



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • SEPTEMBER 24, 2024

Regular

Clement V. Sommers Municipal Building

7:00 PM

910 Oceanport Way, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement: This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 10, 2024 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.

III. Flag Salute

IV. Board Policy

- It is Board Policy that no application will be opened after 9:30 P.M.
- No new testimony will be taken after 10:00 P.M., except at the discretion of the Board.

V. Roll Call

VI. Board Business

1. Report of Pending Applications

VII. Approval of Minutes

1. Planning/Zoning Board - Regular - Sep 10, 2024 7:00 PM

VIII. Old Business

1. PB2024-03 Buono, Frank
CARRIED FROM SEPTEMBER 13, 2024
Block 19, Lot 14.01
35 Wyandotte Ave.
Proposed improvements for pool, patio, pergola seeking variance relief for:
 - Impervious Surface-37% permitted, 28.6% existing, 47.6 originally proposed, 43.7% revised proposal
 - Minimum Setback Rear- 25' required, 25.421 existing, 8' proposed, 8.78' revised proposed
 - Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed, revised - now complies

IX. Petitions from the Public

X. Adjournment

**BOROUGH OF OCEANPORT****PLANNING/ZONING BOARD****MINUTES • SEPTEMBER 10, 2024****Regular****Clement V. Sommers Municipal Building****7:00 PM****910 Oceanport Way, Oceanport, NJ 07757**

- I. **Call to Order:** Chairman Whitson called the meeting to order at 7:00 PM
- II. **Open Public Meetings Statement:** This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 10, 2024 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.
- III. **Flag Salute:** Chairman Whitson led attendees and members of the Board in the flag salute.
- IV. **Board Policy:** Chairman Whitson advised of the following Board policies: It is Board Policy that no application will be opened after 9:30 P.M.; no new testimony will be taken after 10:00 P.M., except at the discretion of the Board.
- V. **Roll Call:**

Attendee Name	Title	Status
James Whitson	Chairman	Present
John (Jack) Kahle	Vice Chairman	Absent
Christopher Widdis C	Mayor's Designee	Absent
Patty Cooper	Class III Council Liaison	Present
Joseph Foster	Environmental Commission Liaison	Present
Leslie B Widdis L	Class IV	Absent
Darren Davis	Class IV	Present
Michael Dailey	Class IV	Absent
Kevin Calver	Class IV	Present
David Gruskos	Alternate I	Absent
Louis J. Padula	Alternate II	Present
Jeanne Smith	Board Secretary	Present
Kevin Kennedy	Board Attorney	Present
William White	Board Engineer/Planner	Present

- VI. **Board Business:**
- Report of Pending Applications - Ms. Smith advised there was no report for pending applications, the technical review committee met to review the Netflix application and should be scheduled sometime in October or November for its public hearing.
- VII. **Approval of Minutes:**
- Minutes of Aug 13, 2024 7:00 PM - Tabled
- VIII. **Old Business:**
- Resolution of Approval - 23 Vreeland Place - As the resolution was provided in advance, Mr. Kennedy summarized the resolution, reviewed its conditions and made revisions based on Board member comments on drainage locations and tree sizes, which the Board found acceptable as amended.

RESULT:	ADOPTED [4 TO 0]
MOVER:	Darren Davis, Class IV
SECONDER:	Louis J. Padula, Alternate II
AYES:	Whitson, Cooper, Davis, Padula
ABSENT:	Kahle, Widdis C, Widdis L, Gruskos
INELIGIBLE:	Foster, Dailey, Calver

2. PB2024-03 Buono, Frank CARRIED FROM SEPTEMBER 10, 2024
Block 19, Lot 14.01
35 Wyandotte Ave.

EXHIBITS

- A-1 Land Development Application
A-2 Final as built survey, prepared by Insight Surveying, last revised October 2, 2023
A-3 Plot Plan, prepared by Insight Surveying, last revised March 22, 2024
A-4 Architectural Plans, prepared by Brian Fitzgerald, last revised February 29, 2024
A-5 Review memorandum, prepared by Colliers Engineering, dated June 13, 2024
A-6 Set of Photographs, series of overhead photos representing the area where the property is located, prepared by Insight Engineering, dated June 20, 2024

NEW

- A-7 Plan entitled "Plot Plan" prepared by InSite Surveying, LLC, last revised August 23, 2024, consisting of one (1) sheet;
A-8 Plan entitled "Proposed Alteration for Buono Residence," prepared by Brian Fitzgerald Architect + Design, last revised August 27, 2024, consisting of six (6) sheets.
A-9 Review memorandum, prepared by Collier's Engineering, dated September 9, 2024.

Mr. Kennedy described and marked new Exhibits A-7, A-8, A-9. Mr. Kennedy stated this was a hearing continuance and reviewed with the Secretary the eligible Board members of which only 4 members were eligible.

Due to only 4 eligible Board members present, Mr. Witek, Applicant's Attorney, requested a brief recess to discuss with his client whether or not to proceed.

The Board took a 2-minute recess at 7:11 PM remaining on the record.

Mr. Witek returned and requested on behalf of his client to carry the application with no additional notice required to the September 24, 2024 meeting which was approved on a motion by Mr. Davis, seconded by Mr. Foster and approved by the Board.

IX. New Business - None

X. Petitions from the Public: Chairman Whitson opened the meeting to Petitions from the Public. As no one else from the public wished to be heard, Chairman Whitson closed that portion of the meeting.

XI. Adjournment: As there was no further business, the meeting was adjourned at 7:15 pm on a motion by Councilwoman Cooper which was seconded by Mr. Davis and approved by the Board.

Respectfully submitted,

Jeanne Smith
Board Secretary



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3185)

Meeting: 09/24/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3185

PB2024-03 Buono, Frank

CARRIED FROM AUGUST 13, 2024

Block 19, Lot 14.01

35 Wyandotte Ave.

Proposed improvements for pool, patio, pergola seeking variance relief for:

- Impervious Surface-37% permitted, 28.6% existing, 47.6 originally proposed, 43.7% revised proposal
- Minimum Setback Rear- 25' required, 25.421 existing, 8' proposed, 8.78' revised proposed
- Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed, revised - now complies

HISTORY:

06/25/24 Planning/Zoning Board

Block 19, Lot 14.01

35 Wyandotte Ave.

Proposed improvements for pool, patio, pergola seeking variance relief for:

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- Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed

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09/10/24 Planning/Zoning Board

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101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



September 9, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

Application No. PB2024-03
Review #2 – 35 Wyandotte Avenue
Block 19, Lot 14.01
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0358

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Final As-built Survey" prepared by InSite Surveying, LLC, last revised October 2, 2023, consisting of one (1) sheet;
- Plan entitled "Plot Plan" prepared by InSite Surveying, LLC, last revised August 23, 2024, consisting of one (1) sheet;
- Plan entitled "Proposed Alteration for Buono Residence," prepared by Brian Fitzgerald Architect + Design, last revised August 27, 2024, consisting of six (6) sheets.

The subject property is a 12,000 SF (0.275 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the north side of Wyandotte Avenue approximately 420 feet east of Port Au Peck Avenue. The property contains a 2-1/2 story dwelling, concrete walkway, and asphalt driveway. The Applicant is proposing a covered patio addition to the rear of the existing dwelling along with an inground pool, pergola and at grade patio.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the application is included below:

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Rear Yard Setback – the R-3 Zone requires a Rear Yard Setback of 25' to the Principal Structure, the existing dwelling provides a 25.42' from the rear property line, the applicant is requesting 8.78 foot setback to the proposed covered patio.
 - b. Maximum Impervious Coverage – the zone permits a maximum impervious coverage of 37%, the current coverage is 28.6%, and the applicant proposes a coverage of 43.7%.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property,
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible "c" or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. The property is not located in a Regulated Flood Zone.
2. The Architectural plans indicates evergreen privacy screening, which should be added to the Plot Plan and information be provided as to the species, size and spacing. Planting details shall also be added to the plans.

3. The ground elevation adjacent to the covered porch provides over a 3-foot drop near the northwest corner. A guard is required for a drop of 30" or more.
4. The applicant shall provide testimony as to the existing drainage pattern(s) and potential impact to the adjacent properties.
5. The rear yard swale is at a slope of approximately 0.6% and the eastern side yard swale is proposed at 0.3%. The minimum slope is 1%, even at that slope there can be potential temporary ponding in the yard.
6. The Board should consider a deed restriction to prohibit the enclosure of the covered patio.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.
(dba Maser Consulting)



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

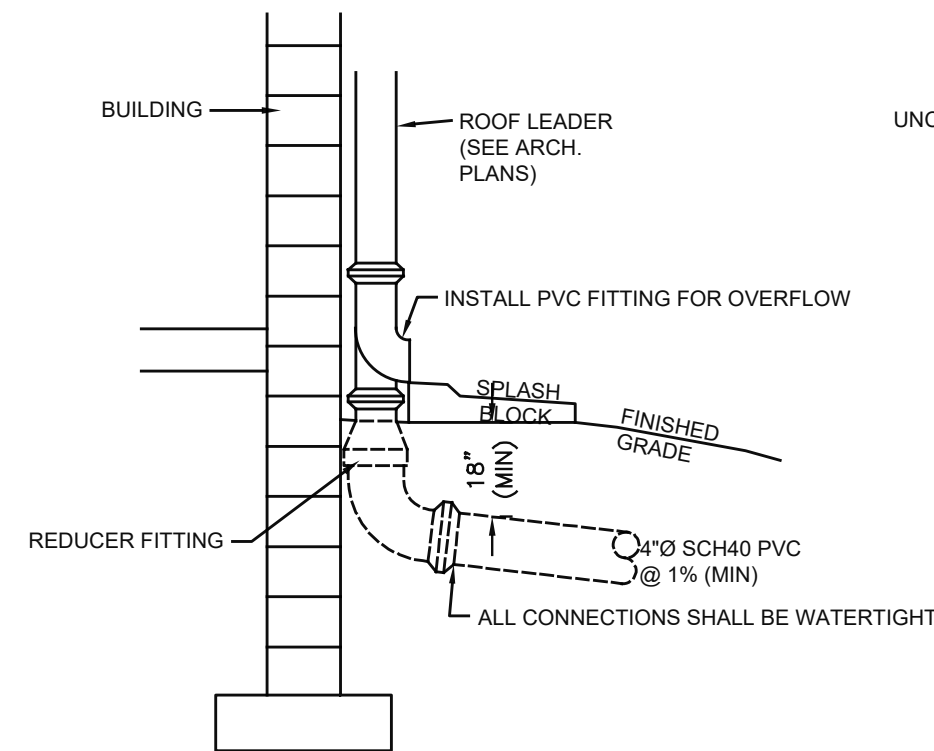
WHW/

cc: Robert Witck II, Esq, (via email)
Brian Fitzgerald, AIA (via email)
Frank Buono, applicant (via email)
Douglas qClelland, PE (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\IM-P\Opp\OPP0358\Correspondence\OUT\240909_whw_smith_35_Wyandotte_rvw#2.docx

ZONING COMPLIANCE CHART					
R-3 (RESIDENTIAL SINGLE-FAMILY) ZONE (§ 390)					
SINGLE FAMILY DWELLING: PERMITTED					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHED II	MIN. LOT AREA (SF)	12,000	12,000	NO CHANGE	YES
SCHED II	MIN. LOT WIDTH (FT)	120	120	NO CHANGE	YES
SCHED II	MIN. LOT DEPTH (FT)	100	100	NO CHANGE	YES
SCHED II	PRINCIPAL BUILDING				
SCHED II	MIN. FRONT YARD SETBACK (FT)	30	34.60	NO CHANGE	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	25	25.60	8.78 (V)	NO
SCHED II	MIN. SIDE YARD SETBACK				
SCHED II	ONE SIDE (FT)	10	10.30	NO CHANGE	YES
SCHED II	BOTH SIDES (FT)	25	50.90	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (FT)	35	31.85	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (STORIES)	2.5	2.5	NO CHANGE	YES
390-31(E)	ACCESSORY STRUCTURE-POOL				
390-31(E)	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES
390-31(E)	MIN. REAR YARD SETBACK (FT)	10	N/A	15.29	YES
390-31(E)	MIN. SIDE YARD SETBACK (FT)	10	N/A	13.52	YES
390-31(E)	MIN. DISTANCE FROM BUILDING (FT)	10	N/A	11.09	YES
SCHED II	LOT COVERAGE				
SCHED II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	19.39		
SCHED II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	N/A	YES
SCHED II	MAX. IMPERVIOUS COVERAGE (%)	37	28.91	43.7 (V)	NO
SCHED II	MAX. DWELLING PER ACRE	3.7	3.63	NO CHANGE	YES
(N) EXISTING NON-CONFORMITY	(I) IMPROVED CONDITION	N/A - NOT APPLICABLE			
(E) EXISTING VARIANCE	(X) VARIANCE / NON-CONFORMITY ELIMINATED	N/S - NOT SPECIFIED			
(V) PROPOSED VARIANCE	(W) PROPOSED WAIVER				
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE					

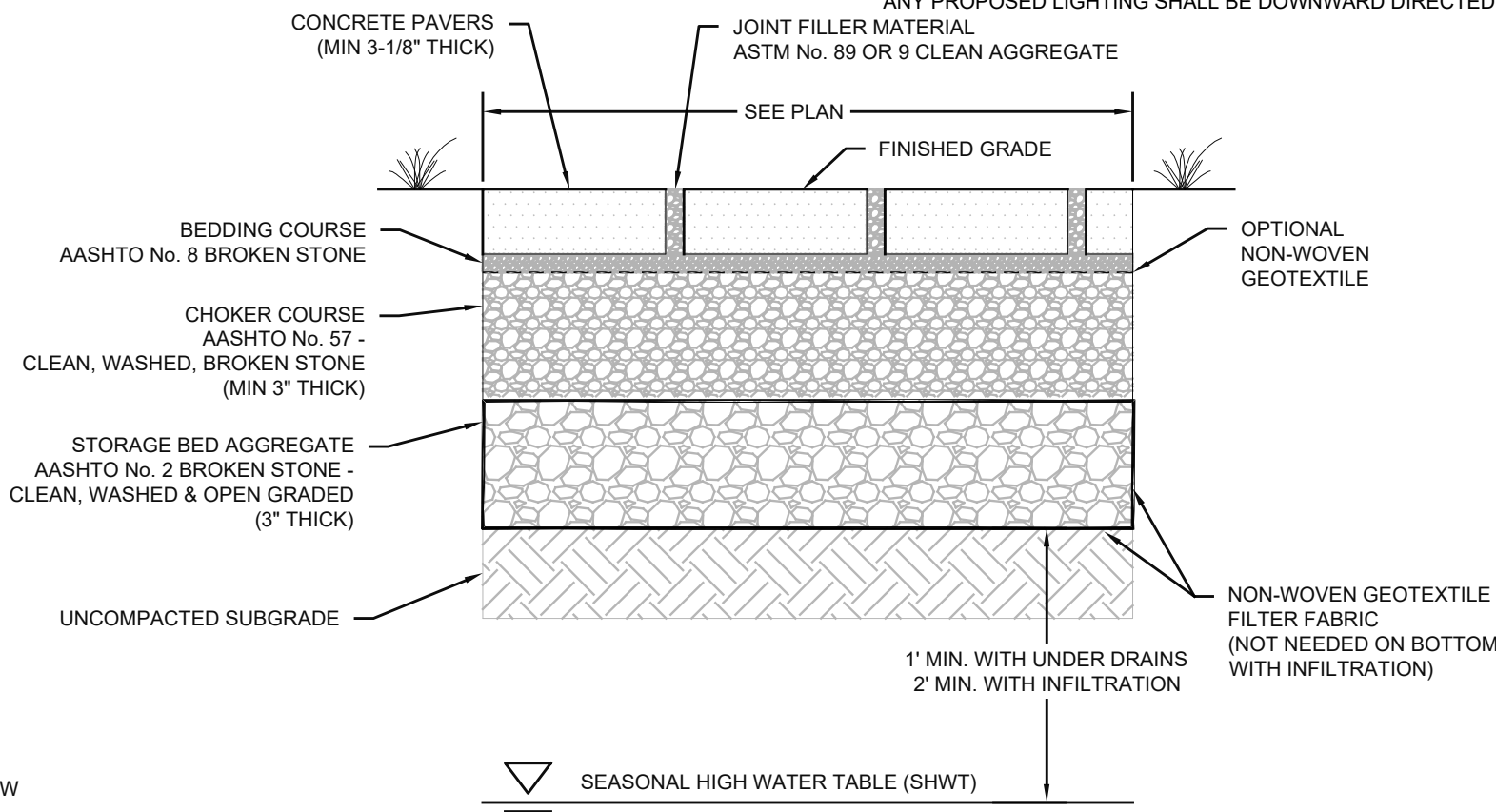
LOT COVERAGE CALCULATIONS		
ITEM	EXISTING (SF)	PROPOSED (SF)
DWELLING	2,327.00	NO CHANGE
DRIVEWAY	825.17	NO CHANGE
CONC. FRONT PORCH	76.12	NO CHANGE
CONC. WALKWAY	112.88	NO CHANGE
A/C UNITS	8.00	NO CHANGE
CONC. LANDINGS	74.59	23.20
STEPS	45.65	10.50
COVERED PORCH	N/A	396.00
POOL	N/A	400.00
PERMEABLE PAVER PATIO	N/A	895.50
BAR	N/A	141.30
GENERATOR	8.0	NO CHANGE
POOL EQUIPMENT	N/A	24.00
TOTAL	3,477.41	5,247.87



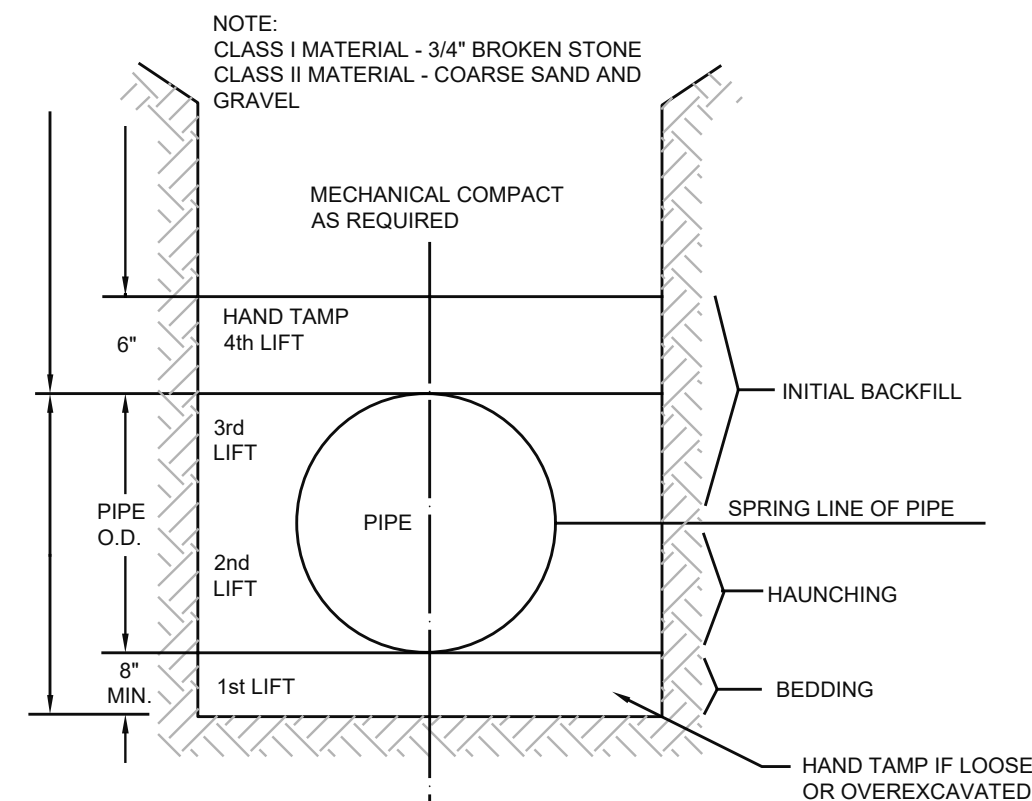
EXTERIOR DOWNSPOUT COLLECTOR
NTS

GENERAL NOTES

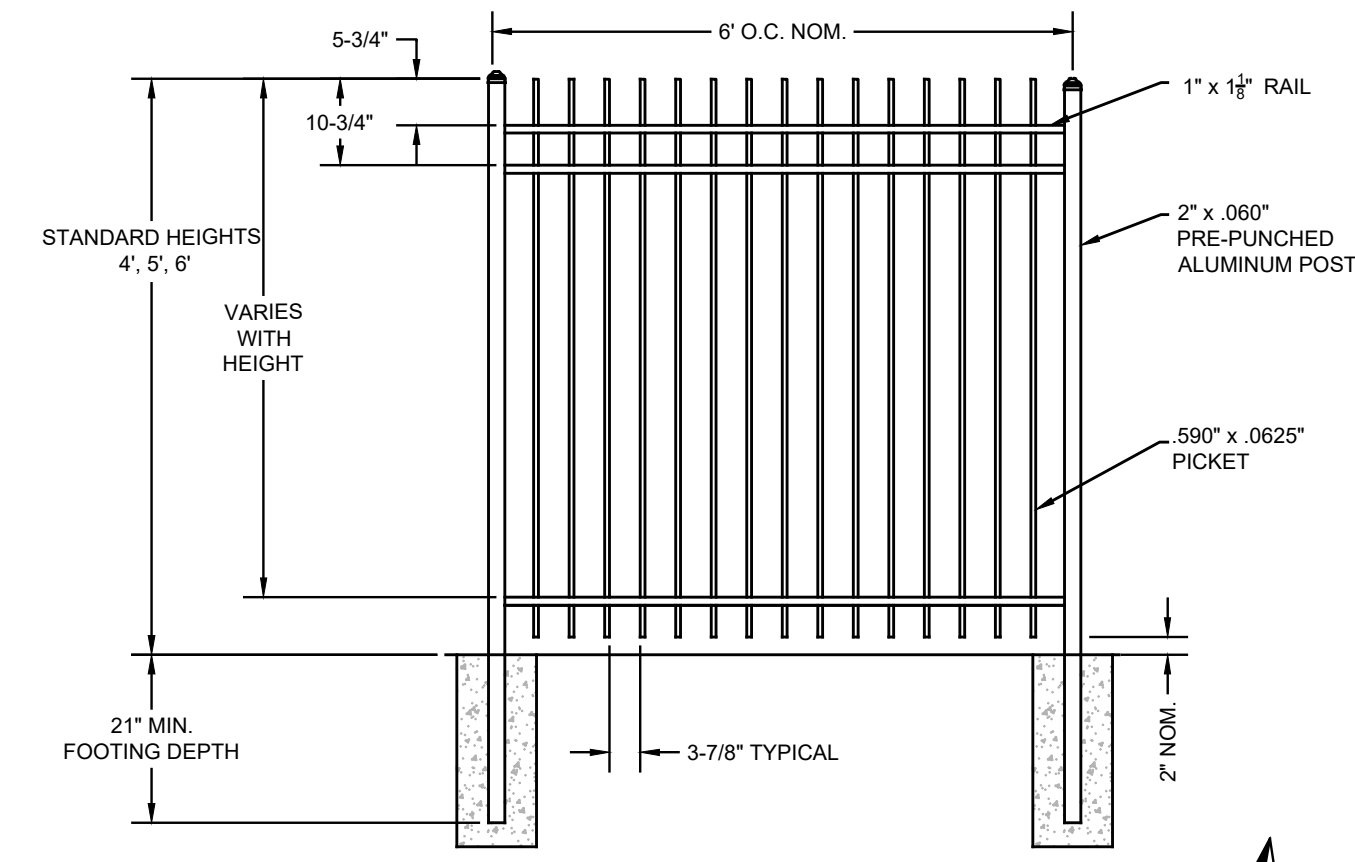
- SUBJECT PROPERTY**
TAX MAP 11; BLOCK 19, LOT 14; 35 WYANDOTTE AVENUE, OCEANPORT, MONMOUTH COUNTY, NEW JERSEY
- OWNER / APPLICANT**
OWNER:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE MUNICIPALITY (FOR ENGINEERING AND ZONING APPROVAL) AND TO SUPPORT AN APPLICATION TO FREEHOLD SOIL CONSERVATION DISTRICT (FOR PLAN CERTIFICATION).
- SURVEY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE ENGINEERING, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF BLOCK 19, LOT 14", WITH THE LATEST REVISION BEING DATED 02/16/24. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD83 VERTICAL DATUM.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY BRIAN FITZGERALD ARCH + DESIGN, ENTITLED "BUONO RESIDENCE".
- BASE FLOOD ELEVATION**
THIS PROPERTY IS NOT IN A FLOOD ZONE.
- CONSTRUCTION STAKEOUT**
SPECIAL CARE SHALL BE TAKEN DURING STAKEOUT AND CONSTRUCTION TO ADHERE TO THE LOCATION OF THE PROPOSED STRUCTURE AND SITE IMPROVEMENTS. THE BUILDING TIES ARE TO THE FOUNDATION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- LIMIT OF DISTURBANCE**
PRIOR TO THE START OF SITE WORK, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH SNOW FENCING OR OTHER APPROPRIATE MARKERS. SOIL DISTURBANCE IS LESS THAN 5,000 SF, THEREFORE PLAN CERTIFICATION IS FROM THE SOIL CONSERVATION DISTRICT IS NOT REQUIRED.
- RESTORATION**
ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED "IN-KIND" AS NEARLY AS PRACTICAL TO THEIR ORIGINAL STATE. AREAS WHERE SOIL IS LEFT EXPOSED SHALL BE GRADED, RAKED SMOOTH AND SEEDED IMMEDIATELY UPON COMPLETION OF SOIL DISTURBANCE.
- POOL COMPLIANT FENCE**
THE APPLICANT SHALL PROVIDE A COMPLIANT POOL FENCE AND GATE IN ACCORDANCE WITH THE MUNICIPAL ORDINANCE, THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS), AND ALL APPLICABLE CODES.
- LIGHTING**
ANY PROPOSED LIGHTING SHALL BE DOWNWARD DIRECTED SO AS TO NOT CREATE ANY ADVERSE GLARE CONDITIONS FOR NEIGHBORING PROPERTIES.



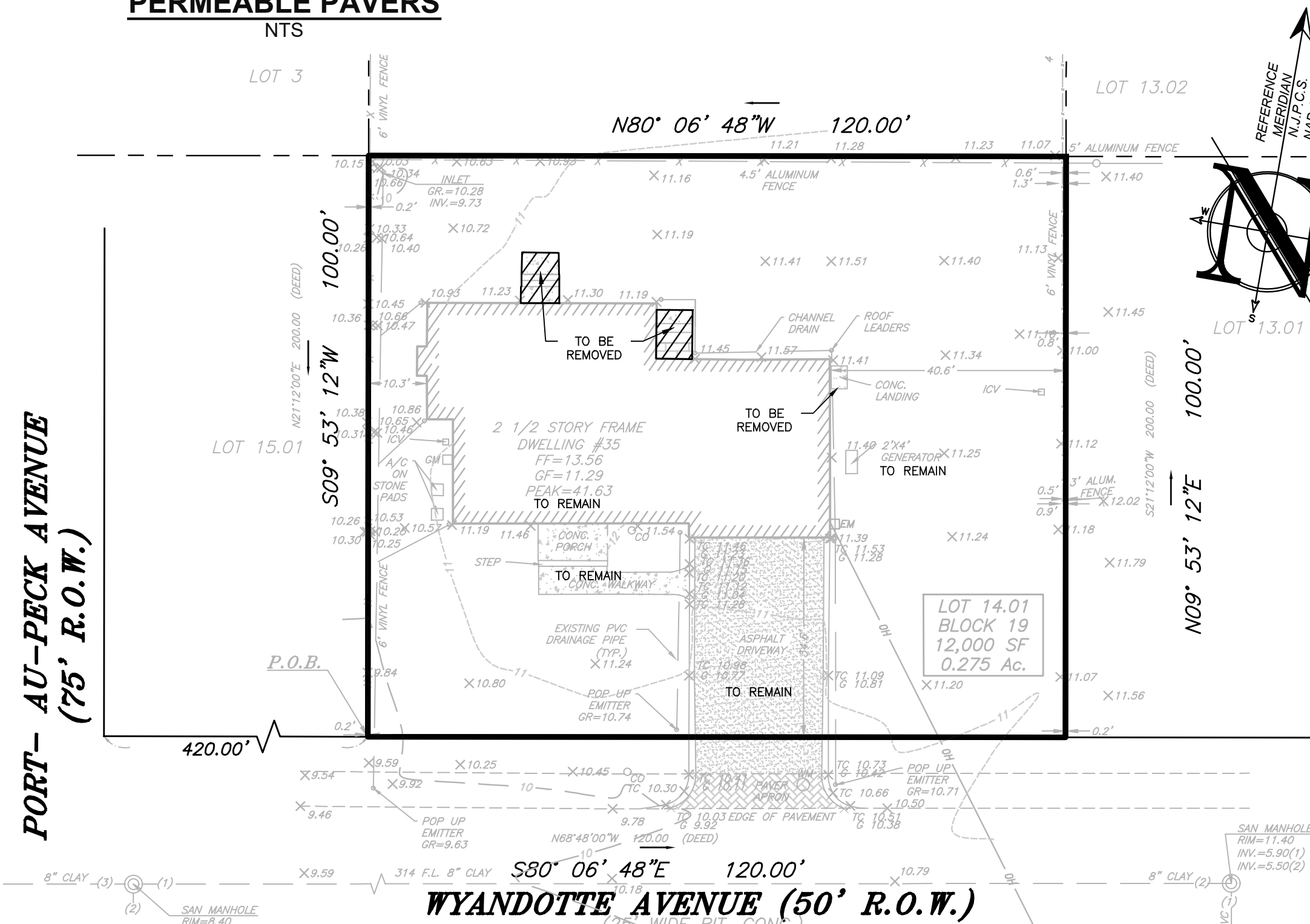
PERMEABLE PAVERS
NTS



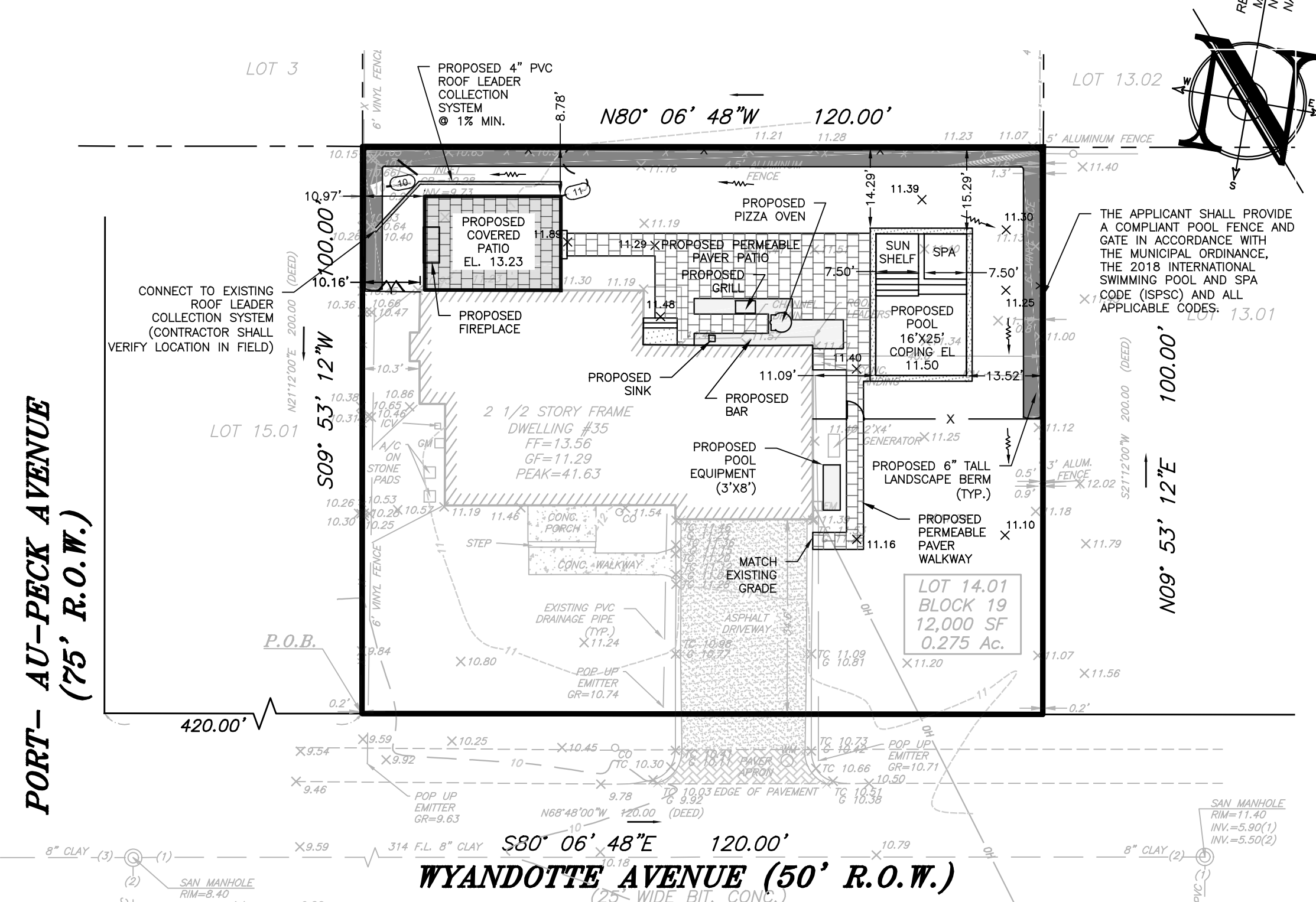
PIPE BEDDING DETAIL
NTS



ALUMINUM FENCE
NTS



EXISTING CONDITIONS
SCALE : 1" = 20'



PROPOSED CONDITIONS
SCALE : 1" = 20'

PROJECT INFORMATION

PROJECT NAME:
35 WYANDOTTE AVENUE - REAR YARD IMPROVEMENTS

PROJECT LOCATION:
BLOCK 19, LOT 14
35 WYANDOTTE AVENUE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757

APPLICANT:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ATTORNEY:
ROBERT L. WITEK
41 MEMORIAL PARKWAY
LONG BRANCH, NJ 07740

ARCHITECT:
BRIAN FITZGERALD ARCH + DESIGN
141 E MAIN ST
OCEANPORT, NJ 07757

SURVEYOR:
INSITE SURVEYING, LLC
1955 NJ-34 81A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call logo)

ELECTRIC	RED
GAS/GR	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSIT. MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
1	08/23/24	PER BOROUGH COMMENTS
0	03/22/24	INITIAL RELEASE

SCALE: 1"=20'	DESIGNED BY: JHD
DATE: 03/22/24	DRAWN BY: JHD
JOB #: 24-2274-01	CHECKED BY: DDC
CAD ID: 24-2274-001	

NOT FOR CONSTRUCTION

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:
PLOT PLAN

SHEET TITLE:
PLAN

SHEET NO.:
1 OF 1

Proposed Alteration For:
Buono Residence

A-101	Backyard/ Patio Plan
A-200	Patio Elevations
A-300	Sections
A-301	Sections
A-302	Sections
A-900	Perspectives

Brian Fitzgerald R.A., NCARB, A.I.A., LEED AP
NJ Lic. # 21AIO205680041
PA Lic. # RA409455
ME Lic. # ARC5323
NCARB Cert. # 88189
East Main Street
Oceanport, NJ 07757
P: (732) 859-4968
Brian@bfarchdesign.com

Proposed Alteration For:

Buono Residence

35 Wyandotte Avenue
Oceanport, NJ 07757

Block: 19

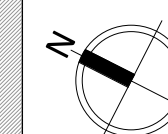
Lot: 14.01

These drawings and specifications are issued as instruments of the architect's service for use solely with respect to this project. These drawings and specifications shall not be used by the owner or by others on other projects, for additions to this project, or for completion of this project by others, without the agreement of the architect.

[illegible]

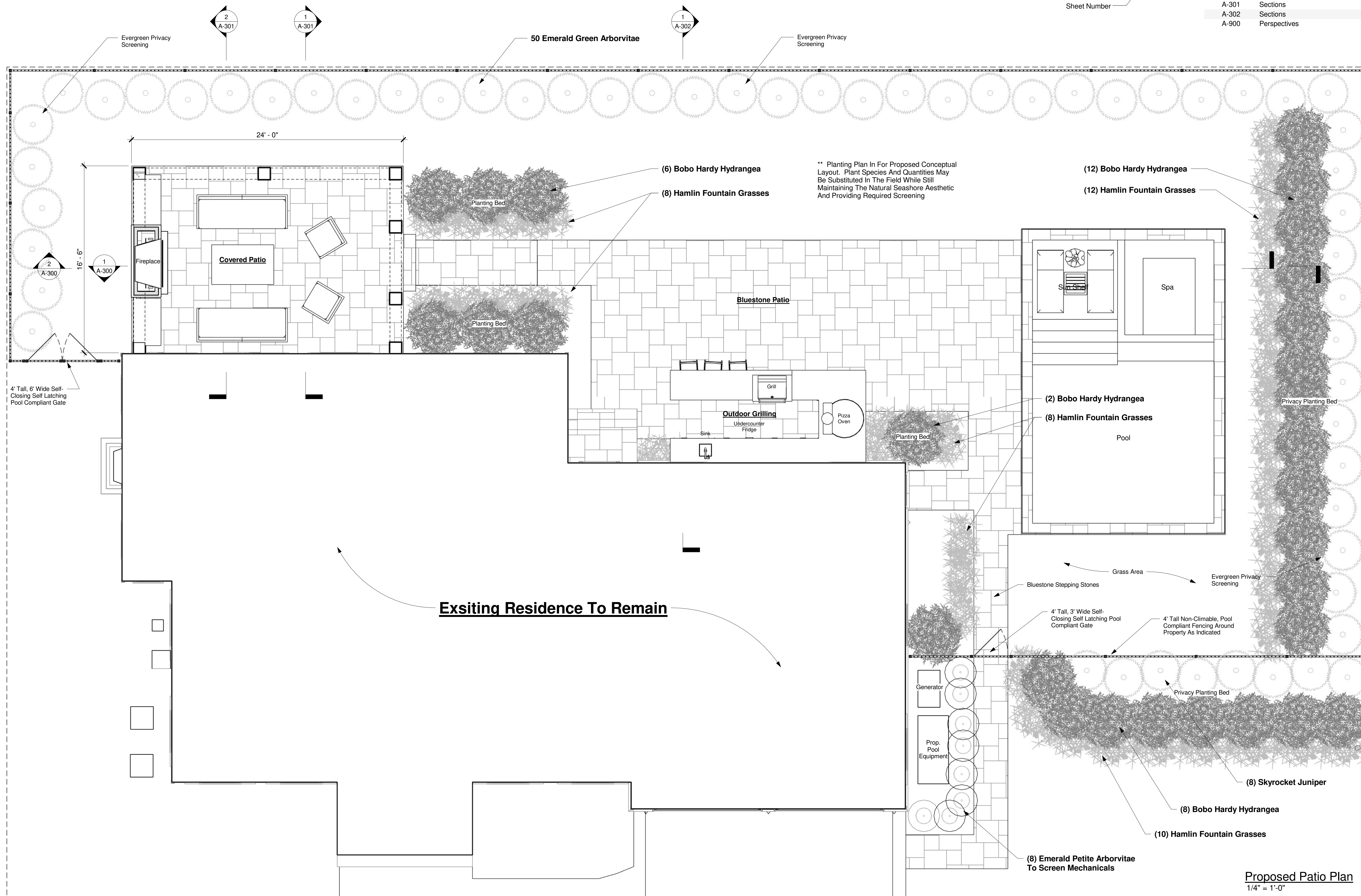
Backyard/ Patio Plan

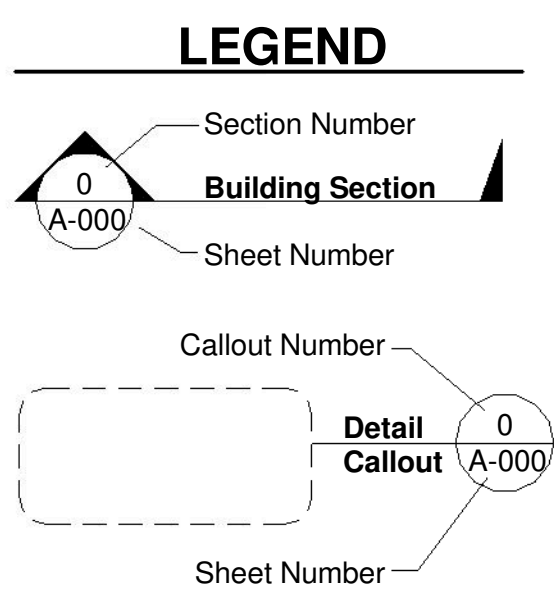
Project number	2023-40
Submission Date	06/25/24
Sheet Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF



A-101

Scale	1/4" = 1'-0"
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Brian Fitzgerald

ARCH + DESIGN



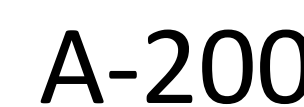
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East Main Street
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P: (732) 859-4968
Brian@bfarchdesign.com

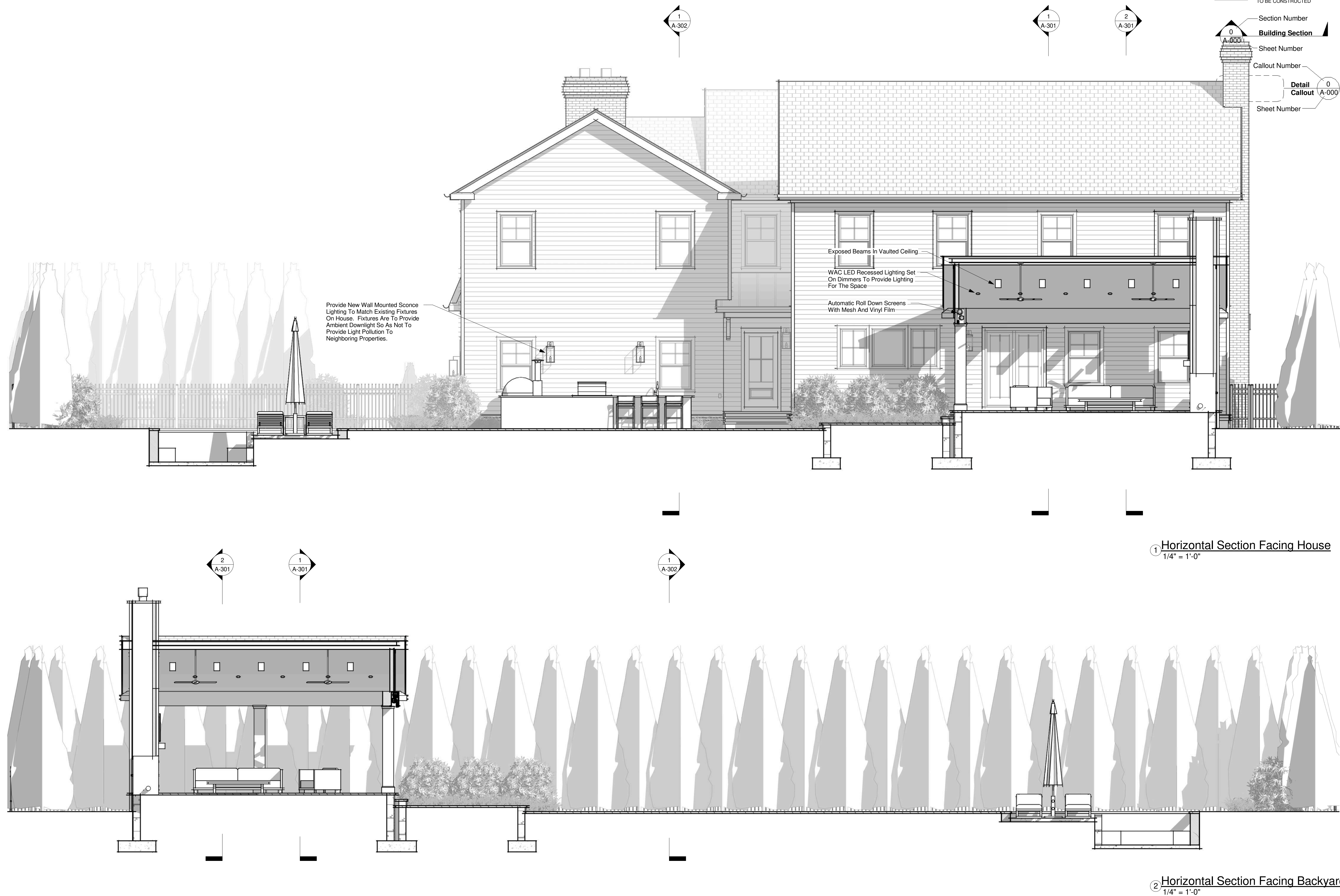
Buono Residence

Lot: 14.01

[illegible]

Project number	2023-40
Submission Date	06/25/24
Sheet Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF





LEGEND

-
- The diagram illustrates the numbering system for a building section and detail callout. It includes a legend and two examples of how the numbers are placed on the drawings.
- Legend:**
- INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
 - INDICATES EXISTING WALLS AND/OR ITEMS TO BE REMOVED
 - INDICATES PROPOSED WALLS TO BE CONSTRUCTED
- Building Section Example:**
- Section Number:** 0
 - Building Section:** (Label for the section drawing)
 - Sheet Number:** A-000/
 - Callout Number:** (Label for the detail callout)
- Detail Callout Example:**
- Detail Callout:** 0
 - Sheet Number:** A-000

Brian Fitzgerald
ARCH + DESIGN





Brian Fitzgerald R.A., NCARB, A.I.A., LEED AP
NJ Lic. # 21AIO205680041
PA Lic. # RA409455
ME Lic. # ARCS323
NCARB Cert. # 88189
East Main Street
Oceanport, NJ 07757
P: (732) 859-4968
Brian@bfarchdesign.com

Proposed Alteration For:

Buono Residence

35 Wyandotte Avenue
Oceanport, NJ 07757

Block: 19

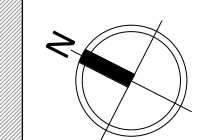
Lot: 14.01

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Sections

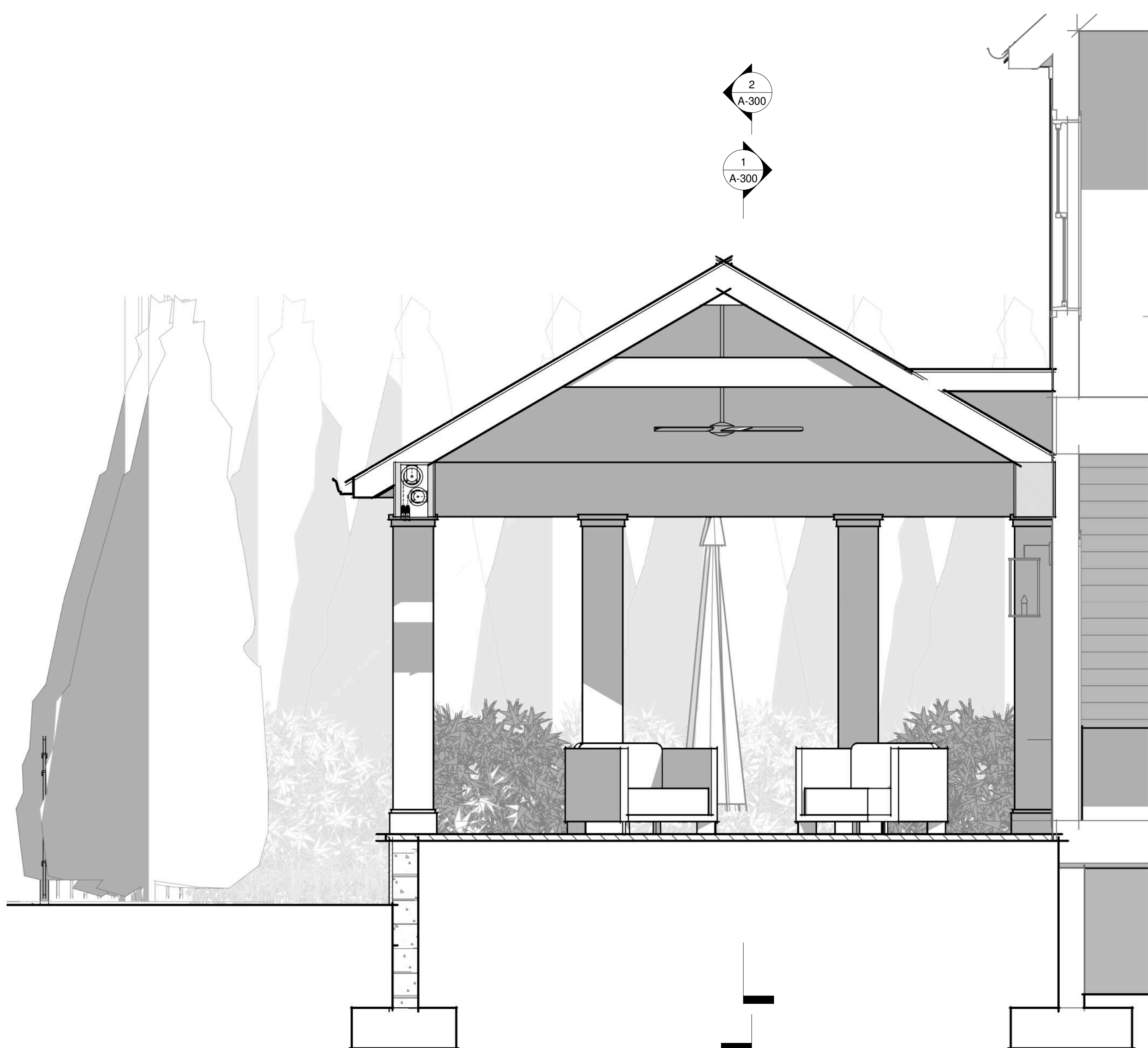
Project number	2023-40
Submission Date	06/25/24
Sheet Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF



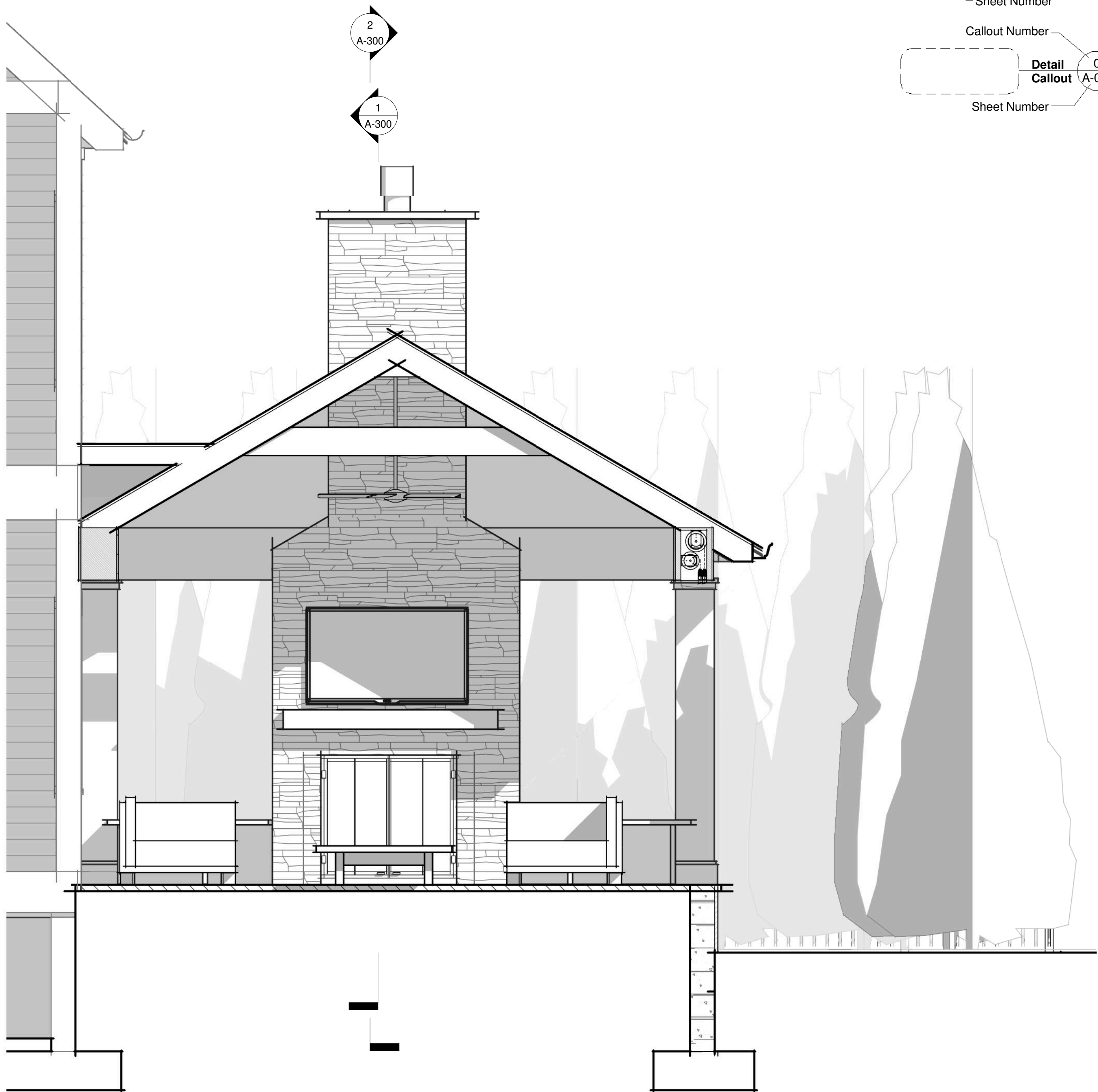
A-300

Scale	$1/4" = 1'-0"$
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① Cross Section Facing Pool
1/2" = 1'-0"



② Cross Section Facing Fireplace
1/2" = 1'-0"

LEGEND

-
- Legend:**
- INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
 - INDICATES EXISTING WALLS AND/OR ITEMS TO BE REMOVED
 - INDICATES PROPOSED WALLS TO BE CONSTRUCTED
- Building Section Symbol Components:**
- Section Number
 - Sheet Number
 - Callout Number
 - Detail Callout
 - Sheet Number

Brian Fitzgerald
ARCH + DESIGN



an Fitzgerald R.A., NCARB, A.I.A., LEED AP
Lic. # 21A10205680041
Lic. # RA409455
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st Main Street
eanport, NJ 07757
(732) 859-4968
an@bfarchdesign.com

Proposed Alteration For:

Buono Residence

5 Wyandotte Avenue
Oceanport, NJ 07757

ock: 19

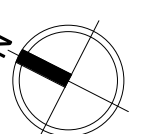
ot: 14.01

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[illegible]

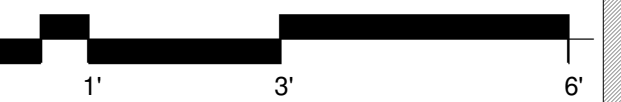
Sections

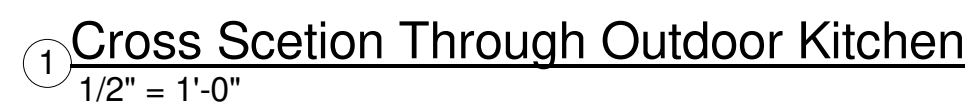
Project number	2023-40
Submission Date	06/25/24
Meeting Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF



A-301

ale	As indicated
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 INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
 INDICATES EXISTING WALLS AND/OR ITEMS TO BE REMOVED
 INDICATES PROPOSED WALLS TO BE CONSTRUCTED

 Section Number
Building Section
 Sheet Number

 Callout Number
Detail Callout
 Sheet Number

Brian Fitzgerald
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P: (732) 859-4968
Brian@bfarchdesign.com

Proposed Alteration For:

Buono Residence

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Oceanport, NJ 07757

Block: 19

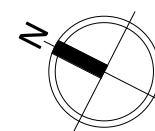
Lot: 14.01

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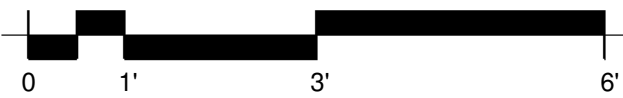
Sections

Project number	2023-40
Submission Date	06/25/24
Sheet Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF



A-302

Scale As indicated



An architectural line drawing of a modern outdoor patio. In the foreground, a paved patio area is furnished with two lounge chairs and a small wooden table. A large, closed patio umbrella stands nearby. To the left, a building with a gabled roof and multiple windows is visible. A covered dining area with a table and chairs is situated in the middle ground. A row of tall, slender trees forms a backdrop on the right side of the patio. The drawing uses clean lines and shading to depict the space.

Brian Fitzgerald
ARCH + DESIGN



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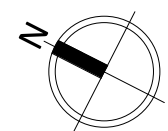
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[illegible]

Perspectives

Project number	2023-40
Submission Date	06/25/24
Sheet Issue Date	08/27/24
Drawn by	BPF
Checked by	BPF



A-900

Scale

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



June 13, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

Application No. PB2024-03
Review #1 – 35 Wyandotte Avenue
Block 19, Lot 14.01
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0358

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Final As-built Survey" prepared by InSite Surveying, LLC, last revised October 2, 2023, consisting of one (1) sheet;
- Plan entitled "Plot Plan" prepared by InSite Surveying, LLC, last revised March 22, 2024, consisting of one (1) sheet;
- Plan entitled "Proposed Alteration for Buono Residence," prepared by Brian Fitzgerald Architect + Design, last revised February 29, 2024, consisting of seven (7) sheets.

The subject property is a 12,000 SF (0.275 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the north side of Wyandotte Avenue approximately 420 feet east of Port Au Peck Avenue. The property contains a 2-1/2 story dwelling, concrete walkway, and asphalt driveway. The Applicant is proposing a covered patio addition to the rear of the existing dwelling along with an inground pool, pergola and at grade patio.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the application is included below:

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Rear Yard Setback – the R-3 Zone requires a Rear Yard Setback of 25' to the Principal Structure, the existing dwelling provides a 25.42' from the rear property line, the applicant is requesting 8 foot setback to the proposed covered patio.
 - b. Maximum Impervious Coverage – the zone permits a maximum impervious coverage of 37%, the current coverage is 28.6%, and the applicant proposes a coverage of 47.6%.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property,
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible "c" or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. The property is not located in a Regulated Flood Zone.
2. The location of the pool equipment shall be added to the plans.

3. The Architectural plans and Plot Plan should be coordinated with respect to the proposed setbacks and improvements.
4. The Architectural plans indicates evergreen privacy screening, which should be added to the Plot Plan and details provided as to the species, size and spacing.
5. The applicant shall provide testimony as to the existing drainage pattern(s) and potential impact to the adjacent properties.
6. The Board should consider a deed restriction to prohibit the enclosure of the covered patio.
7. The proposed outdoor sink will require approval from the Plumbing Subcode official.
8. Permanent fencing in accordance with Ordinance 390-31H shall be provided to secure the pool. Location of fencing and gates shall be added to the Plot Plan.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.
(dba Maser Consulting)



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/

cc: Robert Witck II, Esq, (via email)
Brian Fitzgerald, AIA (via email)
Frank Buono, applicant (via email)
Douglas qClelland, PE (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\IM-P\Opp\OPP0358\Correspondence\OUT\240613_whw_smith_35_Wyandotte_rvw#1.docx

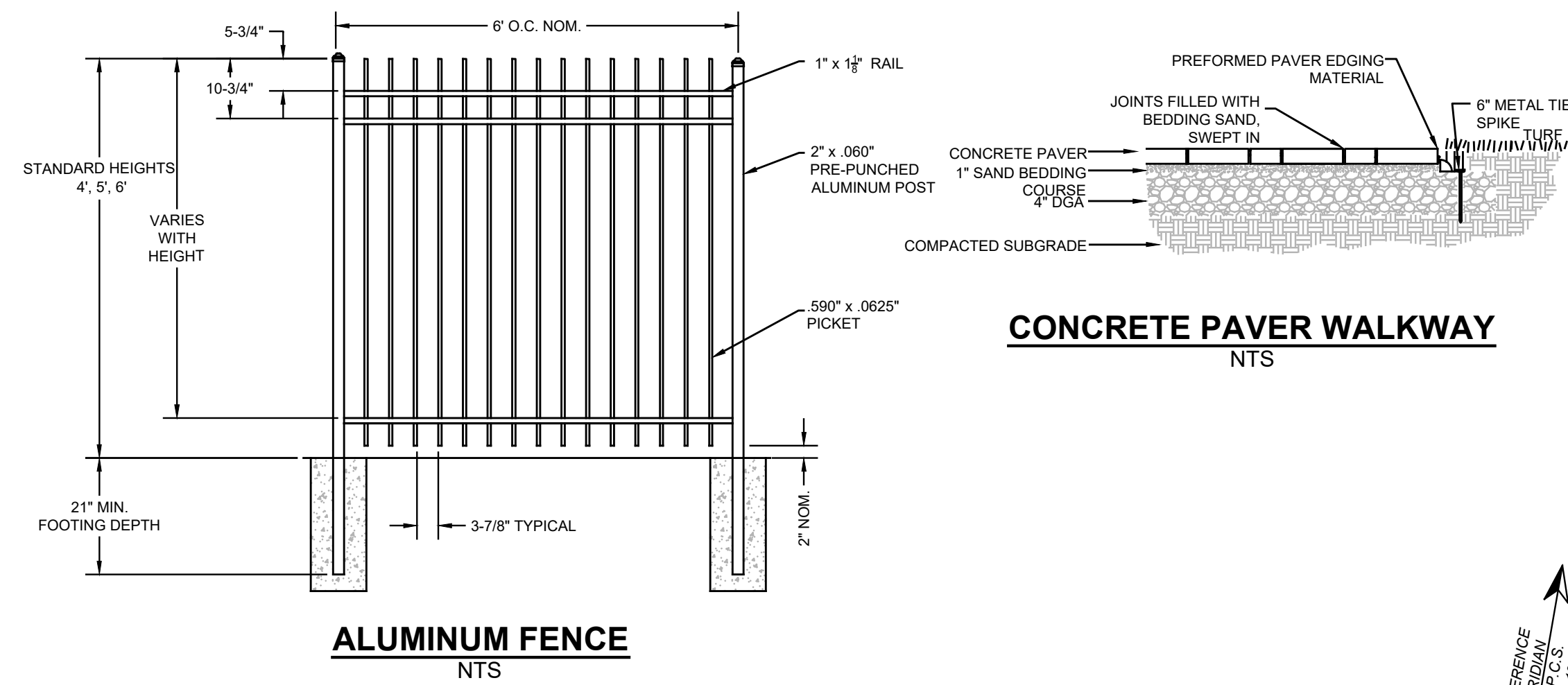
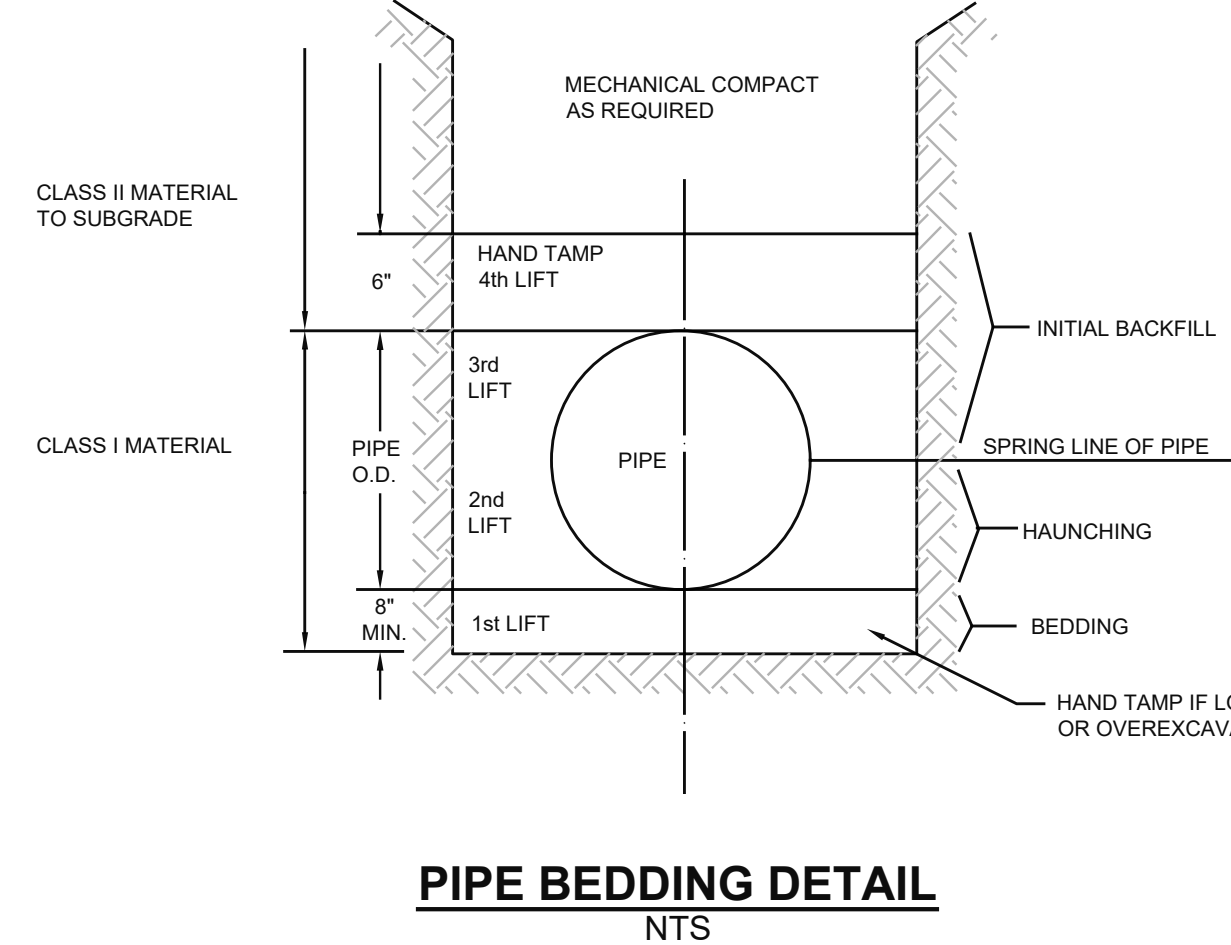
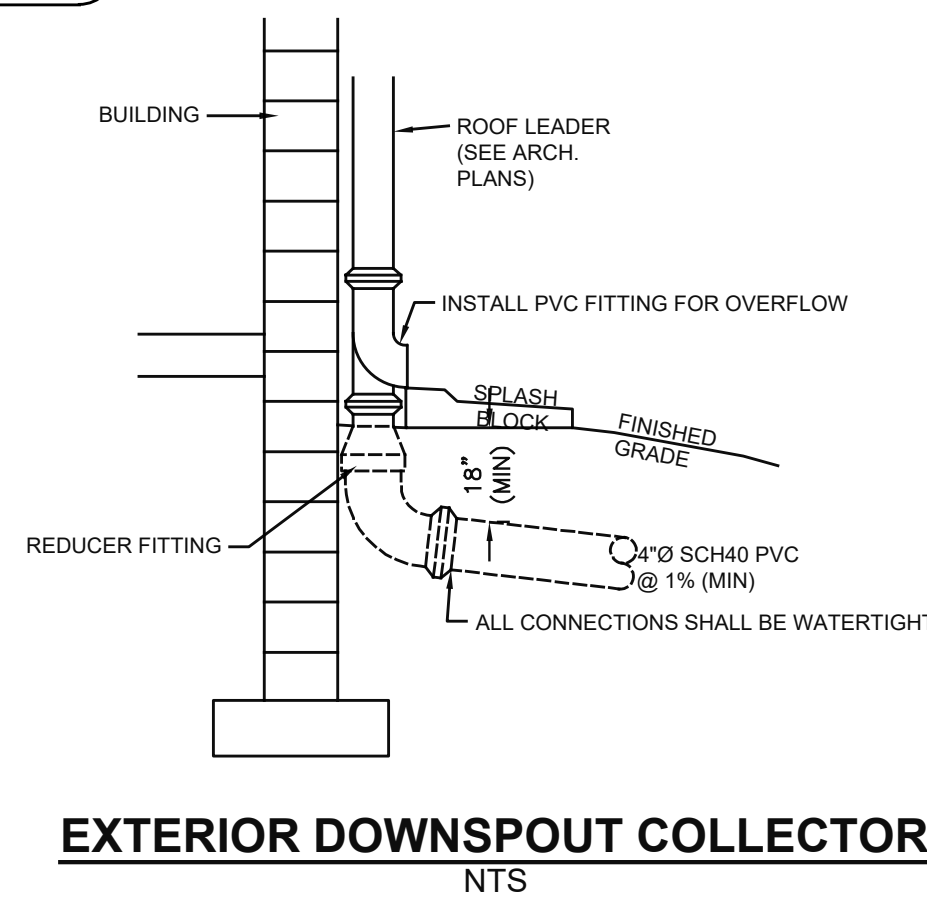
ZONING COMPLIANCE CHART					
R-3 (RESIDENTIAL SINGLE-FAMILY) ZONE (§ 390)					
SINGLE FAMILY DWELLING: PERMITTED					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHED II	MIN. LOT AREA (SF)	12,000	12,000	NO CHANGE	YES
SCHED II	MIN. LOT WIDTH (FT)	120	120	NO CHANGE	YES
SCHED II	MIN. LOT DEPTH (FT)	100	100	NO CHANGE	YES
SCHED II	PRINCIPAL BUILDING				
SCHED II	MIN. FRONT YARD SETBACK (FT)	30	34.60	NO CHANGE	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	25	25.60	8.31 (V)	NO
SCHED II	MIN. SIDE YARD SETBACK				
SCHED II	ONE SIDE (FT)	10	10.30	NO CHANGE	YES
SCHED II	BOTH SIDES (FT)	25	50.90	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (FT)	35	31.85	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (STORIES)	2.5	2.5	NO CHANGE	YES
390-31(E)	ACCESSORY STRUCTURE- POOL				
390-31(E)	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES
390-31(E)	MIN. REAR YARD SETBACK (FT)	10	N/A	17.00	YES
390-31(E)	MIN. SIDE YARD SETBACK (FT)	10	N/A	11.20	YES
390-31(E)	MIN. DISTANCE FROM BUILDING (FT)	10	N/A	11.39	YES
SCHED II	ACCESSORY STRUCTURE- PERGOLA				
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	5.00	YES
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	10.20	YES
SCHED II	LOT COVERAGE				
SCHED II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	19.39	22.93	YES
SCHED II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	1.17	YES
SCHED II	MAX. IMPERVIOUS COVERAGE (%)	37	28.91	45.54 (V)	NO
SCHED II	MAX. DWELLING PER ACRE	3.7	3.63	NO CHANGE	YES

(N) EXISTING NON-COMPLIANCE
(E) EXISTING VARIANCE
(V) PROPOSED VARIANCE
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

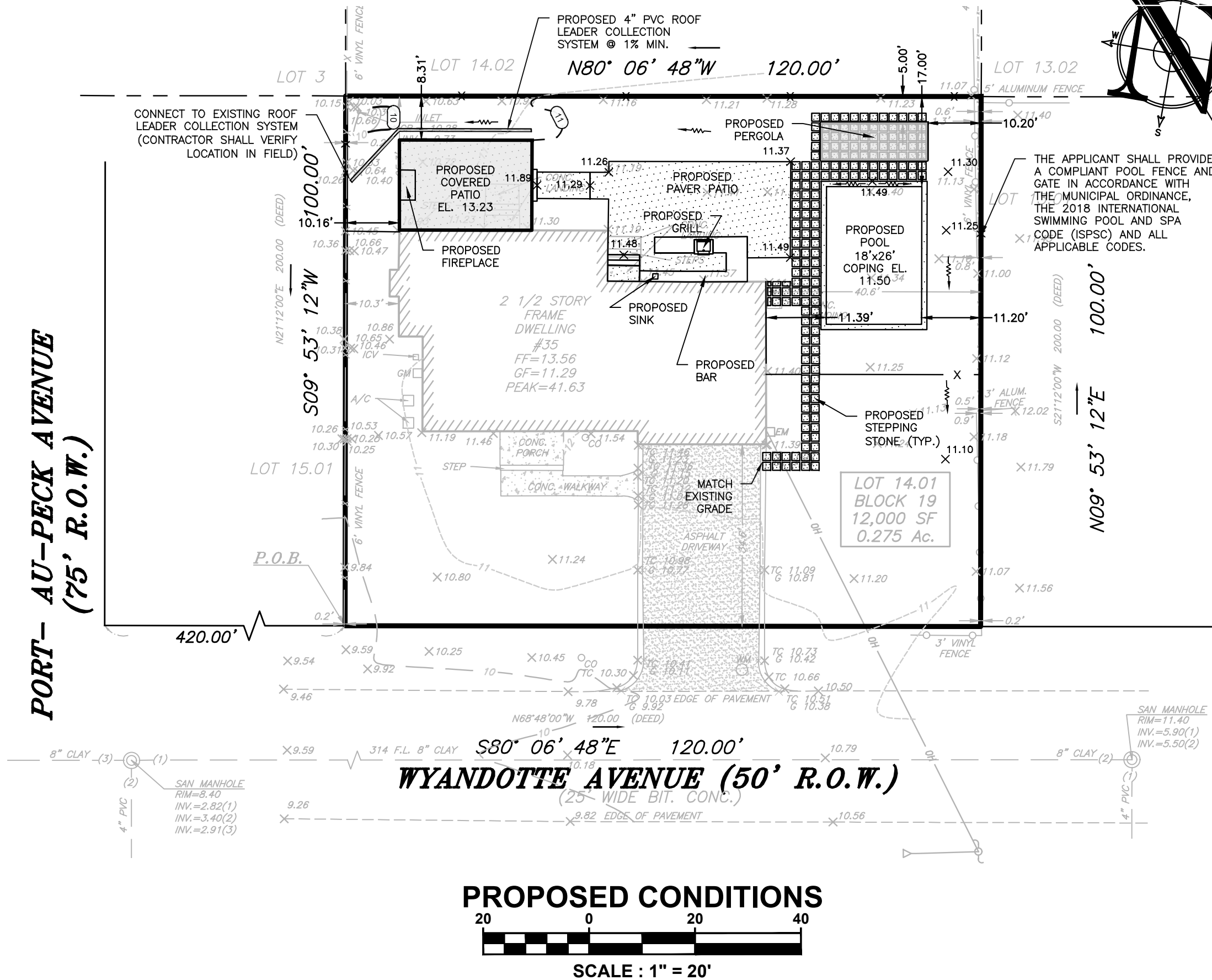
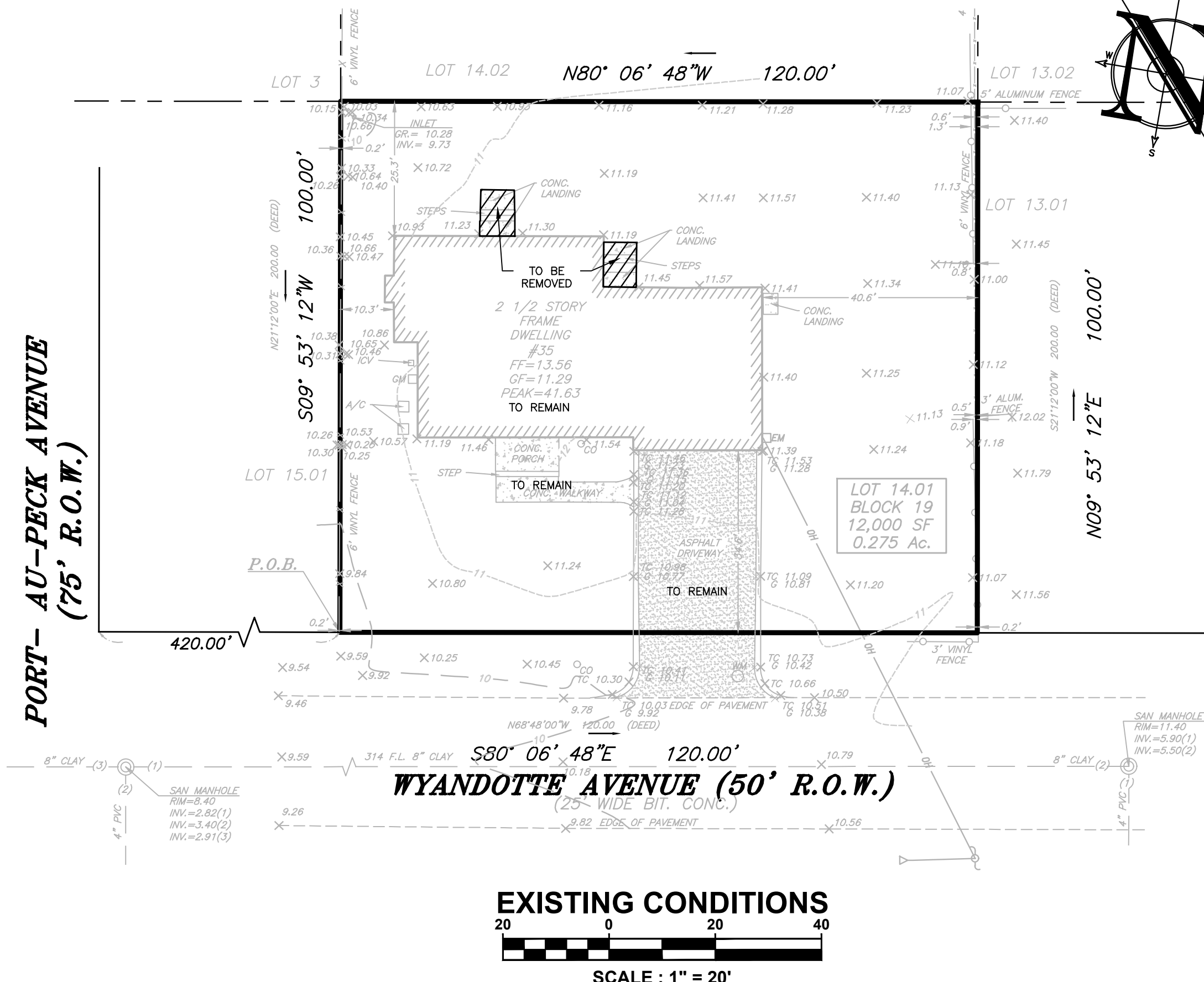
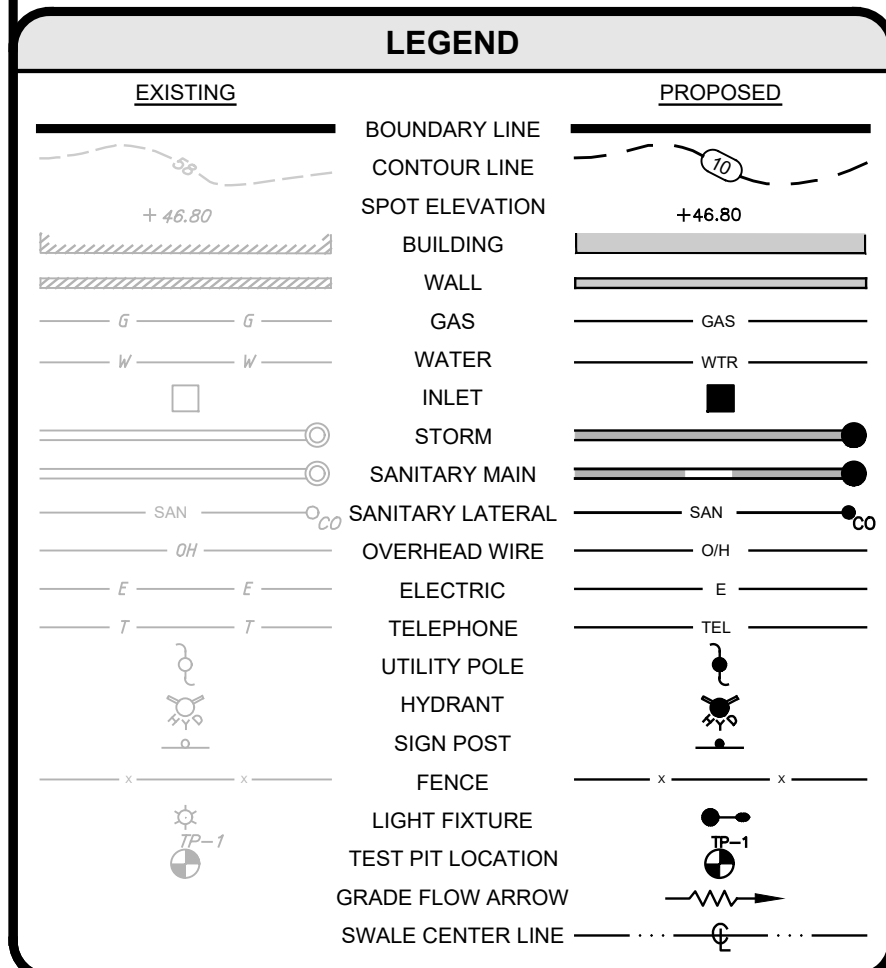
(I) IMPROVED CONDITION
(X) VARIANCE / NON-COMPLIANCE ELIMINATED
(W) PROPOSED WAIVER
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

N/A - NOT APPLICABLE
NS - NOT SPECIFIED

LOT COVERAGE CALCULATIONS		
ITEM	EXISTING (SF)	PROPOSED (SF)
DWELLING	2,327.00	NO CHANGE
DRIVEWAY	825.17	NO CHANGE
CONC. FRONT PORCH	76.12	NO CHANGE
CONC. WALKWAY	112.88	NO CHANGE
A/C UNITS	8.00	NO CHANGE
CONC. LANDINGS	74.59	18.00
STEPS	45.65	29.67
COVERED PORCH	N/A	425.00
PERGOLA	N/A	140.00
POOL	N/A	468.00
PATIO	N/A	671.82
BAR	N/A	98.53
STEPPING STONES	N/A	264.20
TOTAL	3,469.41	5,404.39



File: X:\data\2024 - Frank Buono\34-227-01 - 35 Wyandotte Avenue, Oceanport, NJ\2422740\DWG\01-PLT.dwg --> 01-PLT.dwg
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GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP 11; BLOCK 19, LOT 14; 35 WYANDOTTE AVENUE, OCEANPORT, MONMOUTH COUNTY, NEW JERSEY
- OWNER / APPLICANT**
OWNER:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE MUNICIPALITY (FOR ENGINEERING AND ZONING APPROVAL) AND TO SUPPORT AN APPLICATION TO FREEHOLD SOIL CONSERVATION DISTRICT (FOR PLAN CERTIFICATION).
- SURVEY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE ENGINEERING, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF BLOCK 19, LOT 14", WITH THE LATEST REVISION BEING DATED 02/16/24. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD83 VERTICAL DATUM.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY BRIAN FITZGERALD ARCH + DESIGN, ENTITLED "BUONO RESIDENCE".
- BASE FLOOD ELEVATION**
THIS PROPERTY IS NOT IN A FLOOD ZONE.
- CONSTRUCTION STAKEOUT**
SPECIAL CARE SHALL BE TAKEN DURING STAKEOUT AND CONSTRUCTION TO ADHERE TO THE LOCATION OF THE PROPOSED STRUCTURE AND SITE IMPROVEMENTS. THE BUILDING TIES ARE TO THE FOUNDATION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- LIMIT OF DISTURBANCE**
PRIOR TO THE START OF SITE WORK, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH SNOW FENCING OR OTHER APPROPRIATE MARKERS. SOIL DISTURBANCE IS LESS THAN 5,000 SF, THEREFORE PLAN CERTIFICATION IS FROM THE SOIL CONSERVATION DISTRICT IS NOT REQUIRED.
- RESTORATION**
ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED "IN-KIND" AS NEARLY AS PRACTICAL TO THEIR ORIGINAL STATE. AREAS WHERE SOIL IS LEFT EXPOSED SHALL BE GRADED, RAKED SMOOTH AND SEEDED IMMEDIATELY UPON COMPLETION OF SOIL DISTURBANCE.
- POOL COMPLIANT FENCE**
THE APPLICANT SHALL PROVIDE A COMPLIANT POOL FENCE AND GATE IN ACCORDANCE WITH THE MUNICIPAL ORDINANCE, THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS), AND ALL APPLICABLE CODES.

PROJECT INFORMATION

PROJECT NAME:
35 WYANDOTTE AVENUE - REAR YARD IMPROVEMENTS

PROJECT LOCATION:
BLOCK 19, LOT 14
35 WYANDOTTE AVENUE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757

APPLICANT:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS
ATTORNEY:
ROBERT L. WITEK
41 MEMORIAL PARKWAY
LONG BRANCH, NJ 07740

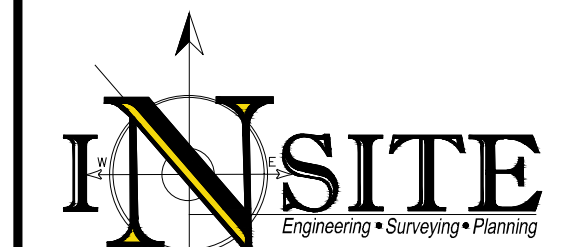
ARCHITECT:
BRIAN FITZGERALD ARCH + DESIGN
141 E MAIN ST
OCEANPORT, NJ 07757

SURVEYOR:
INSITE ENGINEERING, LLC
1955 NJ-34 #1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a service provided by the NJ Office of the State Engineer.)

ELECTRIC	RED
GAS/OLE	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSIT. MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL, AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

REV.#	DATE	COMMENT
0	03/22/24	INITIAL RELEASE

SCALE: 1"=20'	DESIGNED BY: JHD
DATE: 03/22/24	DRAWN BY: JHD
JOB #: 24-2274-01	CHECKED BY: DDC
CAD ID: 24-2274-001	

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PLOT PLAN

SHEET TITLE:

PLAN

SHEET NO.:

1 OF 1

Proposed Alteration For:
Buono Residence

Drawing List:

SP-101	Site Plan
A-101	Backyard/ Patio Plan
A-200	Patio Elevations
A-300	Sections
A-301	Sections
A-302	Sections
A-900	Perspectives

Brian Fitzgerald
ARCH + DESIGN



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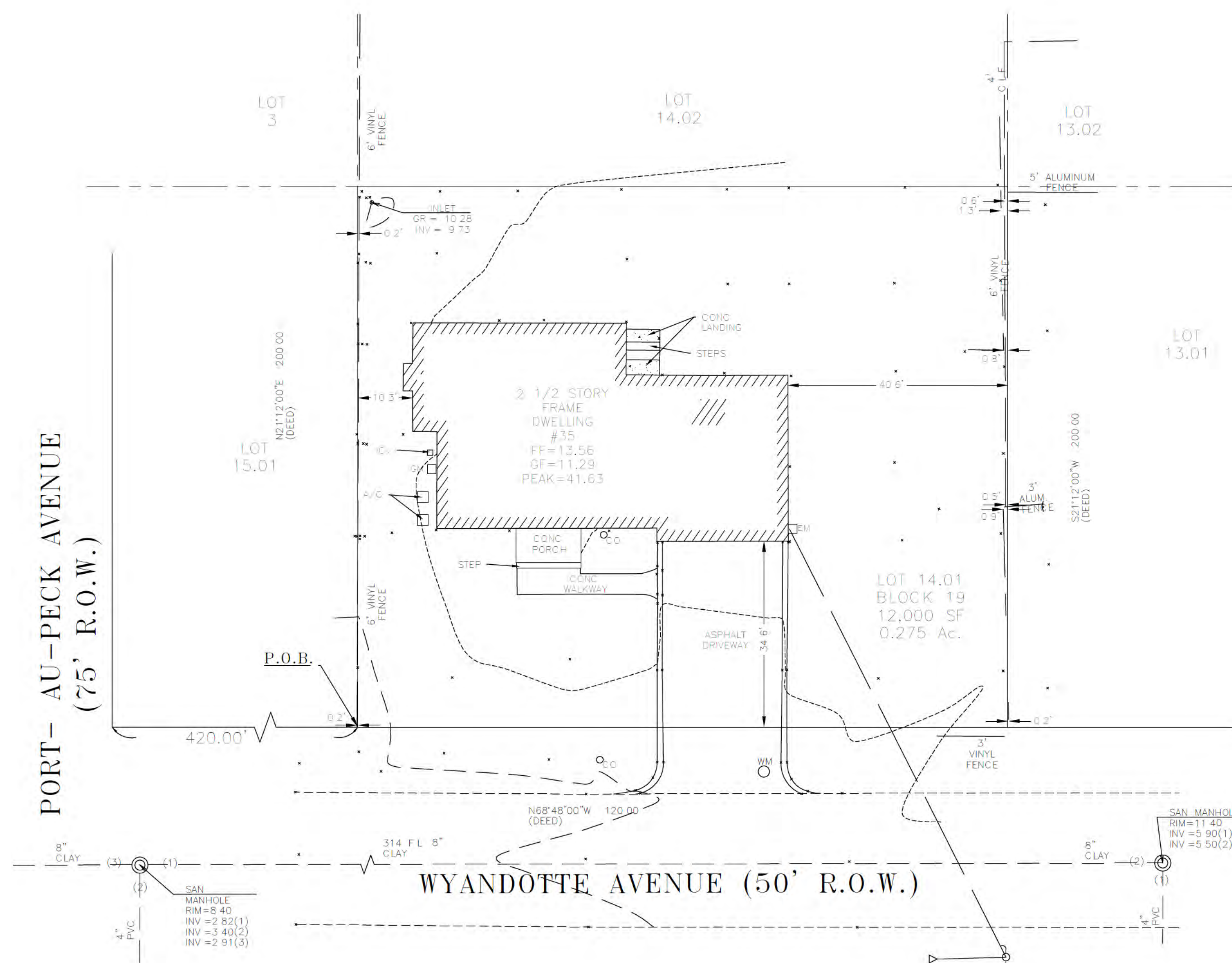
Site Plan

Project number	2023-40
Submission Date	11/25/23
Sheet Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF

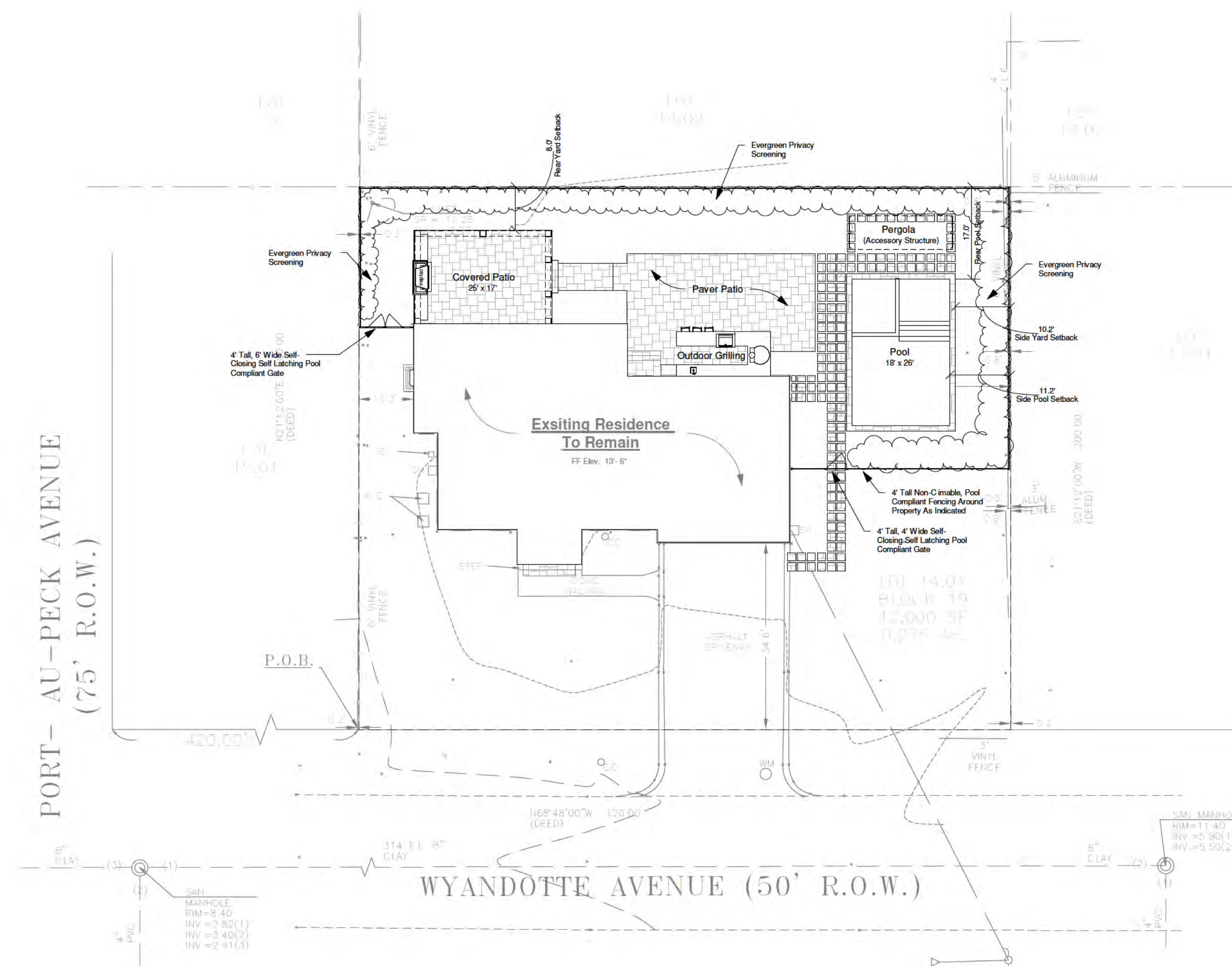


SP-101

Scale	As indicated
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Existing Site Plan
1/16" = 1'-0"



Proposed Patio Site Plan
1/16" = 1'-0"

SITE PLAN DATA:			
ZONE R-3 RESIDENTIAL ZONE REQUIREMENTS	REQUIRED:	EXISTING:	PROPOSED:
a. MINIMUM LOT AREA	12,000 SQ. FT.	12,000 SQ. FT.	12,000 SQ. FT.
b. MINIMUM LOT WIDTH (FRONTAGE)	120'	120'	120'
c. MINIMUM LOT DEPTH	100'	100'	100'
d. MINIMUM FRONT YARD SETBACK (principal building)	34.58'	34.58'	34.58'
e. MINIMUM SIDE YARD SETBACK (principal building)	10'	10.33'	10.33'
f. MINIMUM BOTH SIDE YARDS SETBACK (principal building)	25'	51.07'	51.07'
g. MINIMUM REAR YARD SETBACK (principal building)	25'	25.42'	8' V
h. MAXIMUM BUILDING HEIGHT	35' / 2.5 STORIES	32.50 / 2 STORY	32.50 / 2 STORY
i. MAXIMUM LOT COVERAGE PRINCIPAL BUILDING	25%	19.7% (2,364 SQ. FT.)	23.4% (2,804 SQ. FT.)
j. MAXIMUM IMPERVIOUS COVERAGE (% of buildable lot area)	37%	28.6% (3,432 SQ. FT.)	45.8% (5,501 SQ. FT.) V
k. MINIMUM BUILDING HEIGHT (accessory building)	15'	NA	9'
l. MINIMUM SIDE YARD SETBACK (accessory building)	10'	NA	52'
m. MINIMUM REAR YARD SETBACK (accessory building)	5'	NA	5.25'

E - EXISTING NON-CONFORMING
CENC - CONTINUED EXISTING NON-CONFORMING
E - VARIANCE REQUIRED

Proposed Alteration For:

Buono Residence

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Oceanport, NJ 07757

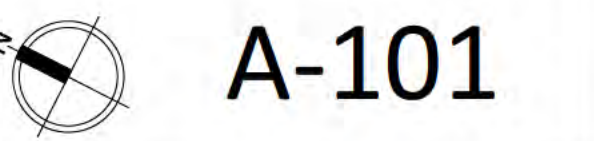
ock: 19

ot: 14.01

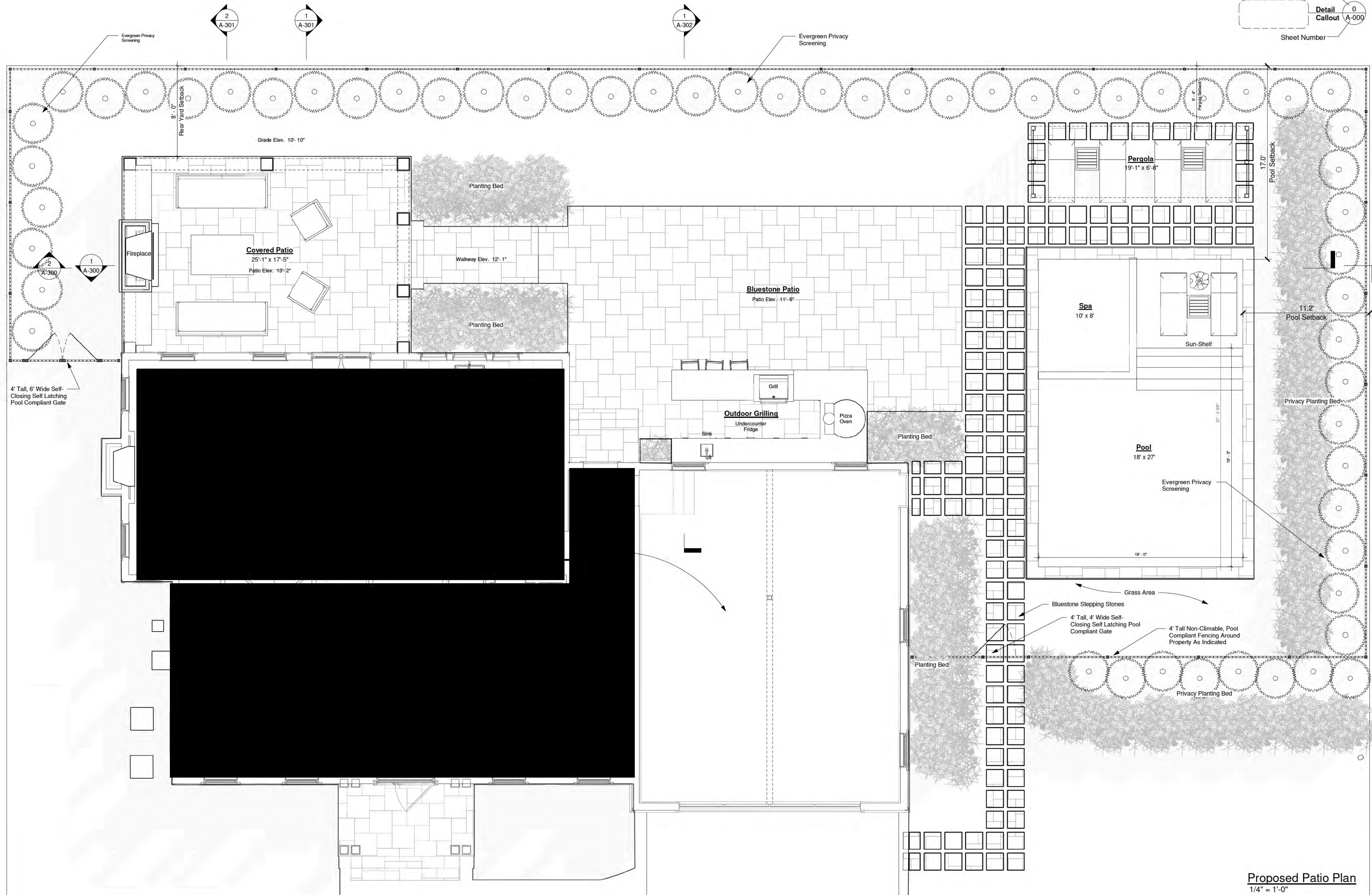
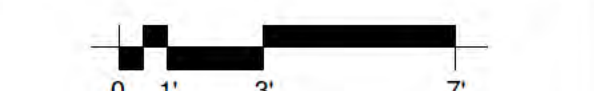
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[illegible]Backyard/ Patio
Plan

Project number	2023-40
Submission Date	11/25/23
Meeting Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF



ale	$1/4'' = 1'-0''$
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Proposed Patio Plan
1/4" = 1'-0"



Proposed Rear Patio Elevation
3/16" = 1'-0"



Proposed Rear Privacy Elevation
3/16" = 1'-0"

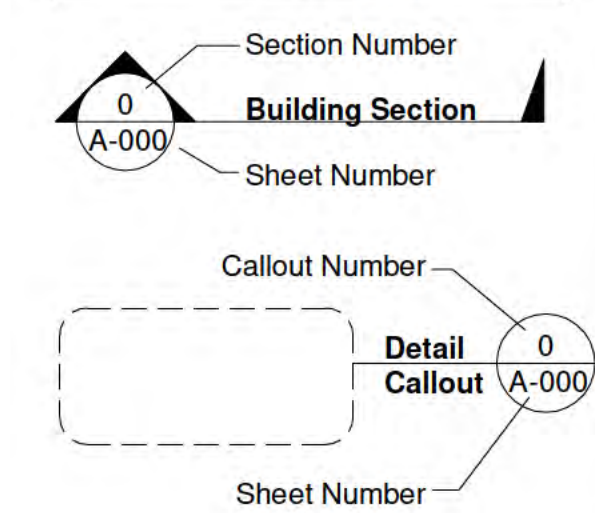


Proposed Left Side Patio Elevation
3/16" = 1'-0"



Proposed Right Side Patio Elevation
3/16" = 1'-0"

LEGEND



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Proposed Alteration For:

Buono Residence

35 Wyandotte Avenue
Oceanport, NJ 07757

Block: 19

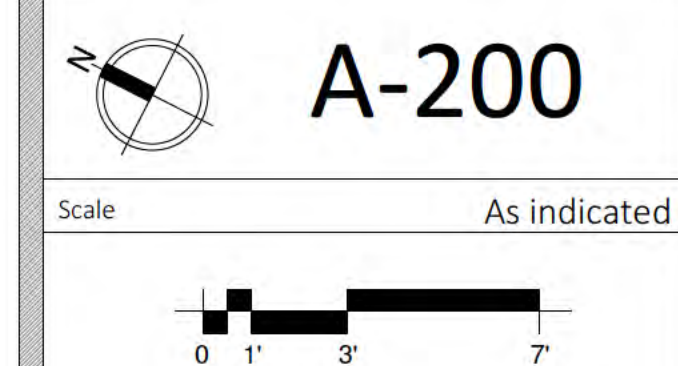
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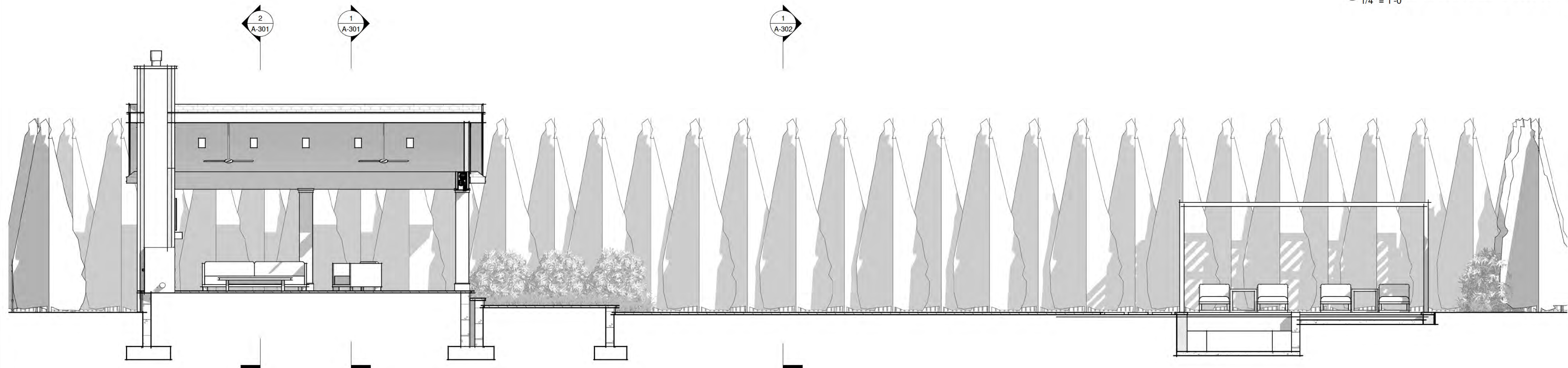
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[illegible]

Patio Elevations

Project number	2023-40
Submission Date	11/25/23
Sheet Issue Date	01/30/24
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② Horizontal Section Facing Backyard
1/4" = 1'-0"

Sections

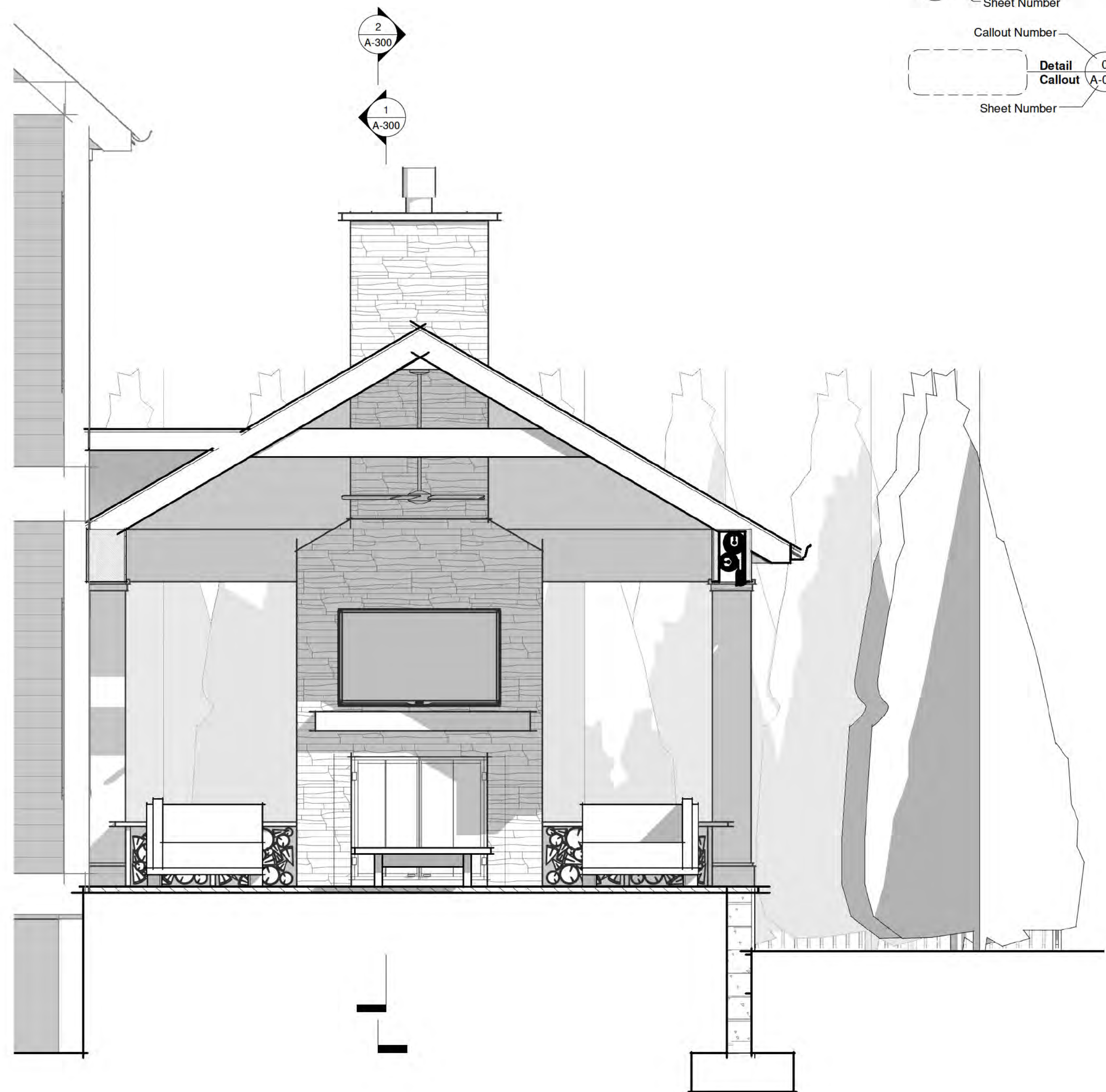
Project number	2023-40
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Sheet Issue Date	01/30/24
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A-300

Scale $1/4" = 1'-0"$



A horizontal graphic scale bar with tick marks at 0, 1', 3', and 7'. The segments between 0 and 1', 1' and 3', and 3' and 7' are black, while the segment between 0 and 1' is white.



② Cross Section Facing Fireplace
1/2" = 1'-0"



Proposed Alteration For:

35 Wyandotte Avenue
Oceanport, NJ 07757

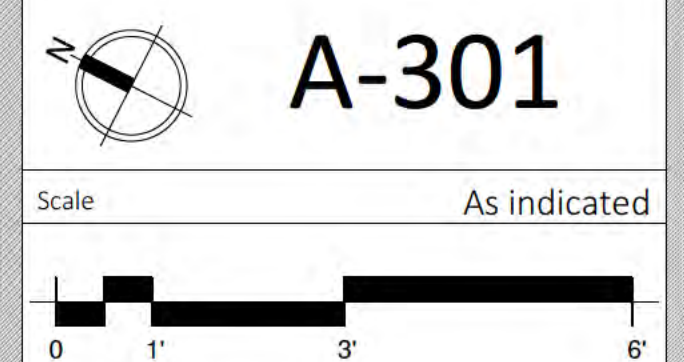
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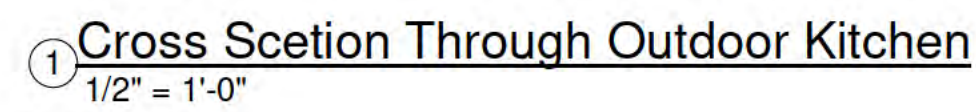
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[illegible]

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 INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
 INDICATES EXISTING WALLS AND/OR ITEMS TO BE REMOVED
 INDICATES PROPOSED WALLS TO BE CONSTRUCTED

 Section Number
Building Section
 Sheet Number

 Callout Number
Detail Callout
 Sheet Number

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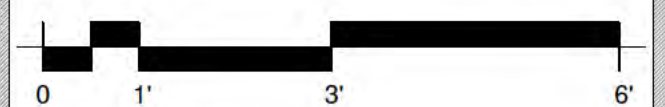
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Sections

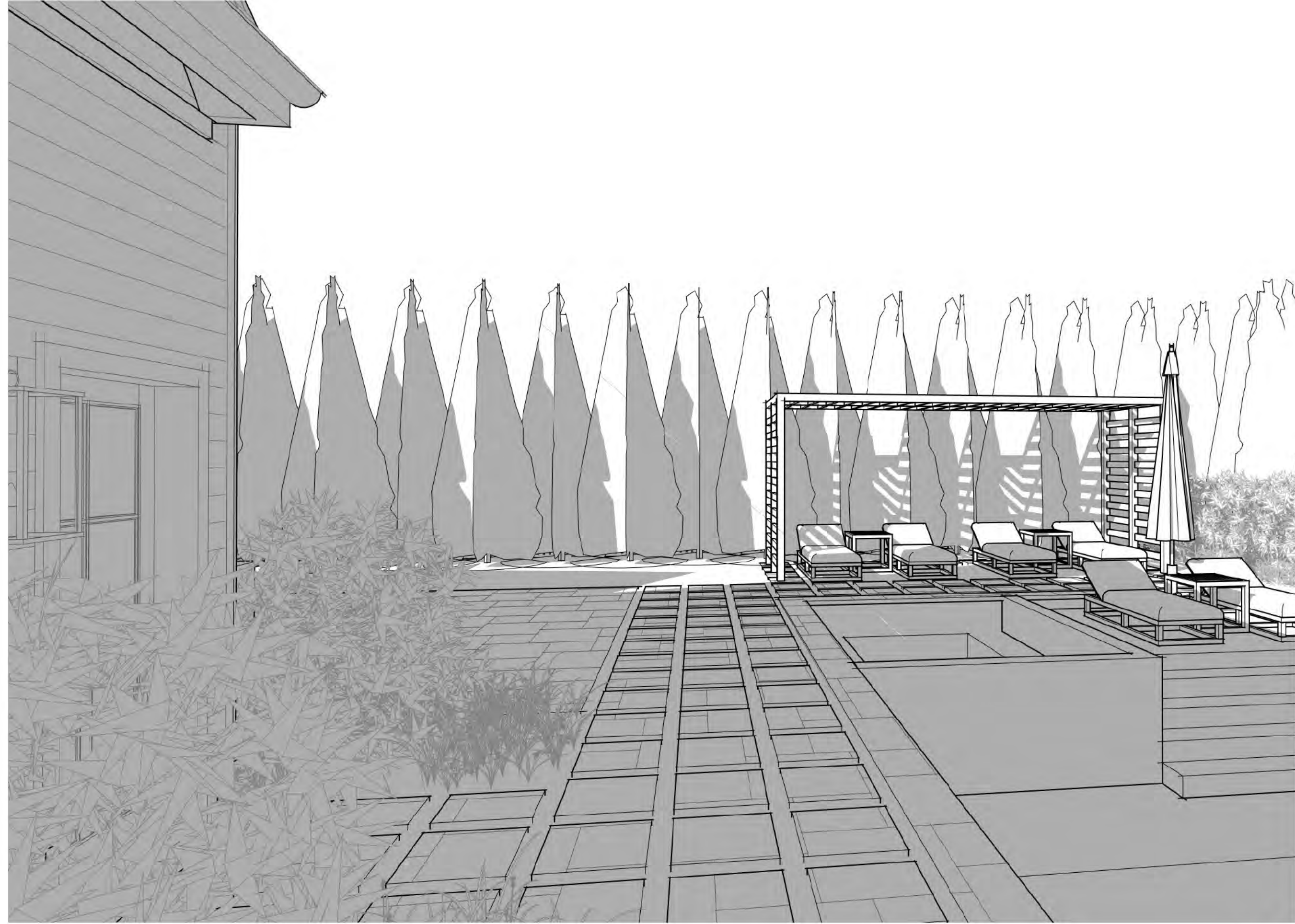
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Scale	As indicated
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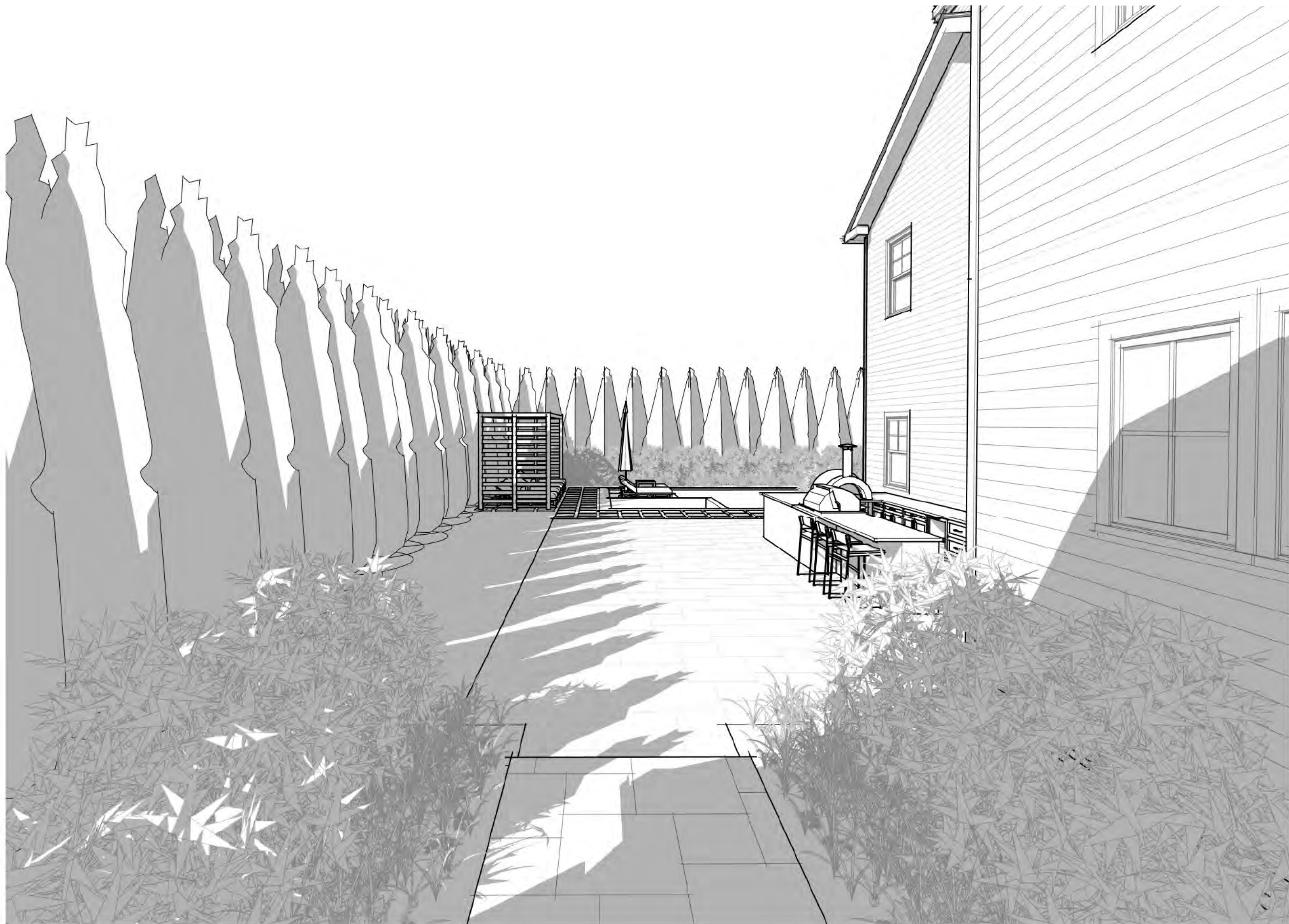
An architectural rendering of a modern house with a large stone patio, a covered dining area, and a long row of tall, thin trees. The house features a mix of materials, including stone and wood siding. The patio is paved with large, light-colored stone tiles. A covered dining area with a wooden roof and white columns is visible. A long row of tall, thin trees lines the right side of the property. The rendering is in a clean, minimalist style with soft shadows.



This architectural rendering depicts a sophisticated outdoor pool and lounge area. On the left, a portion of a modern building with horizontal siding and large glass windows is visible. The foreground is dominated by a large, rectangular pool with a tiled deck. A series of stone steps lead down into the pool from the right side. To the right of the pool, there is a lounge area featuring several sun loungers, small side tables, and a closed patio umbrella. A pergola structure with a slatted roof provides shade over part of the lounge. In the background, a row of tall, slender, conical evergreen trees stands against a light sky. The overall style is clean and modern, with a focus on geometric forms and natural materials.



An architectural rendering of a modern outdoor living space. On the left, a two-story house with light-colored siding and dark trim is visible. The central area features a large, rectangular stone fireplace with a flat top. To the right of the fireplace is a covered dining area with a wooden pergola structure and a table. In the foreground, there is a swimming pool with a stone deck and a set of stairs leading into the water. The background shows a line of trees and a clear sky.



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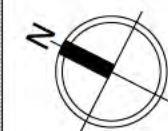
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[illegible]

Perspectives

Project number	2023-4
Submission Date	11/25/2023
Sheet Issue Date	01/30/2024
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A-900

Scale