance Section 229-17B(1)(a) requires “New construction and substantial improvement of any residential structure shall have the lowest floor, including basement together with the attendant utilities and sanitary facilities, elevated at or above” the DFE. The electric meter, AC Condenser unit and generator panel are not compliant and therefore the Applicant has to elevate the utilities or obtain a variance from the



requirement. The Applicant shall clarify the elevation of this equipment. Ordinance Section 229-15 (copy attached) provides a procedure for the Planning Board to hear a variance request. I would refer the Board to section 229-15B(5) (b). The Applicant has claimed that in order to make the dwelling conform it would result in exception hardship. The Applicant should address the remaining Conditions for Variances outlined in sub-chapter 229-15B.

We would recommend that the Applicant provide photographs of the dwelling and a copy of their Elevation Certificate for the Board to review and obtain a better understanding of the application.

If the Board chooses to grant the variance, the resolution should include the notice, as required by Ordinance Chapter 229-15B(6), that the cost of flood insurance will be commensurate with the increased risk resulting from the non-compliance.

The Applicant shall provide testimony in support of the variances being requested and/or identified.

General Comments

1. The Architectural plans are not reflective of the structure that was built with respect to the front porch, rear deck and west side deck.
2. The driveway is only 22' wide at the side entry garage which is not sufficient for vehicles to make the necessary turning movements into and out of the garage. The industry standard is 28-32'. This dimension will be further reduced by the safety rail and fencing that is required.
3. A six foot deep apron constructed of concrete, asphalt, pavers, etc. shall be provided at the entrance to the driveway as required by Ordinance 390-25k(2). If the entire driveway will be paved this will address this requirement.
4. Structural calculations are required for the guide rail along the elevated driveway to provide fall over protection to vehicles. In addition, a pedestrian guard is needed for the area where the wall exceeds 30" in height.
5. Structural calculations are required for the segmental block wall that demonstrate the wall is designed to withstand the impact load on the guiderail system. Since the wall is already built a certification from a New Jersey licensed Engineer certifying that the wall is structurally sound and provides the appropriate Factors of Safety
6. There appears to be a shed and another structure beyond the rear property line on the adjacent park land which is not permitted by Green Acres as this property is deed restricted. These



Jeanne Smith, Planning Board Secretary
MC Project No. OPP-264
April 27, 2020
Page 4 of 4

items shall be removed or relocated onto the subject property and the appropriate setback provided. The approximate 8' x 16' platform appears to have been a shed that was partially destroyed. The Applicant shall clarify if it will be rebuilt and if so, will the proper setbacks be provided.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING P. A.

A handwritten signature in blue ink, appearing to read 'W. H. White, III'.

William H.R. White, III, P.E., P.P., C.M.E.
Planning Board Engineer and Planner

WHW/nb
Attachment

cc: Kevin Kennedy, Esq. (kkennedy@kevinkennedylaw.net)
Walter Toto, Esq. (walter@waltertoto.com)

\\Hqfas1\general\Projects\Opp\OPP-264\Correspondence\OUT\200211_whw_smith_74_cayuga_avenue.docx

X. Description of present use of the premises. Single-family residence.

XI. Purpose of application and detailed description of proposed improvements, development, change in use, etc. Attach Rider if additional space is necessary.

Obtain bulk variance approvals for post-Sandy rebuild. Prior single family residence was demolished to the foundation.

XII. List the specific zoning regulations for which appeal or variance relief is sought, and the nature and extent of the specific variances. (Ex. Side yard setback of 9', where 10' permitted)

- ① RETAINING WALL SETBACK: 1-5' proposed v. 10' required;
 ② DRIVEWAY SETBACK: 3' proposed v. 5' required; ③ Driveway width, 22' proposed v. 28' required; ④ Driveway slope 13% proposed v. 7% permitted; ⑤ Front landing & stairs (front yd setback)

XIII. If the application seeks use variance relief, state the "special reasons" as that term is defined under the Municipal Land Use Law, to justify the granting of use variance relief pursuant to N.J.S.A. 40:55D-70d. Attach Rider if additional space is necessary.

NOT APPLICABLE.

XIV. State whether the applicant owns or has under contract for purchase, an adjoining property. If so, set forth the block and lot number and street address of the property.

NOT APPLICABLE.

XV. State what efforts have been made to obtain the result you wish to accomplish without violating the Zoning Ordinance (i.e., relocation of planned construction, purchase of additional land, etc.)

IMPROVEMENTS HAVE BEEN CONSTRUCTED. APPLICANT HAD PRIOR DISCUSSIONS WITH CONSTRUCTION OFFICIAL SALVATORE MASSARO ONLY TO LEARN POST-CONSTRUCTION OF POTENTIAL DEVIATIONS FROM THE ORDINANCE.

XVI. The location of the property is approximately _____ feet from the intersection of

To be determined by engineer and _____.

XVII. Is the subject property located on a: *No*.

_____ County Rd _____ State Rd OR _____ within 200' of a Municipal boundary

XVIII. Are there any existing or proposed deed restrictions, easements, rights-of-way or other dedications? ☒ No _____ Yes (If yes, attach a copy)

FOR SITE PLAN REVIEW ONLY:

1. Acreage of the entire site is: _____

2. Type of Proposal is:

_____ New structure

_____ Expanded Area

_____ Improved Parking Area

_____ Alteration to Structure

_____ Expansion of Structure

_____ Change of Use

_____ Sign

3. The name of the business or activity (if any): _____

IMPROVEMENTS: List all proposed on site utilities and off-tract improvements:

PLAT SUBMISSION: List maps and other exhibits accompanying this application

AUTHORIZATION AND VERIFICATION

I certify that the foregoing statement(s), materials submitted and information contained in this application are true. I further certify that I am (a) the individual applicant, or (b) that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the Corporation or (c) that I am a general partner of the partnership applicant. (If the applicant is a corporation this must be signed by an authorized corporate officer. If applicant is a partnership, this must be signed by a general partner).

Date

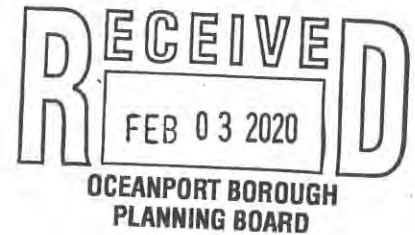
1/13/2020

Applicant

X
Applicant

ANTHONY SEMAKOWSKI

Sworn and subscribed to before me this

13th day of January, 2020.Notary Public of New Jersey
(Affix stamp and seal)WALTER TUTO, ESQ.
ATTORNEY AT LAW, STATE OF NEW JERSEY**STATEMENT OF LANDOWNER WHERE APPLICANT IS NOT LANDOWNER**

NOT APPLICABLE

I certify that I am the Owner of the property which is the subject of this application, that I have authorized the Applicant to make this application and that I agree to be bound by the application, the representations made and the decision in the same manner as if I were the applicant. (If the owner is a corporation this must be signed by an authorized corporate officer. If owner is a partnership, this must be signed by a general partner).

Date

Property Owner's Signature

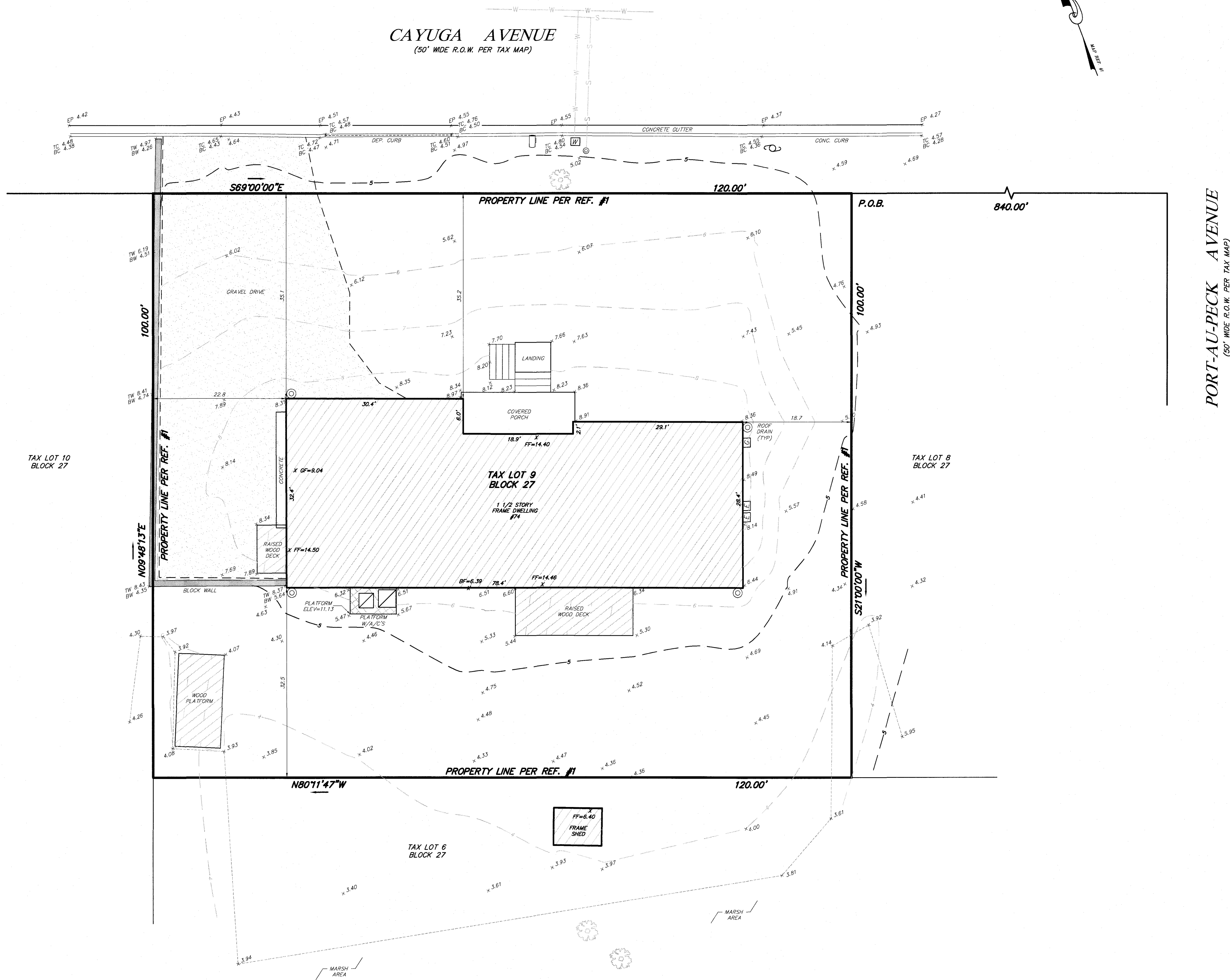
Notary Public of New Jersey

Print Name of Property Owner

Sworn and subscribed to before me this

____ day of _____, 20 ____.

Notary Public of New Jersey
(Affix stamp and seal)



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

FINAL ASBUILT SURVEY W/ TOPOGRAPHY		TAX LOT 9 BLOCK 27 74 CAYUGA AVENUE BOROUGH OF OCEANPORT MONMOUTH COUNTY NEW JERSEY	
DRAWING FILE: 20-8708LS00		PROJECT NUMBER: 20-8708 SHEET 1 REV. 1	

DRAWN BY:
MTR

CHKD BY:
DJN

SCALE:
1" = 10'

DATE:
01/31/2020

In consideration of the mutual covenants between the client listed above and the undersigned, the client and I, or my authorized agent, hereby certify that the information and data provided herein represents the conditions found on the date of this survey, accurate to the best of my knowledge and belief, and I am not aware of any facts or circumstances which would cause this report to be misleading or incomplete. This plan is made to provide a permanent record of the above described conditions and is not transferable, except as provided herein.

REV

DATE

DESCRIPTION

BY

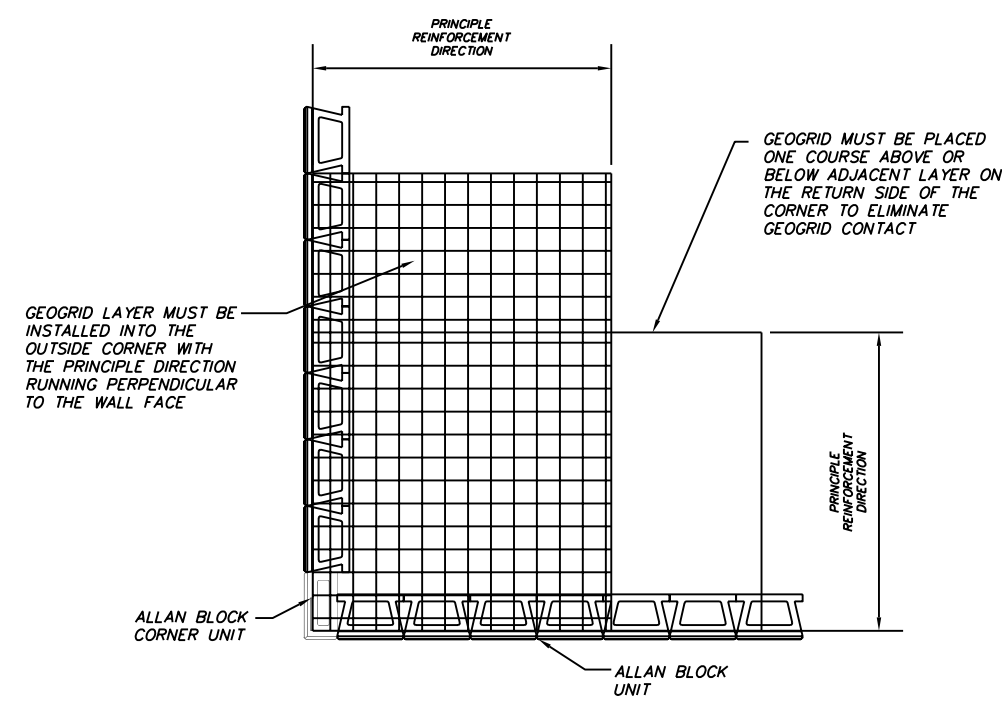
CHKD

James J. Heiser
Professional Land Surveyor
JHEISER@DPKCONSULTING.NET
N.J. Lic: 2404331100
PA. Lic: SU075616
N.Y. Lic: 050952-1
CT. Lic: 70476

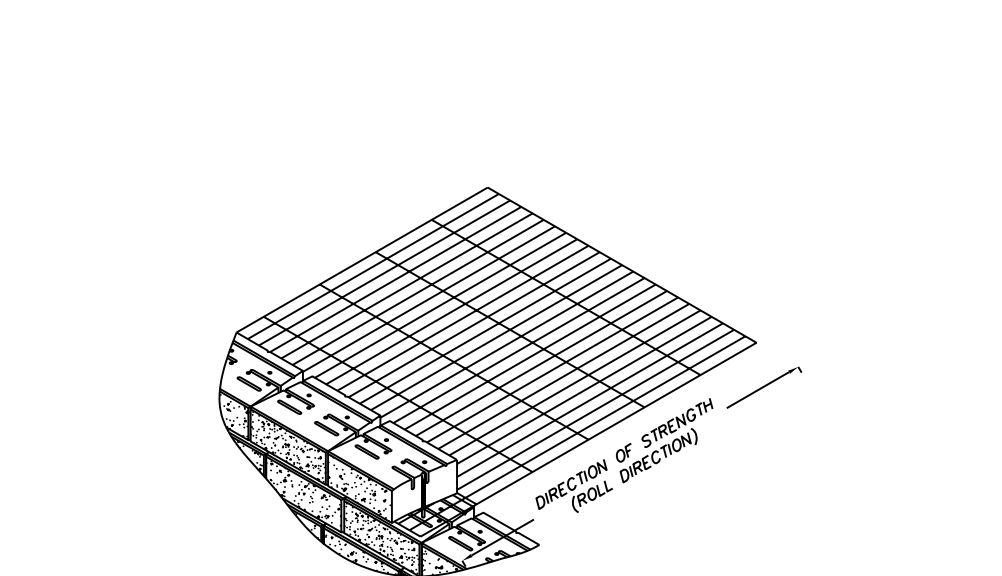
DATE: 1/31/2020

DPK CONSULTING

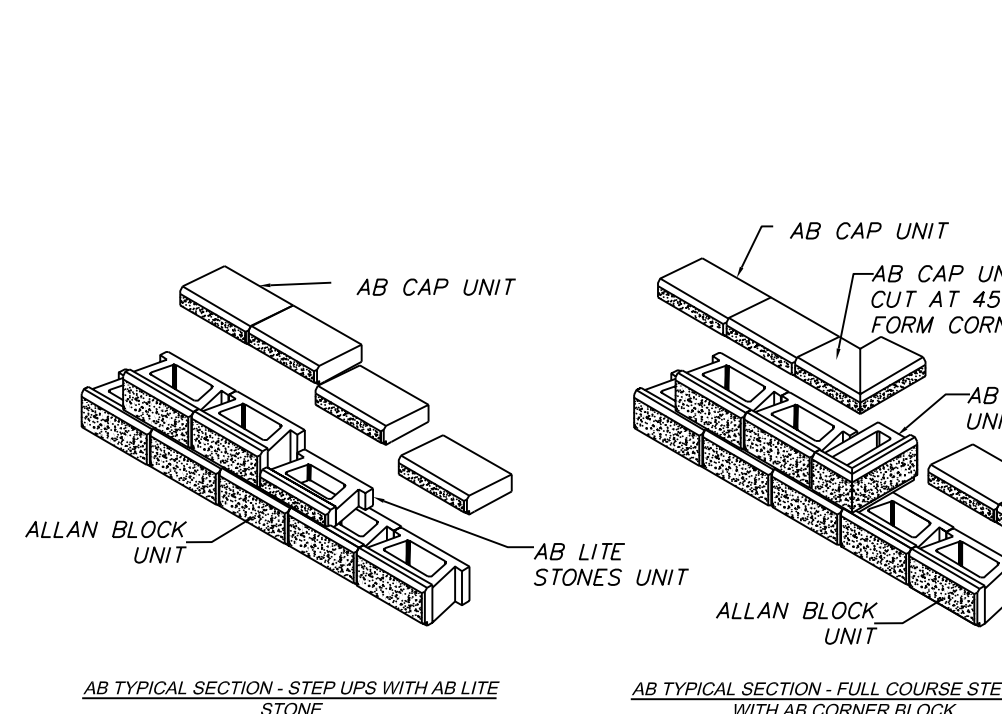
DPK CONSULTING, LLC
2555 ROUTE 201, PISCATAWAY, NJ 08854
P: 732.764.0100 F: 732.764.0900
NEW JERSEY CERTIFICATE OF AUTHORIZATION NO. 246040940200



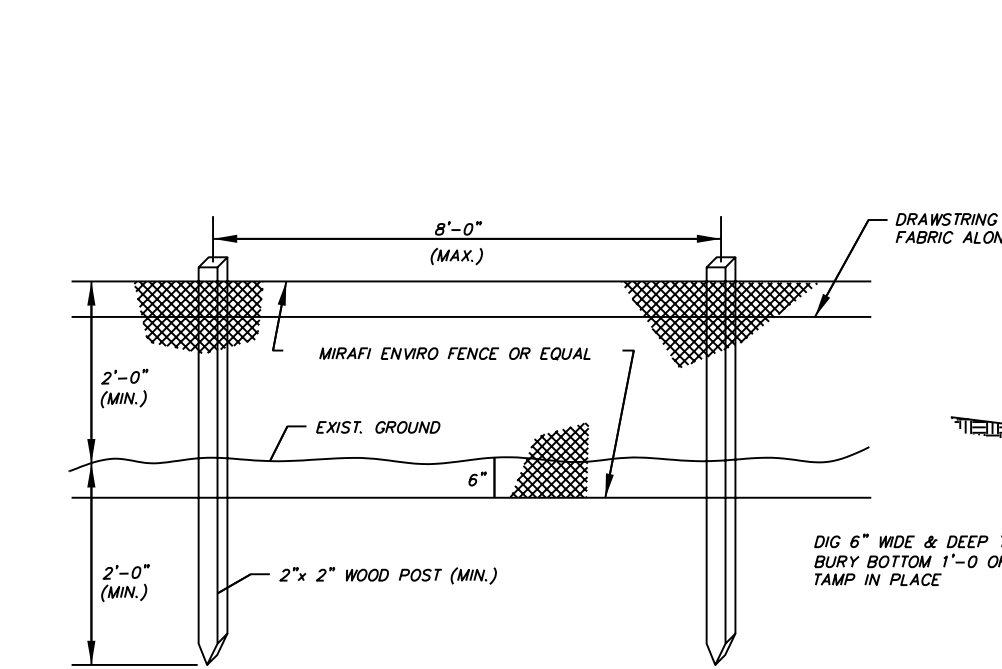
GEOSYNTHETIC PLACEMENT - INSIDE CORNER DETAIL
NO SCALE



GEOSYNTHETIC INSTALLATION DETAIL
NO SCALE



WALL STEPPING DETAIL
NO SCALE



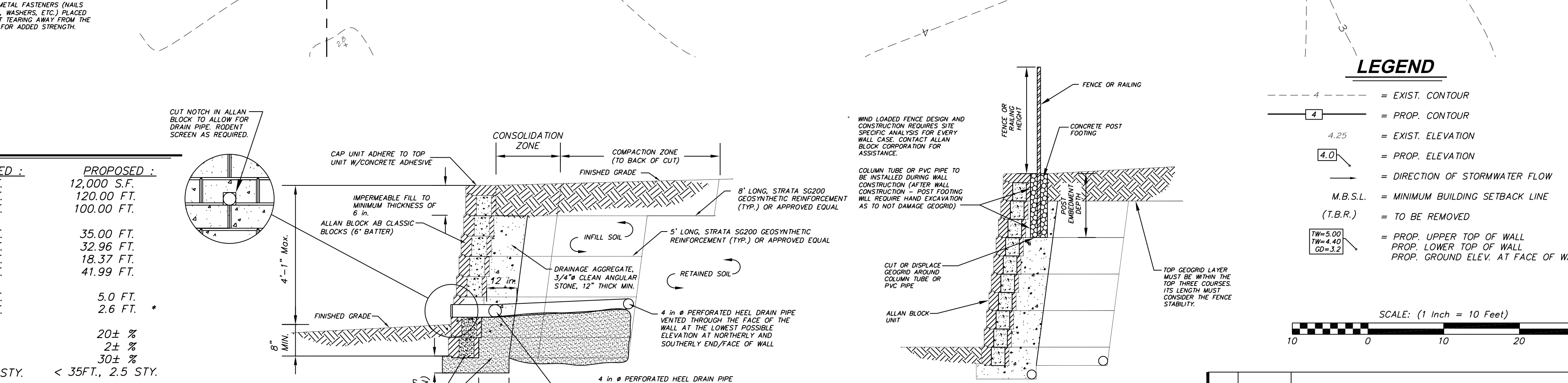
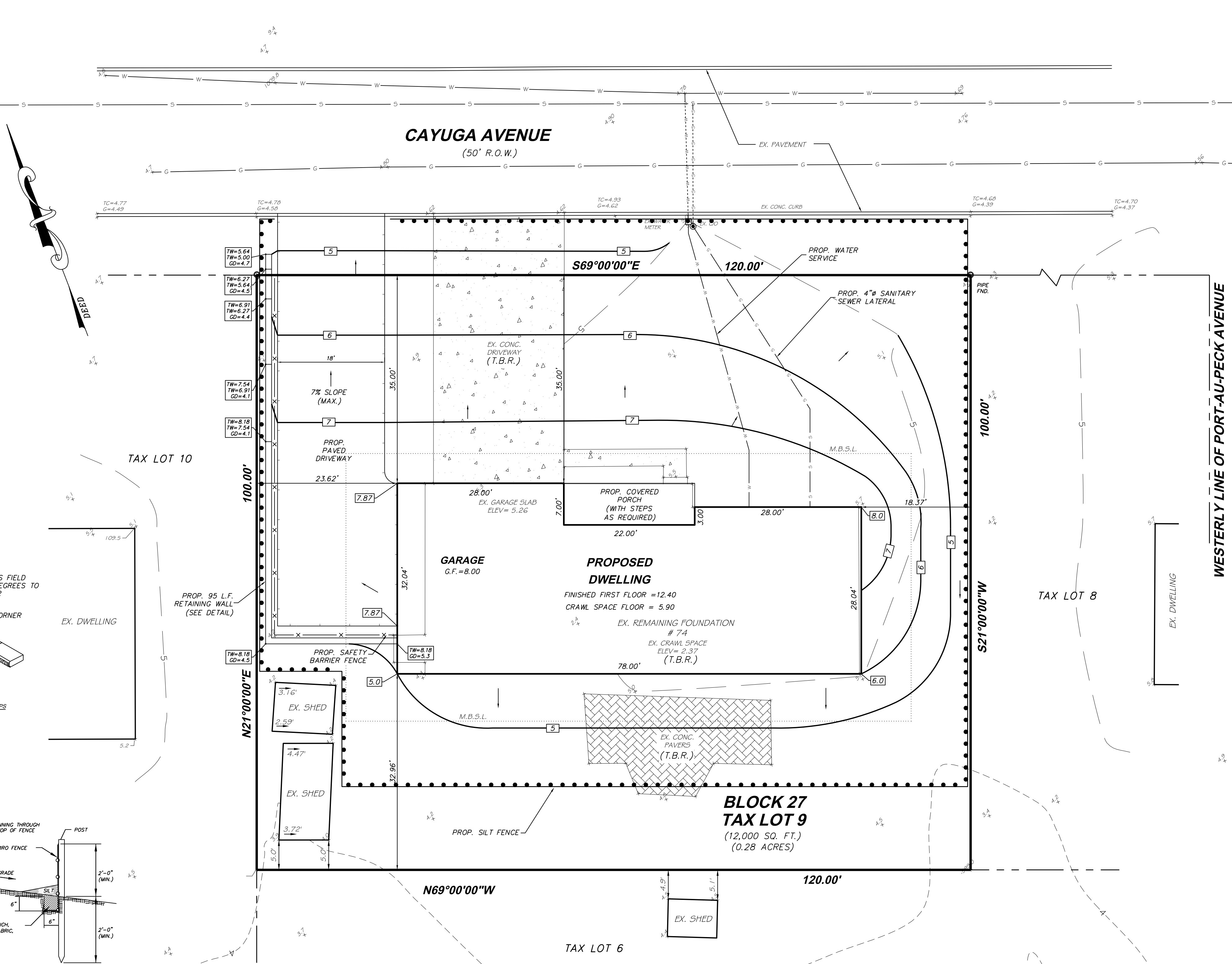
SILT FENCE DETAIL
NO SCALE

RETAINING WALL SECTION
NO SCALE

ZONE : RESIDENTIAL ZONE ~ R-3

	MINIMUMS :	REQUIRED :	PROPOSED :
LOT AREA	12,000 S.F.	12,000 S.F.	12,000 S.F.
LOT WIDTH	120 FT.	120.00 FT.	120.00 FT.
LOT DEPTH	100 FT.	100.00 FT.	100.00 FT.
PRINCIPAL BUILDING			
FRONT SETBACK	30 FT.	35.00 FT.	35.00 FT.
REAR SETBACK	25 FT.	32.96 FT.	32.96 FT.
SIDE SETBACK	10 FT.	18.37 FT.	18.37 FT.
COMBINED SIDE SETBACK	25 FT.	41.99 FT.	41.99 FT.
ACCESSORY BUILDING			
REAR SETBACK	5 FT.	5.0 FT.	5.0 FT.
SIDE SETBACK	10 FT.	2.6 FT.	2.6 FT.
MAXIMUMS :			
PRINCIPAL BUILDING LOT COVERAGE	25 %	20± %	20± %
ACCESSORY BUILDING LOT COVERAGE	5 %	2± %	2± %
IMPERVIOUS LOT COVERAGE	37 %	30± %	30± %
BUILDING HEIGHT (NON-FLAT ROOF)	35 FT., 2.5 STY.	< 35FT., 2.5 STY.	< 35FT., 2.5 STY.

* EXISTING CONDITION



FENCE POST INSTALLATION DETAIL
NO SCALE

RETAINING WALL SECTION
NO SCALE

RETAINING WALL SECTION
NO SCALE



LOCATION MAP
SCALE: (1 Inch = 1000 Feet)

- NOTES:**
- PROPERTY BEING KNOWN AS BLOCK 27, TAX LOT 9, AS SHOWN ON SHEET 6 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF OCEANPORT. THE PROPERTY CONTAINS APPROXIMATELY 12,000 SQUARE FEET AND IS LOCATED WITHIN THE RESIDENTIAL "R-3" ZONE.
 - BOUNDARY, TOPOGRAPHIC AND EXISTING SITE IMPROVEMENT INFORMATION ARE BASED UPON A PLAN ENTITLED "TOPOGRAPHIC SURVEY, BLOCK 27, LOT 9, SITUATED IN: BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY C.C. WOOD'S SURVEYING, LLC, DATED 10/4/2013. ALL ELEVATIONS ARE IN ACCORDANCE WITH THIS PLAN AND ARE BASED UPON N.A.V.D. 1988 DATUM.
 - THE PROPERTY LIES WITHIN THE AE FLOOD HAZARD AREA, WHICH HAS A BASE FLOOD ELEVATION OF 10.0 AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 340250184F, EFFECTIVE DATE: SEPTEMBER 25, 2009. THE EFFECTIVE BASE FLOOD ELEVATION IS "AE" WITH AN ELEVATION OF 10.0, IN ACCORDANCE WITH THE FEMA, REGION II COASTAL ANALYSIS AND MAPPING.
 - THERE ARE NO VERIFIED FRESHWATER WETLANDS WITHIN THE BOUNDARIES OF THE SITE, AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NJ-GEOWEB SERVICE.
 - THE SITE WAS PREVIOUSLY DEVELOPED WITH A SINGLE-FAMILY RESIDENTIAL DWELLING, CONCRETE DRIVEWAY AND ACCESSORY SHEDS. THE PREVIOUS DWELLING HAS BEEN RAZED, WITH ONLY THE FOUNDATION REMAINING.
 - PROPOSED IMPROVEMENTS CONSIST OF CONSTRUCTING A NEW SINGLE-FAMILY RESIDENTIAL DWELLING, DRIVEWAY AND ANNUALLY UTILITIES.
 - THE PROPOSED DWELLING WILL BE SERVED BY THE EXISTING PUBLIC SANITARY SEWER AND POTABLE WATER SERVICES.
 - THE PROPOSED SANITARY SEWER AND POTABLE WATER SERVICES TO THE PROPOSED DWELLING SHALL HAVE A MINIMUM SEPARATION OF FIVE (5) FEET, WHERE POSSIBLE.
 - THE PROPOSED DWELLING WILL BE CONSTRUCTED ON A FOUNDATION AND SHALL COMPLY WITH THE PROVISIONS FOR FLOOD DAMAGE PREVENTION, SECTION 229 OF THE OCEANPORT BOROUGH DEVELOPMENT ORDINANCE. THE LOWEST HABITABLE FLOOR ELEVATION, AS WELL AS ALL ELECTRICAL, HEATING, VENTILATION, PLUMBING AND AIR-CONDITIONING EQUIPMENT AND OTHER SERVICE FACILITIES (INCLUDING DUCTWORK), SHALL BE ELEVATED ONE (1) FOOT OR MORE ABOVE THE BASE FLOOD ELEVATION OF 10.0.
 - THE PROPOSED DWELLING FOOTPRINT IS BASED UPON INFORMATION PROVIDED BY THE PROPERTY OWNER ON 9/18/13.
 - THE PROPOSED RETAINING WALL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1372, STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS AND THE MANUFACTURER'S SPECIFICATIONS. ALL SITE MATERIALS AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE ATTACHED NOTES AND DETAILS. THE ALLAN BLOCK CORPORATION COMMERCIAL INSTALLATION MANUAL FOR ALLAN BLOCK RETAINING WALLS AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - ANY REQUIRED/INSTALLED FENCING ASSOCIATED WITH THE RETAINING WALL SHALL BE INSTALLED IN ACCORDANCE WITH ALLAN BLOCK SPECIFICATIONS. THE FENCE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION WITH A RETAINING WALL AND THE OCEANPORT BOROUGH REQUIREMENTS.
 - THE CONTRACTOR SHALL Dewater, IF REQUIRED, IN THE AREA OF THE RETAINING WALL TO PROPERLY CONSTRUCT THE RETAINING WALL, INCLUDING INSTALLING THE WALL'S BASE MATERIAL TO A STABLE, LEVEL FINISH.
 - THE SITE IS UNDERLAIN WITH UDORTHENTS-URBAN LAND COMPLEX (UDAU) & ELKTON (EKAAR) SOILS, AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NJ-GEOWEB SERVICE. NO SOILS INVESTIGATION HAS BEEN PERFORMED TO CLASSIFY SOIL CHARACTERISTICS OR DETERMINE SEASONAL HIGH GROUNDWATER ELEVATION.
 - ALL SITE MATERIALS AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE ENCLOSED DETAILS, THE OCEANPORT BOROUGH DEVELOPMENT ORDINANCE AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - THE CONTRACTOR OR LAYOUT PARTY SHALL VERIFY ALL ELEVATIONS AND DIMENSIONS ON THE JOB SITE AND SHALL VERIFY THAT THE PLANS BEING UTILIZED ARE FINAL AND APPROVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO ELEVATIONS AND/OR DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN PROVIDED.
 - THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER" UTILITIES NOT SHOWN ON THE PLAN EXIST WITHIN THE AREAS OF PROPOSED IMPROVEMENTS. SHOULD THERE BE "OTHER" UTILITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO ANALYZE ANY POTENTIAL UTILITY CONFLICTS.
 - THE CONTRACTOR SHOULD CALL 1-800-272-1000 SEVEN (7) DAYS PRIOR TO EXCAVATION FOR FIELD MARK OUT OF UNDERGROUND UTILITIES.
 - PRIOR TO STARTING SITE CLEARING/CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE ALL REQUIRED PERMITS/APPROVALS HAVE BEEN OBTAINED. ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND THE REQUIREMENTS AND STANDARDS OF THE PERMITTING AUTHORITY.

PLOT PLAN
TAX LOT 9 BLOCK 27
74 CAYUGA AVENUE
BOROUGH OF OCEANPORT
MONMOUTH COUNTY, NEW JERSEY

PLOT PLAN

Geller Sive & Company
Consulting Engineers & Planners
Civil • Site • Transportation
Traffic • Municipal

Office Location: 958 Adelphia Road, Adelphia, NJ 07710
Mailing Address: PO Box 249, Adelphia, NJ 07710
Phone: 732-625-7919
Fax: 732-625-9313
www.gellersive.com
Certificate of Authorization No. 24GA28105200

ROBERT D. SIVE N.J. Professional Engineer No. 43816		DATE	
DRAWN BY: M.M.	DATE	SCALE	SHEET
DESIGNED BY: RS	11/14/13	1" = 10'	1 OF 1
CHECKED BY: RS	11/12/13	1" = 10'	2484

No.	Date	Revision	By	Chk.
2.	6/3/14	REV. DRIVEWAY SLOPE PER PROPERTY OWNER'S REQUEST	M.M.	RS
1.	11/14/13	REV. PER PROPERTY OWNER'S REQUEST	M.M.	RS



Planning/Zoning Combined Board

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 1454)

Meeting: 10/13/20 07:30 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1454

PB2019-15 Triumphant Life Church

CARRIED from September 22, 2020
500 Malterer Avenue
Block 110.07, Lot 1
Site Plan Approval with Variances

HISTORY:

09/08/20	Planning/Zoning Board
09/22/20	Planning/Zoning Board



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

6.2.b

Corporate Headquarters
331 Newman Springs Road, Suite 203
Red Bank, NJ 07701
T: 732.383.1950
F: 732.383.1984
www.maserconsulting.com

August 31, 2020

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
315 East Main Street
Oceanport, NJ 07757

Re: Preliminary and Final Site Plan
Triumphant Life Church
Block 110.07, Lot 1
Borough of Oceanport, Monmouth County, New Jersey
Application No. PB2018-13
MC Project No. OPP-262

Dear Board Members:

Our office has received the following information in support of the above-referenced application:

- Plans entitled “Triumphant Life Church”, prepared by BABS Engineering, P.C., last revised May 26, 2020, consisting of ten (10) sheets.
- Mandatory Conceptual Review dated June 9, 2020.
- Letter from FMERA dated January 13, 2020 for Utility Will-Serve.

The subject property is a 5.00-acre parcel on Fort Monmouth, formerly known as the Chapel. The existing 20,475 square foot (footprint) building is located on the south east corner of the intersection of Malterer and Sherrill Avenues.

The existing structure faces Malterer Avenue. The property is located in the Oceanport Horseneck Center District which permits the proposed use. The parcel is located just within the Fort Monmouth Historic District.

The Applicant proposes the re-use of the structure as a church and expand the parking lot on the north side of the building to provide additional on-site parking.

Based on our review, we recommend that the application be deemed complete and scheduled for the next available hearing.

**A. Design Waivers/Exceptions**

1. The two-way access aisle widths proposed at 19.96 and 20.25 are not compliant with the 25' width requirements of NJAC 19:31C-3.10(c)(1). It appears that if the spaces in the existing southern parking lot are reduced to an 18' depth this would provide a 24' aisle width and eliminate the need for a waiver.
2. Parking lots in excess of 25 spaces are to provide a landscape area of at least 10% of the interior area of the parking lot with trees and low shrubs, (NJAC19:31C-3.15(c)2iii. The applicant proposes only 3.98% landscaping. The applicant shall provide testimony as to the impracticality or hardship in order to satisfy this requirement.
3. NJAC 19:31-3.15(c)(2)(v) requires the provision of pedestrian walkways through parking lots in excess of 50 spaces. The applicant is not providing the walkways. Based on the use and frequency of occupancy our office does not object to the granting of this design waiver.
4. Parking stall dimensions are to be 9' wide by 18' deep per NJAC 19:31-3.10 (c))2. Some of the existing parking spaces do not provide the required width. The parking spaces should be re-stripped to comply, or a Design Waiver requested.

The Fort Monmouth Land Use Law permits the granting of a design waiver/exception from requirements listed in N.J.A.C. 19:31C-3.10 through 3.12 under either of two situations (NJAC 19:31C-3.21d):

- The literal enforcement of one or more of the rules in this subchapter is impractical; or
- The literal enforcement of one or more of the rules in this subchapter will exact undue hardship because of peculiar conditions pertaining to the land in question.

B. General Comments

1. The Applicant should clarify the street address and whether it is clearly identified for Borough Emergency Service to be able to locate the building.
2. An approval signature box shall be provided on the cover sheet for the Planning Board Chairman, Planning Board Secretary and Planning Board Engineer to sign off if the application is approved.

C Grading Comments

1. The plans shall indicate the type of curbing to be provided in the parking lot as two different curb details are provided.



2. Proposed contour lines and inlet locations does not correspond with high and low points as shown on plan. Grading plan needs to be revised to address this issue.

D Landscaping Comments

1. Street trees should be planted a minimum of 40' on center along Sherrill Avenue and Malterer Avenue (NJAC 19:31C-3.14(e)). The existing trees shall be supplemented as needed to satisfy this requirement.
2. The proposed Ilex glabra is illustrated with a 10' spread. This is not accurate as the plant will never achieve this size. The appropriate revision needs to be made pertaining to the scale of the symbol.
3. Parking islands should be planted with shade trees to reduce "heat island effect." Shrubs could also be added below tree canopies.
4. The church should be provided with foundation plantings and ornamental trees around the structure.
5. Evergreen tree plantings should be provided around the trash enclosure to provide screening.
6. Planting details of trees and shrubs should be provided for review regarding staking, backfill, etc., for the typical tree planting detail on sheet C-10. Where does this detail apply within the site plan since no trees or pavers are currently proposed?
7. General notes pertaining to specifications such as guarantee issues, time of year for planting, planting instruction, substitutions, grass seed mixture, root ball specifications, etc. should be provided.
8. Shrubs below 24" in height are more susceptible to pedestrian damage. Also, root specifications should list pot size by gallon, not by inches. Shrub size shall be increased from 18" to 24" in height.
9. All stumps shall be removed from grassy areas (if in front of church) to reduce insect infestations and prevent attractive nuisances.

F Lighting Comments

1. Lighting operation hours are currently stated as, "Thursday 6:00 PM to 10:00 PM." This is not concern from a safety standpoint. Lighting should be provided along the entrance isle, continuing throughout the week to reduce safety issues, increase security and deter vandalism.



2. Light fixtures should only be placed at the common parking line between parking stalls to avoid vehicular conflict.
3. All light fixtures should be placed a minimum of 2' off the paved parking and drive isles to avoid vehicular conflict with car overhang.
4. Lighting foundations should be provided for review. A screw base will not protect light poles within the parking area. Please make the appropriate modifications.
5. Light fixture placement within a handicap ramp is unacceptable for several reasons. The fixture shall be relocated.

G Traffic and Circulation

1. The Applicant shall provide testimony addressing the anticipated trip generations, peak hours of operation for the existing/proposed uses and any negative impacts on surrounding roadway system.
2. The existing onsite parking provides 87 spaces. The applicant proposes to expand the lot to provide a total of 179. The church has capacity for 495 seats with a parking requirement a one space per three seats yielding a parking demand of 165 spaces.
3. The site is required to provide a total of 6 handicap parking spaces with one being van accessible. The proposed plan provides a total of 13 spaces. Three of these spaces are along the southern property line and adjacent to the building. The applicant should provide testimony as to the need for all the handicap spaces and why the three southern most spaces are not closer to the building.
4. The proposed parking lot provides three dead end aisles on the western end. A two-way access aisle should be provided to improve circulation. The proposed landscape islands immediately adjacent to this area can be shifted to the west,

G. Pedestrian Circulation

1. The handicap accessible routes from the handicap parking spaces to the building entrances shall be indicated on the plans along with the corresponding slopes. The Applicant shall comply with the Americans with Disabilities Act (ADA) with regard to parking, access, etc.. Any handicap accessible route shall not exceed a 4.9% slope without having appropriate railings, landings, etc.

H. Stormwater Management

1. The Applicant proposes to utilize the existing Stormwater system. Due to the age of the system it should be cleaned and televised. A conditions assessment report shall be submitted with recommendations for repairs as needed. A copy of the video shall be included with the report. The Applicant is advised that should there be a future



- application for this property, and it is deemed to be a major development the drainage system will have to be upgraded and comply with the Land Use Regulations and Development and Design Guidelines.
2. The project is a major project per the information provided on drawing C-5, the stormwater design needs to comply with N.J.A.C. 7:8. Subchapter 5.
 3. The applicant shall submit a Stormwater report describing the existing and the proposed conditions signed and sealed by New Jersey Licensed Professional Engineer. The water quality storm routings and the selection of BMP device to treat water quality storm per NJAC 7:8 -5.5. must be included within the report.
 4. Existing and drainage area maps are required to dictate the points of interest and time of concentration.
 5. The project soil maps need to be provided as part of the Stormwater report.
 6. The hydrologic models need to compute separate hydrographs for pervious and impervious areas for both existing and proposed conditions.
 7. The applicant shall demonstrate that the required flow reduction have been met based on the current project location rainfall intensity using either TR55 or Modified Rational method.
 8. No Stormwater recharge is permitted for untreated water. The use of seepage pits as a water quality and quantity is prohibited for untreated runoff from parking lots.
 9. Calculations shall be submitted to demonstrate that the stormwater conveyance system provides capacity for the 25-year storm.
 10. The applicant is discharging to the County drainage system at the west corner at the intersection of Sherill Avenue and Malterer Avenue. Calculations shall be submitted to demonstrate that the system has capacity.
 11. Standards for structural stormwater management measures needs to be followed per NJAC 7:8-5.7.
 12. The applicant shall submit an Operation and Maintenance Manual for the Stormwater Management Facilities.
 13. Sources of Technical guidance needs to be followed per NJAC 7:8-5.9.



Jeanne Smith, Planning Board Secretary
 August 31, 2020
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I Miscellaneous

1. The applicant shall be required to provide an electronic version of the boundary survey in AutoCAD format.
2. A Tax Map Revision Fee of \$250 shall be paid to the Borough should the application be approved.
3. A handicap parking sign detail shall be provided including the supplemental Van Accessible

J Additional Agency Approvals

This application is subject but not limited to the following outside agency approvals or letter of no jurisdiction:

- a. Monmouth County Planning Board
- b. Oceanport Fire Marshal
- c. Two River Water Reclamation Authority
- d. New Jersey American Water
- e. Freehold Soil Conservation District
- f. State Historic Preservation Office
- g. NJ Historic Trust

We reserve the opportunity to further review and comment on this application and all pertinent documentation, pursuant to testimony presented at the public hearing.

Should you have any questions regarding this matter please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING, INC.

A handwritten signature in blue ink, appearing to read 'W.H.R. White, III'.

William H.R. White, III, P.E., P.P., C.M.E.
 Planning Board Engineer and Planner

WHW/dm

cc: Babatunde Adewunmi, P.E. (via email: babs.engineering@gmail.com)
 Rachel Marshal, Esq. (via email: rachelymarshall@gmail.com)

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