



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • SEPTEMBER 10, 2024

Regular

Clement V. Sommers Municipal Building

7:00 PM

910 Oceanport Way, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement

This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 10, 2024 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.

III. Flag Salute

IV. Board Policy

- It is Board Policy that no application will be opened after 9:30 P.M.
- No new testimony will be taken after 10:00 P.M., except at the discretion of the Board.

V. Roll Call

VI. Board Business

1. Report of Pending Applications

VII. Approval of Minutes

1. Minutes of Aug 13, 2024 7:00 PM

VIII. Old Business

1. Resolution of Approval - 23 Vreeland Place

2. PB2024-03 Buono, Frank

CARRIED FROM AUGUST 13, 2024

Block 19, Lot 14.01

35 Wyandotte Ave.

Proposed improvements for pool, patio, pergola seeking variance relief for:

- Impervious Surface-37% permitted, 28.6% existing, 47.6 originally proposed, 43.7% revised proposal
- Minimum Setback Rear- 25' required, 25.421 existing, 8' proposed, 8.78' revised proposed
- Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed, revised - now complies

IX. New Business

X. Petitions from the Public

XI. Adjournment



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB 24-16

Meeting: 09/10/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3313

8.1

Resolution of Approval - 23 Vreeland Place

RESOLUTION

**BOROUGH OF OCEANPORT PLANNING BOARD
APPROVAL OF THE APPLICATION OF KSK-OP-23 LLC
23 VREELAND PLACE, BLOCK 1, LOT 25
APPROVED: AUGUST 13, 2024
MEMORIALIZED: SEPTEMBER 10, 2024**

INTRODUCTION

WHEREAS, agents of KSK-OP-23 LLC have made Application to the Oceanport Planning Board for the property designated as Block 1, Lot 25, commonly known as 23 Vreeland Place, Oceanport, NJ, within the Borough's R-3 Zone, for the following approval: Bulk Variance associated with a request to effectuate the following:.

- Demolition of an existing single-family home;
- Construction of a 2 ½ single-family home, with attached garage, and other improvements; and
- Installation of an in-ground pool.

Public Hearing

WHEREAS, the Board held a Public Hearing on August 13, 2024, Applicant's representatives having filed proper Proof of Service and Publication in accordance with Statutory and Ordinance Requirements; and

Evidence / Exhibits

WHEREAS, at the said Hearing, the Board reviewed, considered, and analyzed the following:

- *Land Development Application, introduced into Evidence as A-1;*
- *Boundary and Topographic Survey, prepared by InSite Surveying, LLC, dated August 22, 2023, introduced into Evidence as A-2;*
- *Plot Plan, prepared by InSite Surveying, LLC, last revised May 21, 2024, consisting of 6 sheets, introduced into Evidence as A-3;*
- *Architectural Plans, prepared by Brian Fitzgerald, dated March 1, 2024, consisting of 4 sheets, introduced into Evidence as A-4;*

- *Review Memorandum from Colliers Engineering & Design, dated July 9, 2024, introduced into Evidence as A-5;*
- *Engineering Response Letter, prepared by InSite Engineering, dated August 2, 2024, introduced into Evidence as A-6;*
- *Plot Plan, prepared by InSite Surveying, LLC, last revised July 31, 2024, consisting of 6 sheets, introduced into Evidence as A-7;*
- *Affidavit of Service; and*
- *Affidavit of Publication;*

Witnesses

WHEREAS, sworn testimony in support of the Application was presented by the following:

- Patrick Ward, P.E., P.P.
- Mark Aikins, Esq., appearing

WHEREAS, William H. R. White, III, P.E., P.P., CME, the Planning Board Engineer and Planner, was also sworn with regard to any testimony / information he would provide in connection with the subject Application; and

Testimony and Other Evidence Presented on Behalf of the Applicant

WHEREAS, testimony and other evidence presented by the Applicant's representatives revealed the following:

- The Applicant is the owner of the subject property.
- There is an existing bungalow on the site, with 2 sheds.
- The existing home at the site is old, compromised, and not designed for the needs of a modern family.
- Some elements of the existing home at the site suffer from deferred maintenance.
- Under the circumstances, the Applicant's representatives believe that demolition is more appropriate than just mere renovation.
- The Applicant's representatives propose to effectuate the following:
 - Demolition of an existing single-family home;

- Construction of a 2 ½ single-family home, with attached garage, and other improvements; and
 - Installation of an in-ground pool.
- Details pertaining to the proposed new home include the following:

Size:	Per Plans
Height:	34.63 feet
Number of stories:	2 ½
Location on lot:	Center of lot (per plans)

- Details pertaining to the proposed garage include the following:

Type of garage:	Attached
Number of bays:	2
Size:	Per Plans
Location:	Attached to the single-family home

- Details pertaining to the proposed pool include the following:

Type of pool:	In-ground
Size:	16 feet x 32 feet
Location on lot:	Rear yard area (per plans)
Pool surrounding details:	Patio (per plans)
Pool equipment location:	Zoning complaint location (per plans)

- The Applicant's representatives anticipate that the demolition and construction will take place in the near future.
- The Applicant's representatives will be utilizing licensed contractors in connection with the demolition / construction process.

Variance

WHEREAS, the Application as submitted requires approval for the following Variance:

LOT WIDTH: 120 ft. required; whereas 100 ft. exists / proposed.

Public Comments

WHEREAS, sworn public comments, questions, and/or statements, in connection with the subject Application were presented by the following:

- Andrea Schaus
- Thomas Tvrdik
- David Badda

Findings of Fact

NOW, THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Oceanport, after having considered the aforementioned Application, plans, evidence, and testimony, that the Application is hereby **approved / granted with conditions**.

In support of its decision, the Planning Board makes the following Findings of Fact and Conclusions of Law:

1. The Oceanport Planning Board has proper jurisdiction to hear the within matter.
2. The subject property is located at 23 Vreeland Place, Oceanport, NJ, within the Borough's R-3 Zone.
3. The subject property is a 15,349 SF (0.352 acre) parcel.
4. The subject parcel is located on the north side of Vreeland Place, approximately 466 feet east of Branchport Avenue.
5. The subject property contains a 1 story dwelling, 2 sheds, and a stone driveway.
6. The Applicant's representatives propose to effectuate the following:
 - Demolition of an existing single-family home;
 - Construction of a 2 ½ single-family home, with attached garage, and other improvements; and

- Installation of an in-ground pool.

7. Such a proposal requires Bulk Variance relief.

8. The Oceanport Planning Board is statutorily authorized to grant the requested relief and therefore, the matter is properly before the said entity.

9. With regard to the Application, and the requested relief, the Board notes the following:

- There is an existing single-family home on the lot.
- Per the testimony and evidence presented, the existing residential structure is old, compromised, and suffers from deferred maintenance.
- Per the testimony and evidence presented, under the circumstances, demolition of the existing structure is more appropriate than just mere renovation.
- The Applicant's representatives propose to demolish the existing home and to construct a new single-family home at the site.
- Single-family use is a permitted use in the Borough's R-3 Zone.
- The existing lot contains 15,349 SF; whereas, the minimum required lot size in the zone is 12,000 SF.
- The existing lot is significantly larger (by approximately 30%) than the minimum required lot size in the zone.
- However, the existing lot has a non-conforming width of only 100 feet; whereas a 120 foot lot width is otherwise required.
- The non-conforming lot width is an existing condition, which is not being exacerbated as a result of the within approval.
- The existing home is situated on the lot with a non-conforming width, just as the new home approved herein will sit on the same lot, with the same non-conforming width.
- The Applicant's representatives / witnesses testified that if any adjacent lands were acquired (so as to render the Applicant's lot conforming, or more conforming, in terms of the width), the surrounding lots would, in turn, immediately become non-conforming, or even more non-conforming (relative to width, etc.).
- Based upon the testimony and evidence presented, there is no land available by which the subject lot can have a conforming width (without simultaneously compromising / reducing the width of the adjacent lots).

- The Applicant's representatives testified that not only does adjacent Lot 24 have a non-conforming lot width, but, additionally, the existing structure on adjacent Lot 24 is only approximately 5 feet from the property line. Thus, the Board Members recognize that increasing the width of the Applicant's existing lot cannot really be effectuated by acquiring any portion of adjacent Lot 24.
- The construction of the improvements authorized herein will not aggravate / accentuate / intensify the existing and to-be continued lot width deficiency.
- The Board Members recognize that the subject lot has a significant depth (approximately 150 feet), but, as referenced, the lot has a non-conforming width of only 100 feet.
- The existing non-conforming lot width constitutes a hardship within the meaning of the New Jersey Municipal Land Use Law.
- The referenced lot width hardship complicates the ability of the Applicant herein to have a totally conforming lot.
- The site currently has a single-family home and, upon completion of the demolition / construction approved herein, the lot will continue to host 1 single-family home (albeit a larger home, with more amenities).
- The home / pool approved herein will comply with all prevailing setback / coverage requirements. Again, the only non-conforming aspect of the within Application involves the non-conforming lot width of 100 feet.
- The Applicant's Planner testified as to the overall merits of the Application, and further testified as to how the requisite variance standards were satisfied.
- The Board finds that the testimony from the Applicant's Professional Planner was sufficient, relevant, persuasive, and compelling.
- One purpose of the New Jersey Municipal Land Use Law suggests approving applications which can protect / promote the general welfare. Towards that end, the Board finds that the demolition of an old / compromised house, and the replacement of the same with a modern home which complies with all prevailing Building / Construction Code requirements will, in fact, advance such a purpose.
- In conjunction with the above point, the Board Members also recognize that the new home approved herein will comply with all prevailing Fire ingress / egress requirements (whereas the existing structure at the site is likely grandfathered in the said regard). As such, the Board finds that, in the said capacity, approval of the within Application will promote the general welfare.
- One purpose of the New Jersey Municipal Land Use Law suggests that applications should be approved which provide for adequate air, space,

and light at a particular site. The Board finds that approval of the within Application will advance such a purpose, particularly in that the Applicant will comply with all prevailing setback requirements / coverage requirements, etc. Again, as indicated, the only non-conforming aspect of the within proposal concerns the existing 100 foot lot width (whereas 120 feet is otherwise required in the zone).

- Additionally, the Board notes that one of the side setbacks approved herein will be nearly 50% greater than what the zone requires – thereby further reaffirming the notion that approval of the within application will not compromise air, space, or light at the site.
- Approval of the within application will not compromise the privacy rights of the Applicant, or of surrounding property owners.
- One purpose of the New Jersey Municipal Land Use Law encourages the approval of the applications which promote a desirable visual environment. The Board finds that the demolition of an existing / compromised structure, which suffers from deferred maintenance, and a replacement of the same with a modern building will clearly promote the overall aesthetic appeal of the property.
- In furtherance of the above point, the Board Members note the vast aesthetic improvement which will result as a result of the within approval.
- As is always the case with the water-adjacent community of the Borough of Oceanport, the Board Members were very concerned about the proposed drainage impact associated with the proposal. Towards that end, in addition to the Applicant's proposed drainage improvements, as conditions of the within approval, several other Board-imposed drainage conditions will be effectuated as well – including, but not limited to, the following:
 - A. The installation of a recharge drainage system at the site;
 - B. The installation of additional inlets;
 - C. The extension of the initially proposed drainage improvements; and
 - D. The designation of certain dedicated drainage patterns / flows.
- The aforesaid drainage improvement conditions are an integral part of the within approval – and but for the same, the within Application may not have been approved.
- Per the testimony and evidence presented, approval of the within Application will not adversely affect the grading / drainage at the site.

- As part of the within approval, the grading / drainage details have been reviewed / approved by the Board Engineer – and, further plan revisions (necessitated as a result of the conditions of approval) will also be reviewed and approved by the Board Engineer.
- Per the testimony and evidence presented, stormwater management will be handled on site.
- Based upon the testimony and evidence presented, approval of the within Application will actually improve the overall drainage situation at the site.
- Once neighbor attended the public hearing and expressed concerns about potential damage to the existing landscaping which currently straddles the property line between the development site and the affected neighbor. In response, the Applicant's representatives testified that, as a condition of approval, they would agree to replace any such landscaping which is damaged as a direct result of the Applicant's improvements. The Board Members appreciate the Applicant's representations in the said regard.
- One other neighbor attended the public hearing and expressed concern about the fact that there is an existing small cottage at the site, which will be replaced with a large home and a pool. In response to the aforesaid good faith questions / concerns, the Board Members responded as follows:
 - A. The new home approved herein is reasonably sized;
 - B. The new home approved herein is consistent with the size / character of general development in the neighborhood;
 - C. The Applicant's lot is oversized for the Zone.
 - D. The new home approved herein meets all prevailing setback / coverage requirements;
 - E. One of the side setbacks approved herein is nearly 2 times beyond that which the zoning ordinance requires;
 - F. There is no reasonably practical way in which the existing non-conforming lot width deficiency can be corrected / cured.
 - G. The requested variance relief is driven not by the size of the proposed home, but by the pre-existing non-conforming lot width; and
 - H. Approval of the within Application will improve the overall drainage situation at the site.
- One neighbor attended the public hearing and expressed opposition to the granting of the lot width variance, suggesting that no legally compelling reasons had been presented for the same (other than the

Applicant's unilateral desire for a large home on the site). Respectfully, the Board finds that the relevant legal standards (as set forth herein and as set forth during the public hearing process) were, in fact, satisfactorily addressed (particularly with the conditions of approval noted herein).

- The Board is aware that a hardship variance can be granted based upon the unique physical characteristics of the specific land / development site. As referenced, the Board finds that there is a physical hardship associated with the non-conforming lot width situation at the site – and that the said hardship condition justifies the requisite variance relief.
- Additionally, the Board Members are also aware that in addition to the hardship standards, there is also a standard for variance relief which suggests that, under appropriate circumstances, bulk variance relief can be granted if the benefits of the approval outweigh any detriments associated therewith.
- For the reasons set forth herein, and discussed, at length, during the public hearing process, the Board Members also find that the benefits associated with the within approval certainly outweigh any detriments associated therewith (particularly in light of the conditions imposed herein).
- The Board finds that the oversized lot, the aesthetic improvements, the drainage improvements, the provision for sufficient off-street parking, the compliant coverage, the compliant setbacks, and the nature of the conforming single-family use approved herein, more that justify conditional approval of the within Application.
- The Board Members recognize that it is important to offer a wide variety of housing options for its residents – and approval of the within Application will, in fact, advance such a goal.
- The Applicant submitted detailed plans of the proposed home which sufficiently described its appearance. Additionally, subject to the conditions set forth herein, the proposed home will comply with the Prevailing Building Code Requirements.
- Based upon the testimony / evidence presented, construction of the proposed home will continue the pattern of existing development in the area (on similarly sized Lots).
- The subject Lot is, given its past-residential use, an appropriate host for a single-family home.
- Given the lay-out of the Lot and the undersized nature of the same, the location of the proposed home is appropriate and practical.
- The height of the proposed home will comply with the Borough's Prevailing Height Requirements. That is, 35 ft. is allowed in the Zone – and, per the testimony and evidence presented, the proposed home will have a conforming height of 34.63 feet.

- Subject to the conditions contained herein, the home approved herein will not overpower / overwhelm the subject Lot.
- Subject to the conditions contained herein, the home approved herein will not overpower / dwarf other homes in the area.
- The Board notes positively that the Applicant's proposal will have a conforming building coverage – and the said feature is one-way which the Board determined that the proposed home is appropriately sized for the oversized lot.
- Per the testimony and evidence presented, under the Borough's Prevailing Regulations the site is required to have 2 off-street parking spaces – and 2 such spaces are proposed. Thus, no Parking Variance is required in connection with the Application.
- The existence of sufficient and appropriate parking at the Site is an important consideration – and but for the same, the within application may not have been approved.
- The Board finds that the proposed home has been very efficiently designed.
- The site currently has a non-conforming width of 100 ft. – and approval of the within Application will not exacerbate the said condition.
- The proposed home will be generally consistent with other single-family homes in the area, on similarly sized lots.
- Subject to the conditions contained herein, a brand new, setback-compliant home to be constructed on the site will be beneficial for the property, the neighborhood, and the Borough as a whole.
- Subject to the conditions set forth herein, the construction of a brand-new home on the site will aesthetically improve the neighborhood.
- The Board finds that sufficient testimony has been presented for the Application to be adjudicated – and the Board furthermore finds that, subject to the conditions contained herein, there is no need to elicit additional information to supplement the record.
- Single-family use is a permitted use in the subject zone.
- The architectural / aesthetic benefits associated with the proposal outweigh the detriments associated with the Applicant's inability to comply with the Specified Bulk Standards.
- Subject to the conditions set forth herein, the benefits associated with approving the within Application outweigh any detriments associated therewith.

- Approval of the within Application will have no known detrimental impact on adjoining property owners and, thus, the Application can be granted without causing substantial detriment to the public good.
- Approval of the within Application will promote various purposes of the Municipal Land Use Law; specifically, the same will provide a desirable visual environment through creative development techniques.
- The Application as presented satisfies the Statutory Requirements of N.J.S.A. 40:55D-70(c) (Bulk Variances).

For the above reasons, and for the other reasons set forth in the public hearing process, the Board is of the unanimous opinion that the requested relief can be granted without causing substantial detriment to the public good.

Conditions

During the course of the Hearing process, the Board Members requested, and the Applicant's representatives have agreed, to comply with the following conditions:

- a. The Applicant shall comply with all promises, commitments, and representations made at or during the Public Hearing Process.
- b. The Applicant shall work with the Borough Engineer so as to appropriately control / manage storm-water management at the site.
- c. The Applicant shall comply with the terms and conditions of the Board Engineer's Review Memorandum, dated July 9, 2024 (A-5).
- d. The Applicant shall comply with any Prevailing Affordable Housing Rules / Regulations / Contributions / Directives / Payments as required by the State of New Jersey, the County of Monmouth, the Borough of Oceanport, C.O.A.H., the Court System, and any other Agency having jurisdiction over the matter.
- e. The Applicant shall comply with Prevailing FEMA Regulations, if applicable.
- f. The Applicant shall cause the Plans to be revised so as to portray and confirm the following:
 - Installation of a black aluminum pool-compliant fence / gate, in accordance with prevailing Building / Construction code regulations;
 - Confirmation that stormwater management shall be contained on-site, in a manner approved by the Board Engineer;

- Confirmation that there shall be no adverse light spillover associated with the new home / new pool;
 - Confirmation that 2 additional inlets shall be placed on the front of the property, in a manner approved by the Board Engineer;
 - Confirmation that the recharge system shall be extended, in a fashion approved by the Board Engineer;
 - Confirmation that the drainage system shall include a minimum 20 foot long perforated HDPE pipe, with a minimum diameter of 24 inches, surrounded by $\frac{3}{4}$ stone (the details of which shall be reviewed and approved by the Board Engineer);
 - Confirmation that the _____ on the Drainage Plan shall be shifted to the east (so as to not interfere with any privacy fencing / trees);
 - Confirmation that recharge system details shall be placed on the plans (the details of which shall be reviewed and approved by the Board Engineer);
 - Confirmation that the pool lights shall comply with prevailing municipal requirements;
 - Confirmation that there shall only be downward lighting for the home and pool, in a manner approved by the Board Engineer;
 - Confirmation that a minimum 2 additional street trees shall be added to the plans (minimum of 3 $\frac{1}{2}$ inch caliper);
 - Confirmation that the pool equipment, air conditioning condensers, and generator shall be perpetually screened with landscaping (the details of which shall be further reviewed and approved by the Board Engineer); and
 - Confirmation that the subject proposal shall comply with prevailing lot coverage requirements.
- g. The Applicant's representatives shall arrange for a certified inspection of the recharge system (the details of which shall be accepted by, and approved by, the Board Engineer).
- h. The drainage system / recharge system shall be installed / maintained in accordance with manufacturing standards, and in accordance with other best practices.
- i. Post construction, and prior to the issuance of a Certificate of Occupancy, the Applicant's Engineer shall submit a certification that the home / improvements have been constructed in accordance with the testimony

presented, in accordance with the approved plans, and in accordance with the Resolution of Conditional Approval as adopted by the Board.

- j. The Applicant's representatives shall obtain any necessary demolition permit as may be required by the Borough of Oceanport.
- k. The Applicant's representative shall perpetually maintain / replace / replant landscaping at the site, as necessary.
- l. The Applicant's Engineer shall certify and reconfirm that the height of the home complies with prevailing municipal regulations (and so as to further confirm that the height of the home is not altered / impacted by recent pavement of Vreeland Place and surrounding roadways).
- m. The Applicant's representatives shall submit a certified Elevation Certificate.
- n. Upon completion of the work, the Applicant's representative shall submit an As-Built Survey.
- o. The Applicant's representative shall petition the Borough Council of the Borough of Oceanport to violate the street disturbance moratorium currently in effect (relative to recent paving which occurred on Vreeland Place). Absent such approval from the Borough of Oceanport, the subject street shall not be disturbed.
- p. The Applicant's representatives shall submit supplement Lighting Plans, for the review / approval of the Board Engineer.
- q. In the event the demolition / construction process directly damages the existing landscaping which straddles the property line (with the adjacent owner), the Applicant shall replace such landscaping, at the Applicant's cost. (The within condition shall not delay the issuance of any permits.
- r. The Applicant shall comply with all Prevailing Building / Construction Code Requirements.
- s. The Applicant shall comply with all on-site construction regulations as required by the Borough of Oceanport and any other Agency having jurisdiction over the matter.
- t. The Applicant shall obtain any applicable permits/approvals as may be required by the Borough of Oceanport - including, but not limited to the following:
 - Building Permit
 - Plumbing Permit
 - Electric Permit
- u. If applicable, the proposed structure shall comply with applicable Provisions of the Americans with Disabilities Act.

- v. Grading / drainage plans shall be submitted to the Board Engineer so as to confirm that any drainage/run-off does not go onto or otherwise adversely affect adjoining properties.
- w. The proposed structure shall comply with the Borough's prevailing height regulations.
- x. The construction shall be strictly limited to the plans which are referenced herein, and which are incorporated herein at length. Additionally, the construction shall comply with prevailing provisions of the Uniform Construction Code and Applicable provisions of the Building Code.
- y. The Applicant shall comply with all terms and conditions of the review memoranda, if any, issued by the Board Engineer, Borough Engineer, Construction Office, the Department of Public Works, the Bureau of Fire Prevention and Investigation, and/or other agents of the Borough.
- z. The Applicant shall obtain any and all approvals (or Letters of No Interest) from applicable outside agencies - including, but not limited to the State of N.J., the Department of Environmental Protection, the Monmouth County Planning Board, and the Freehold Soil Conservation District. To the extent the nature of the Application, or the nature of the requested relief, materially changes as a result of such outside approvals, then, in that event, the Applicant's representatives shall be required to re-petition the Board for further / amended relief.
- aa. The Applicant shall, in conjunction with appropriate Borough Ordinances, pay all appropriate/required fees and taxes.
- bb. Unless otherwise agreed by the Planning Board, the within approval shall be deemed abandoned, unless, within 24 months from adoption of the within Resolution (or any agreed upon extension), the Applicant obtains a Building Permit for the construction/ development approved herein.

Summary of Variance Approved

*LOT WIDTH: 120 ft. required; whereas 100 ft. exists / proposed,,
which is an existing condition.*

BE IT FURTHER RESOLVED, that all representations made under oath by the Applicant's representatives and/or its agents shall be deemed conditions of the approval granted herein, and any mis-representations or actions by the Applicant contrary to the representations made before the Board shall be deemed a violation of the within approval.

BE IT FURTHER RESOLVED, that the Application is granted only in conjunction with the conditions noted above - and but for the existence of the same, the within Application would not be approved.

BE IT FURTHER RESOLVED, that the granting of the within Application is expressly made subject to and dependent upon the Applicant's compliance with all other appropriate Rules, Regulations, and/or Ordinances of the Borough of Oceanport, County of Monmouth, and State of New Jersey.

BE IT FURTHER RESOLVED, that the action of the Board in approving the within Application shall not relieve the Applicant of responsibility for any damage caused by the subject project, nor does the Planning Board of the Borough of Oceanport, the Borough of Oceanport, or their agents/representatives accept any responsibility for the structural design of the proposed improvements, or for any damage which may be caused by the development.

This resolution memorializes an action taken at the regular meeting of the Oceanport Planning Board held on August 13, 2024 on roll call that evening by the following vote:

Offered by: _____

Seconded by: _____

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Foster	()	()	()	()	()
Cooper	()	()	()	()	()
Calver	()	()	()	()	()
Barham-Widds, L.	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Gruskos, D. (Alt. #1)	()	()	()	()	()
Padula, L. (Alt. #2)	()	()	()	()	()

This resolution was offered by _____, seconded by _____, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Foster	()	()	()	()	()
Cooper	()	()	()	()	()
Calver	()	()	()	()	()
Barham-Widds, L.	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Gruskos, D. (Alt. #1)	()	()	()	()	()
Padula, L. (Alt. #2)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of September 10, 2024.

Jeanne Smith, Secretary



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3185)

Meeting: 09/10/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3185

PB2024-03 Buono, Frank

CARRIED FROM AUGUST 13, 2024

Block 19, Lot 14.01

35 Wyandotte Ave.

Proposed improvements for pool, patio, pergola seeking variance relief for:

- Impervious Surface-37% permitted, 28.6% existing, 47.6 originally proposed, 43.7% revised proposal
- Minimum Setback Rear- 25' required, 25.421 existing, 8' proposed, 8.78' revised proposed
- Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed, revised - now complies

HISTORY:

06/25/24 Planning/Zoning Board

Block 19, Lot 14.01

35 Wyandotte Ave.

Proposed improvements for pool, patio, pergola seeking variance relief for:

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- Minimum Setback Rear- 25' required, 25.421 existing, 8' proposed
- Minimum Total Sides- 25' required, 50.9' existing, 20.5' proposed

EXHIBITS

A-1

A-2

A-3

A-4

A-5

A-6

A-7

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



June 13, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

Application No. PB2024-03
Review #1 – 35 Wyandotte Avenue
Block 19, Lot 14.01
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0358

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Final As-built Survey" prepared by InSite Surveying, LLC, last revised October 2, 2023, consisting of one (1) sheet;
- Plan entitled "Plot Plan" prepared by InSite Surveying, LLC, last revised March 22, 2024, consisting of one (1) sheet;
- Plan entitled "Proposed Alteration for Buono Residence," prepared by Brian Fitzgerald Architect + Design, last revised February 29, 2024, consisting of seven (7) sheets.

The subject property is a 12,000 SF (0.275 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the north side of Wyandotte Avenue approximately 420 feet east of Port Au Peck Avenue. The property contains a 2-1/2 story dwelling, concrete walkway, and asphalt driveway. The Applicant is proposing a covered patio addition to the rear of the existing dwelling along with an inground pool, pergola and at grade patio.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the application is included below:

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Rear Yard Setback – the R-3 Zone requires a Rear Yard Setback of 25' to the Principal Structure, the existing dwelling provides a 25.42' from the rear property line, the applicant is requesting 8 foot setback to the proposed covered patio.
 - b. Maximum Impervious Coverage – the zone permits a maximum impervious coverage of 37%, the current coverage is 28.6%, and the applicant proposes a coverage of 47.6%.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property,
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible "c" or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. The property is not located in a Regulated Flood Zone.
2. The location of the pool equipment shall be added to the plans.

3. The Architectural plans and Plot Plan should be coordinated with respect to the proposed setbacks and improvements.
4. The Architectural plans indicates evergreen privacy screening, which should be added to the Plot Plan and details provided as to the species, size and spacing.
5. The applicant shall provide testimony as to the existing drainage pattern(s) and potential impact to the adjacent properties.
6. The Board should consider a deed restriction to prohibit the enclosure of the covered patio.
7. The proposed outdoor sink will require approval from the Plumbing Subcode official.
8. Permanent fencing in accordance with Ordinance 390-31H shall be provided to secure the pool. Location of fencing and gates shall be added to the Plot Plan.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.
(dba Maser Consulting)



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/

cc: Robert Witck II, Esq, (via email)
Brian Fitzgerald, AIA (via email)
Frank Buono, applicant (via email)
Douglas qClelland, PE (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\IM-P\Opp\OPP0358\Correspondence\OUT\240613_whw_smith_35_Wyandotte_rvw#1.docx

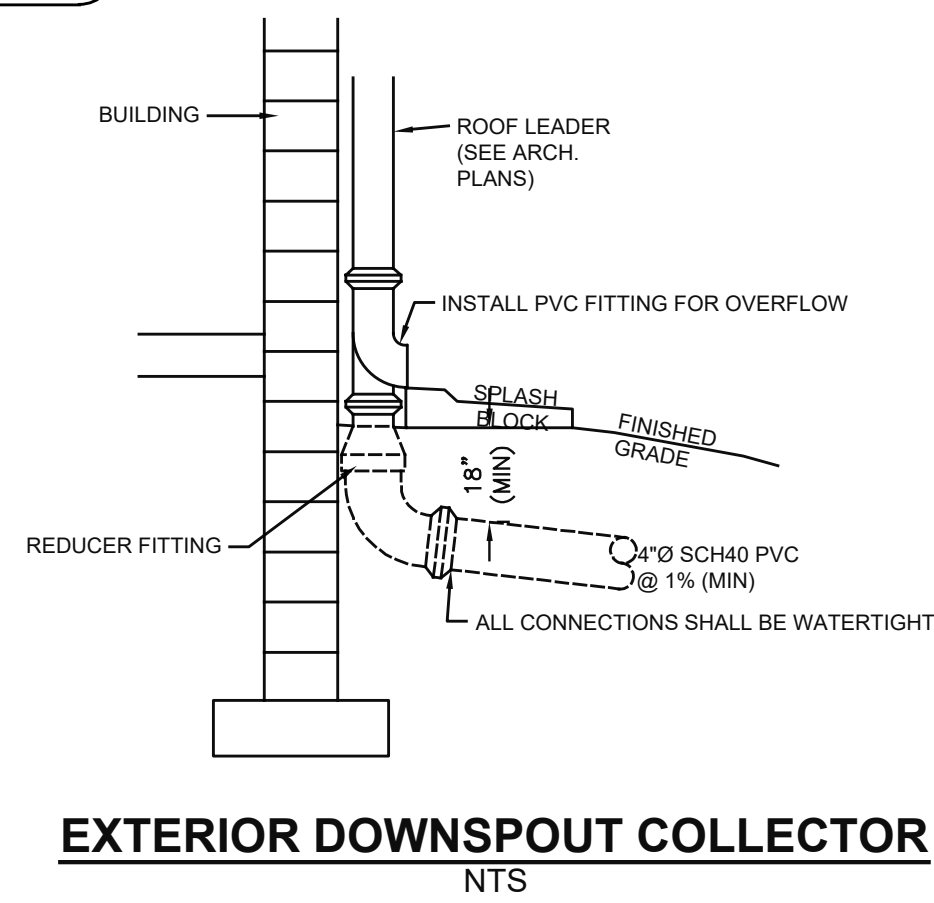
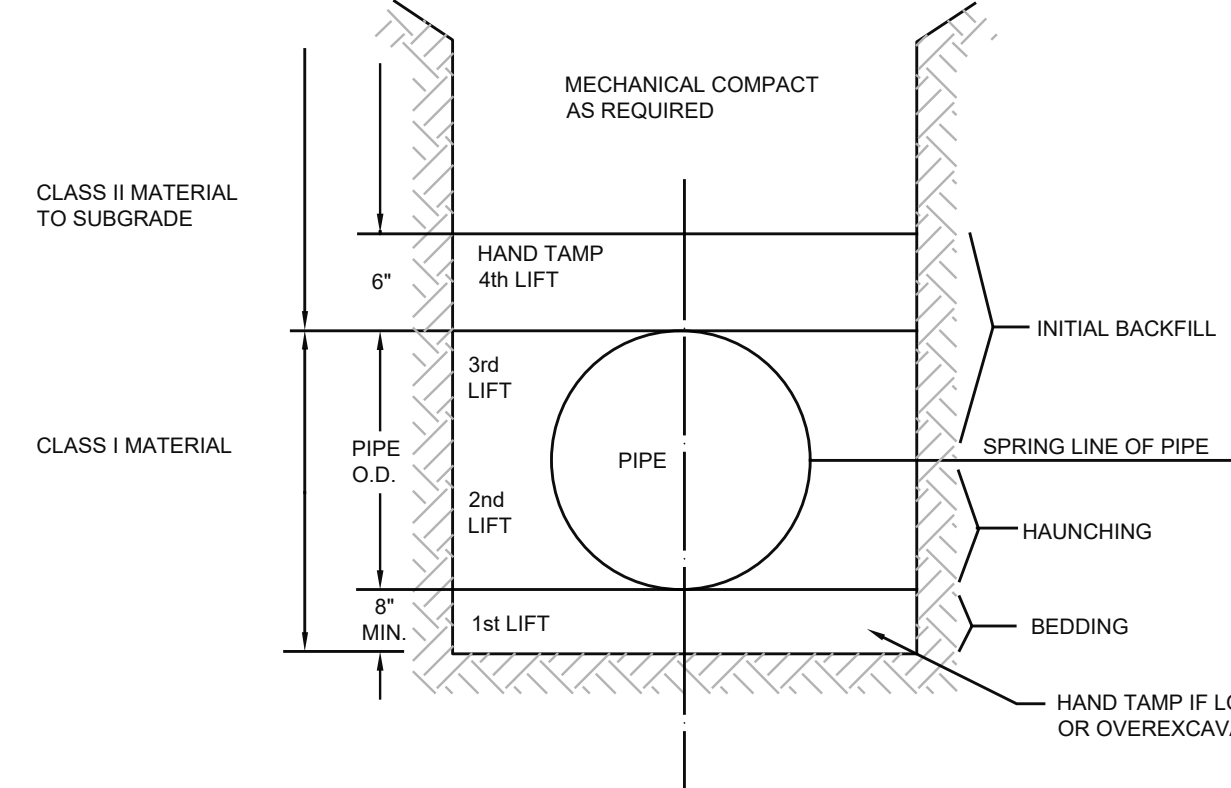
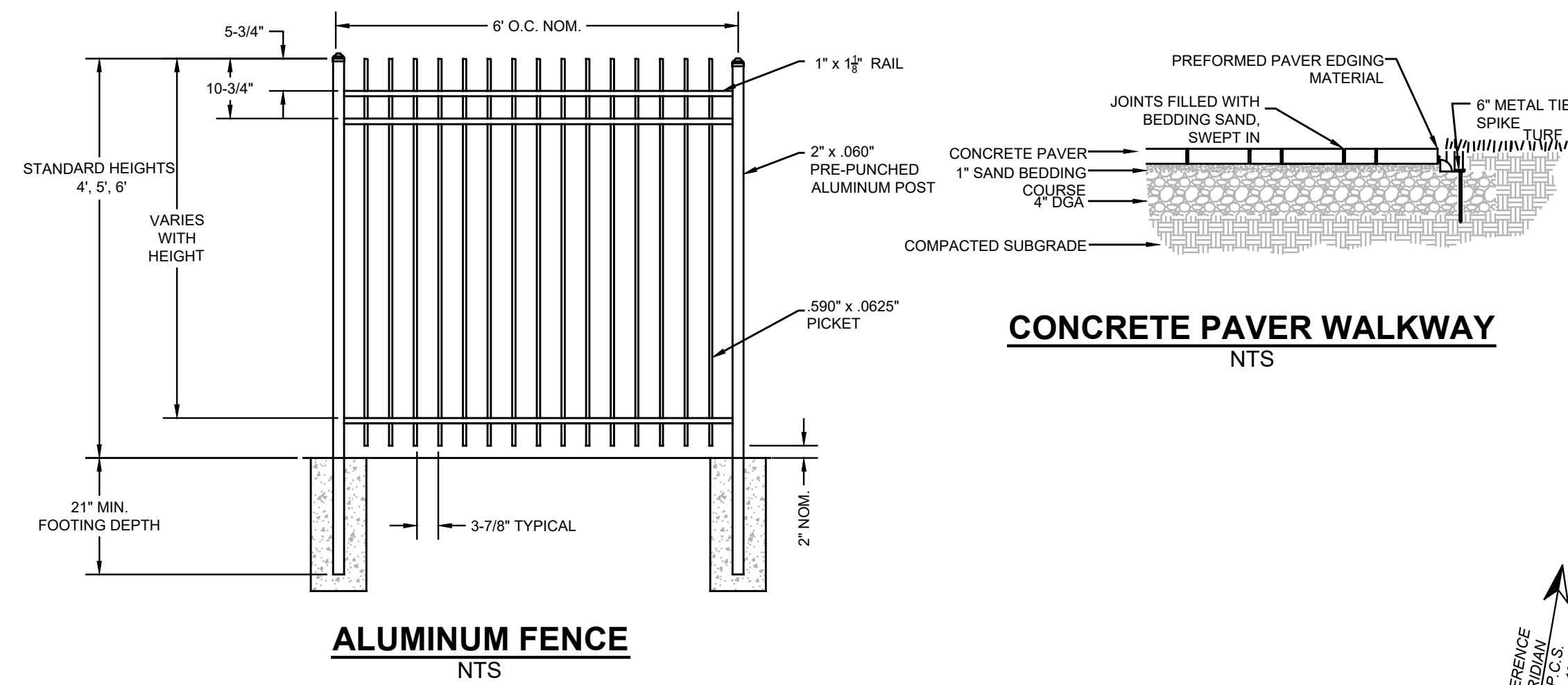
ZONING COMPLIANCE CHART					
R-3 (RESIDENTIAL SINGLE-FAMILY) ZONE (§ 390)					
SINGLE FAMILY DWELLING: PERMITTED					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHED II	MIN. LOT AREA (SF)	12,000	12,000	NO CHANGE	YES
SCHED II	MIN. LOT WIDTH (FT)	120	120	NO CHANGE	YES
SCHED II	MIN. LOT DEPTH (FT)	100	100	NO CHANGE	YES
SCHED II	PRINCIPAL BUILDING				
SCHED II	MIN. FRONT YARD SETBACK (FT)	30	34.60	NO CHANGE	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	25	25.60	8.31 (V)	NO
SCHED II	MIN. SIDE YARD SETBACK				
SCHED II	ONE SIDE (FT)	10	10.30	NO CHANGE	YES
SCHED II	BOTH SIDES (FT)	25	50.90	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (FT)	35	31.85	NO CHANGE	YES
SCHED II	MAX. BUILDING HEIGHT (STORIES)	2.5	2.5	NO CHANGE	YES
390-31(E)	ACCESSORY STRUCTURE- POOL				
390-31(E)	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES
390-31(E)	MIN. REAR YARD SETBACK (FT)	10	N/A	17.00	YES
390-31(E)	MIN. SIDE YARD SETBACK (FT)	10	N/A	11.20	YES
390-31(E)	MIN. DISTANCE FROM BUILDING (FT)	10	N/A	11.39	YES
SCHED II	ACCESSORY STRUCTURE- PERGOLA				
SCHED II	ALLOWABLE YARD LOCATION	REAR/SIDE	N/A	REAR	YES
SCHED II	MIN. REAR YARD SETBACK (FT)	5	N/A	5.00	YES
SCHED II	MIN. SIDE YARD SETBACK (FT)	10	N/A	10.20	YES
SCHED II	LOT COVERAGE				
SCHED II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	19.39	22.93	YES
SCHED II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	1.17	YES
SCHED II	MAX. IMPERVIOUS COVERAGE (%)	37	28.91	45.54 (V)	NO
SCHED II	MAX. DWELLING PER ACRE	3.7	3.63	NO CHANGE	YES

(N) EXISTING NON-COMPLIANCE
(E) EXISTING VARIANCE
(V) PROPOSED VARIANCE
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

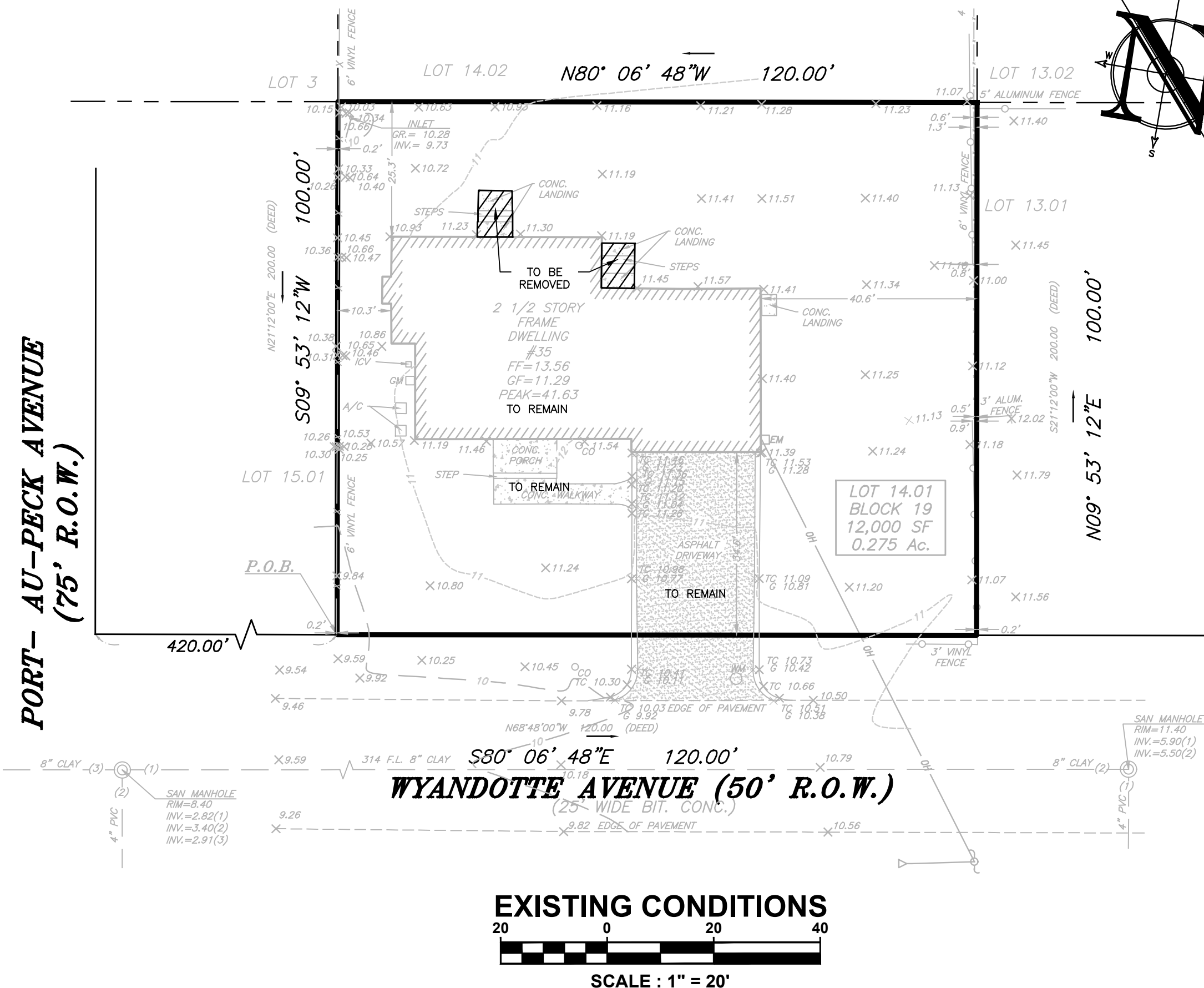
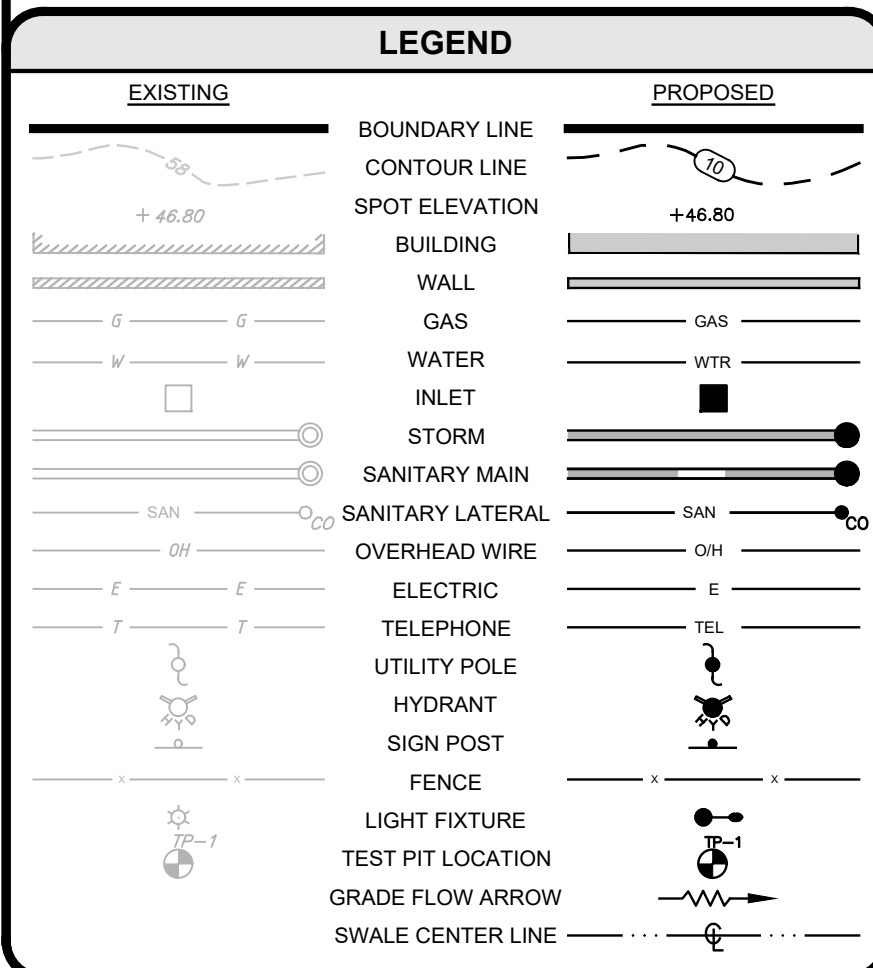
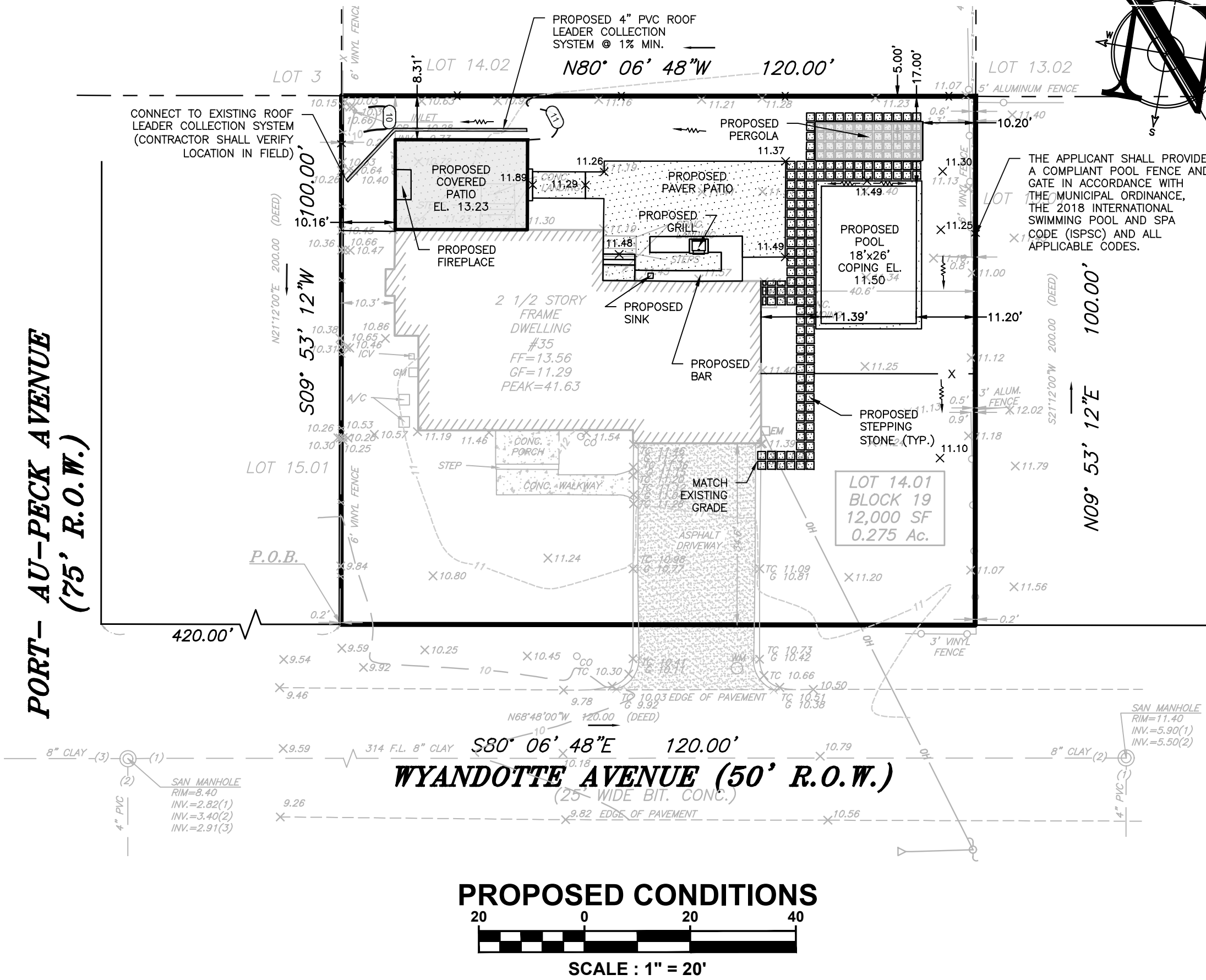
(I) IMPROVED CONDITION
(X) VARIANCE / NON-COMPLIANCE ELIMINATED
(W) PROPOSED WAIVER
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE

N/A - NOT APPLICABLE
NS - NOT SPECIFIED

LOT COVERAGE CALCULATIONS		
ITEM	EXISTING (SF)	PROPOSED (SF)
DWELLING	2,327.00	NO CHANGE
DRIVEWAY	825.17	NO CHANGE
CONC. FRONT PORCH	76.12	NO CHANGE
CONC. WALKWAY	112.88	NO CHANGE
A/C UNITS	8.00	NO CHANGE
CONC. LANDINGS	74.59	18.00
STEPS	45.65	29.67
COVERED PORCH	N/A	425.00
PERGOLA	N/A	140.00
POOL	N/A	468.00
PATIO	N/A	671.82
BAR	N/A	98.53
STEPPING STONES	N/A	264.20
TOTAL	3,469.41	5,404.39

EXTERIOR DOWNSPOUT COLLECTOR
NTSPIPE BEDDING DETAIL
NTSALUMINUM FENCE
NTSCONCRETE PAVER WALKWAY
NTS

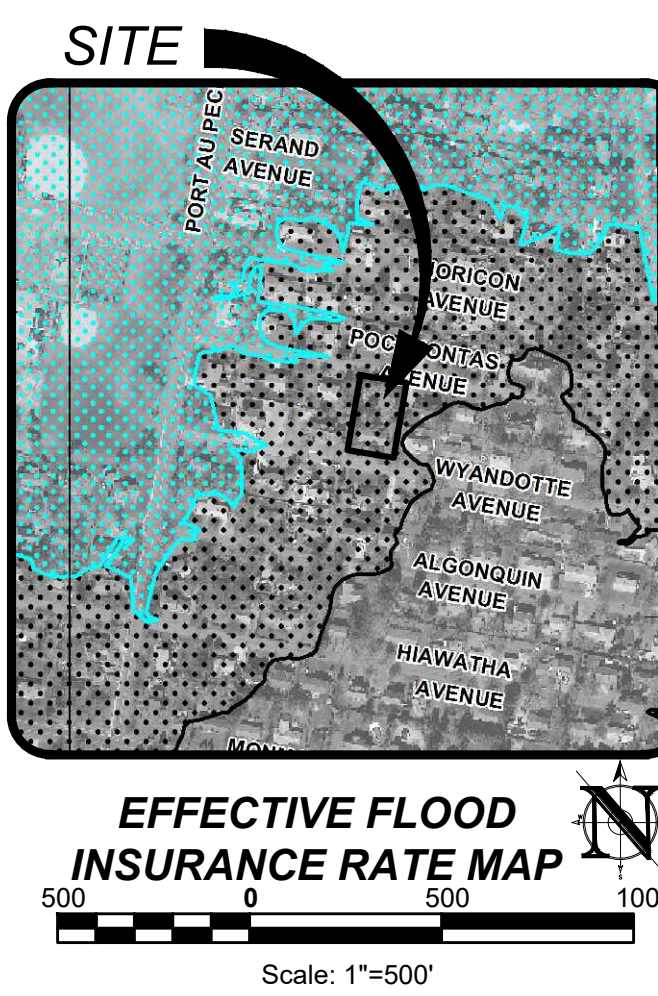
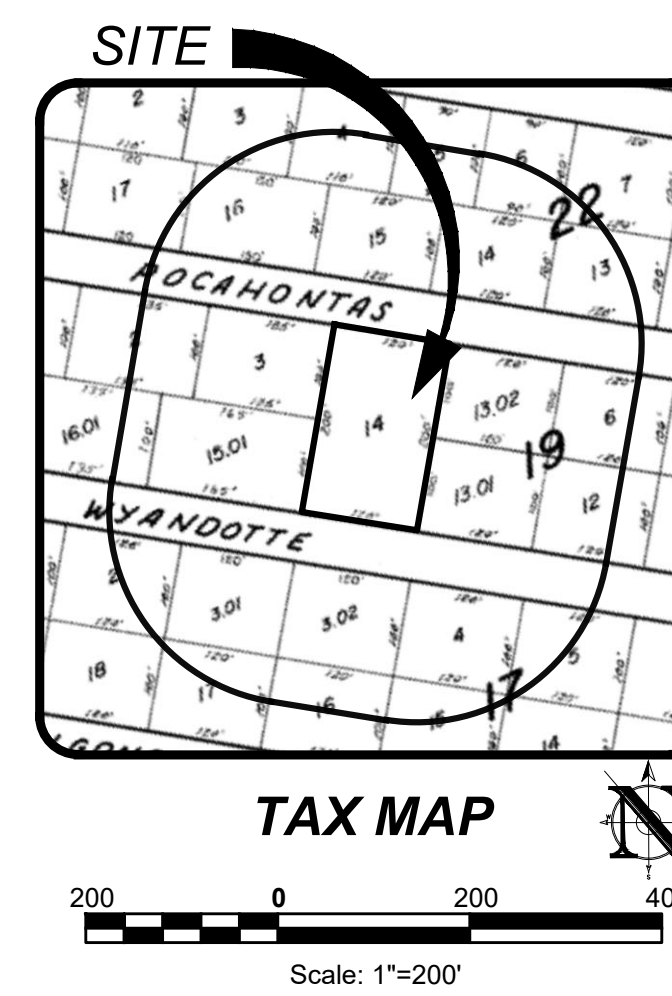
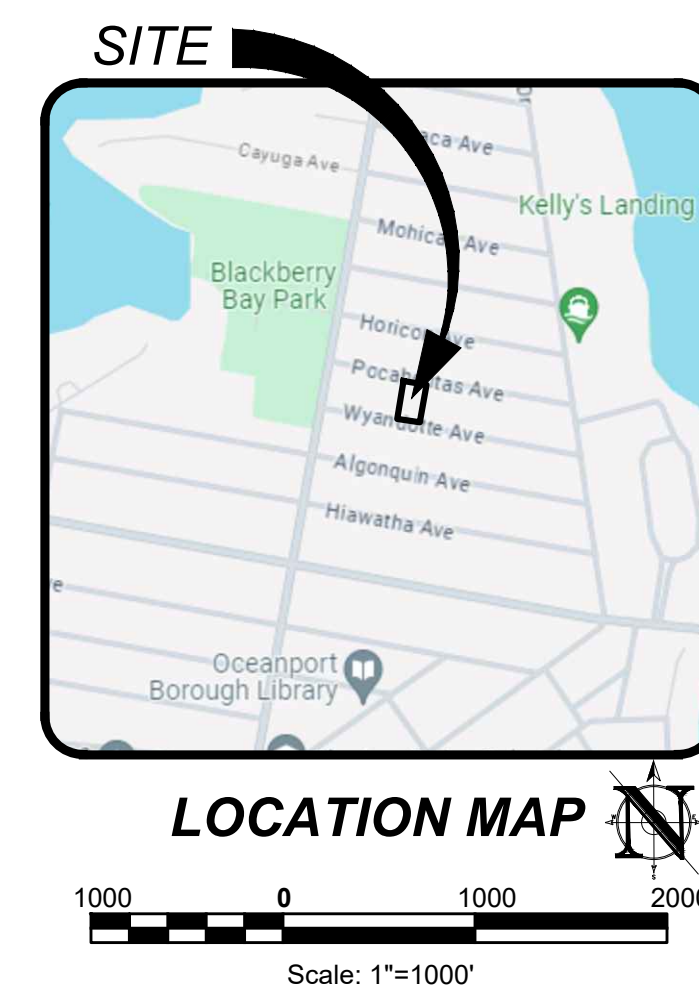
File: X:\Jobs\2074 - Frank Buono\34-227-01 - 35 Wyandotte Avenue, Oceanport, NJ\2422740.DWG (V) (1)=PLOT.dwg --> 01=PLOT
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EXISTING CONDITIONS
SCALE: 1" = 20'PROPOSED CONDITIONS
SCALE: 1" = 20'

GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP 11; BLOCK 19, LOT 14; 35 WYANDOTTE AVENUE, OCEANPORT, MONMOUTH COUNTY, NEW JERSEY
- OWNER / APPLICANT**
OWNER:
FRANK BUONO
35 WYANDOTTE AVENUE
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE MUNICIPALITY (FOR ENGINEERING AND ZONING APPROVAL) AND TO SUPPORT AN APPLICATION TO FREEHOLD SOIL CONSERVATION DISTRICT (FOR PLAN CERTIFICATION).
- SURVEY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE ENGINEERING, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF BLOCK 19, LOT 14", WITH THE LATEST REVISION BEING DATED 02/16/24. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD88 VERTICAL DATUM.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY BRIAN FITZGERALD ARCH + DESIGN, ENTITLED "BUONO RESIDENCE".
- BASE FLOOD ELEVATION**
THIS PROPERTY IS NOT IN A FLOOD ZONE.
- CONSTRUCTION STAKEOUT**
SPECIAL CARE SHALL BE TAKEN DURING STAKEOUT AND CONSTRUCTION TO ADHERE TO THE LOCATION OF THE PROPOSED STRUCTURE AND SITE IMPROVEMENTS. THE BUILDING TIES ARE TO THE FOUNDATION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- LIMIT OF DISTURBANCE**
PRIOR TO THE START OF SITE WORK, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH SNOW FENCING OR OTHER APPROPRIATE MARKERS. SOIL DISTURBANCE IS LESS THAN 5,000 SF, THEREFORE PLAN CERTIFICATION IS FROM THE SOIL CONSERVATION DISTRICT IS NOT REQUIRED.
- RESTORATION**
ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED "IN-KIND" AS NEARLY AS PRACTICAL TO THEIR ORIGINAL STATE. AREAS WHERE SOIL IS LEFT EXPOSED SHALL BE GRADED, RAKED SMOOTH AND SEEDED IMMEDIATELY UPON COMPLETION OF SOIL DISTURBANCE.
- POOL COMPLIANT FENCE**
THE APPLICANT SHALL PROVIDE A COMPLIANT POOL FENCE AND GATE IN ACCORDANCE WITH THE MUNICIPAL ORDINANCE, THE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS), AND ALL APPLICABLE CODES.

NOTE:
CLASS I MATERIAL - 3/4" BROKEN STONE
CLASS II MATERIAL - COARSE SAND AND GRAVEL

EFFECTIVE FLOOD
INSURANCE RATE MAP
Scale: 1"=500'TAX MAP
Scale: 1"=200'LOCATION MAP
Scale: 1"=1000'

PROJECT INFORMATION

PROJECT NAME: 35 WYANDOTTE AVENUE - REAR YARD IMPROVEMENTS

PROJECT LOCATION: BLOCK 19, LOT 14, 35 WYANDOTTE AVENUE, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NJ

OWNER: FRANK BUONO, 35 WYANDOTTE AVENUE, OCEANPORT, NJ 07757

APPLICANT: FRANK BUONO, 35 WYANDOTTE AVENUE, OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ATTORNEY: ROBERT L. WITEK, 41 MEMORIAL PARKWAY, LONG BRANCH, NJ 07740

ARCHITECT: BRIAN FITZGERALD ARCH + DESIGN, 141 E MAIN ST, OCEANPORT, NJ 07757

SURVEYOR: INSITE ENGINEERING, LLC, 1955 NJ-34 #1A, WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a service of the NJ Office of Emergency Management)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning

InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RASSED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL, AND MAY HAVE BEEN ALTERED.

Douglas D. Clelland
DOUGLAS D. CLELLAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

REV.#	DATE	COMMENT
0	03/22/24	INITIAL RELEASE
1	03/22/24	DESIGNED BY: JHD
2	03/22/24	DRAWN BY: JHD
3	24-2274-01	CHECKED BY: DDC
4	24-2274-001	CAD ID: 24-2274-001

☒ NOT FOR CONSTRUCTION

APPROVED BY: **[Signature]**

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE: PLOT PLAN

SHEET TITLE: PLAN

SHEET NO.: 1 OF 1

Proposed Alteration For:
Buono Residence

Drawing List:

SP-101	Site Plan
A-101	Backyard/ Patio Plan
A-200	Patio Elevations
A-300	Sections
A-301	Sections
A-302	Sections
A-900	Perspectives

Brian Fitzgerald
ARCH + DESIGN



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PA Lic. # RA409455
ME Lic. # ARC5323
NCARB Cert. # 88189
East Main Street
Oceanport, NJ 07757
P: (732) 859-4968
Brian@bfarchdesign.com

Proposed Alteration For:

Buono Residence

35 Wyandotte Avenue
Oceanport, NJ 07757

Block: 19

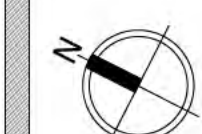
Lot: 14.01

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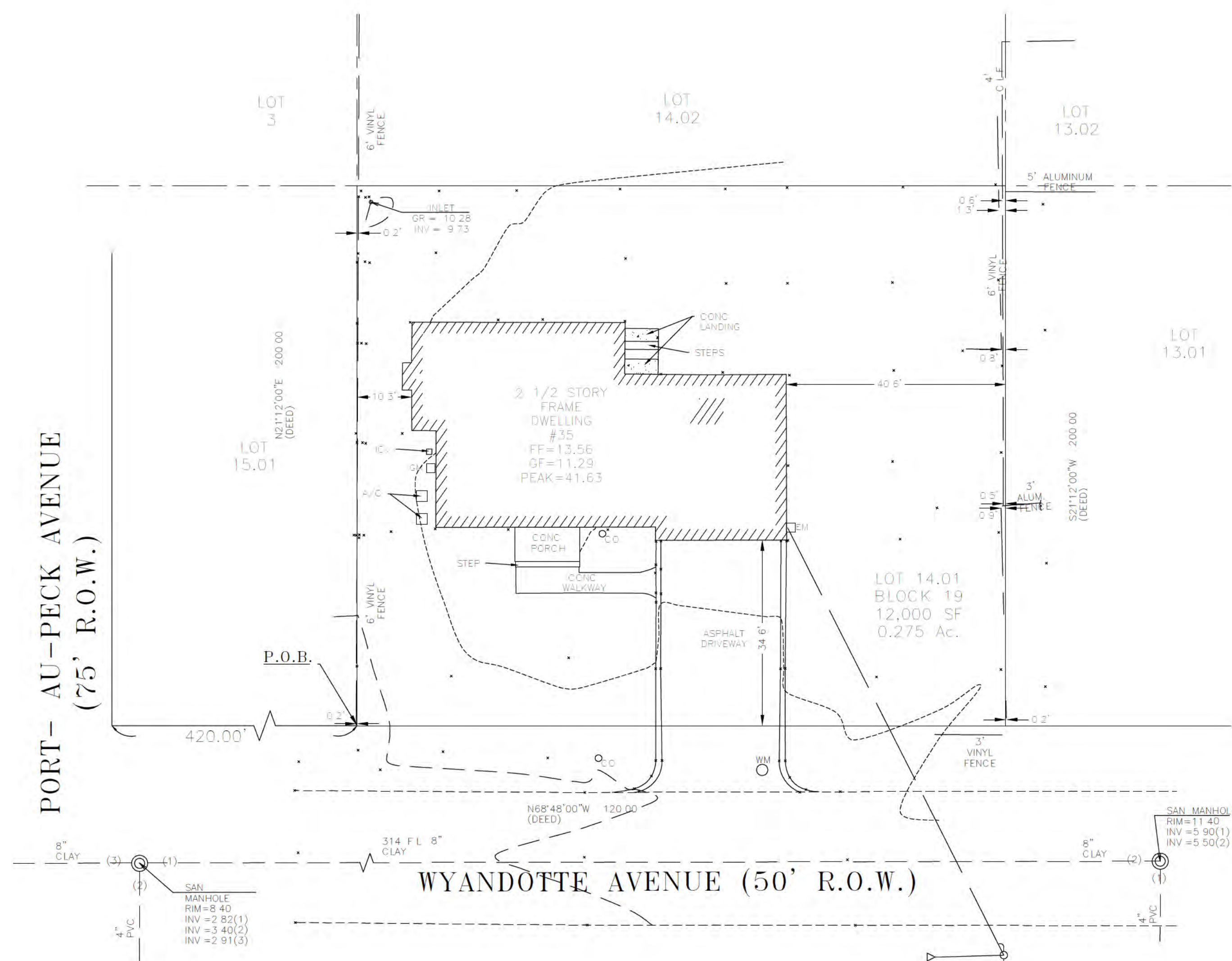
Site Plan

Project number	2023-40
Submission Date	11/25/23
Sheet Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF

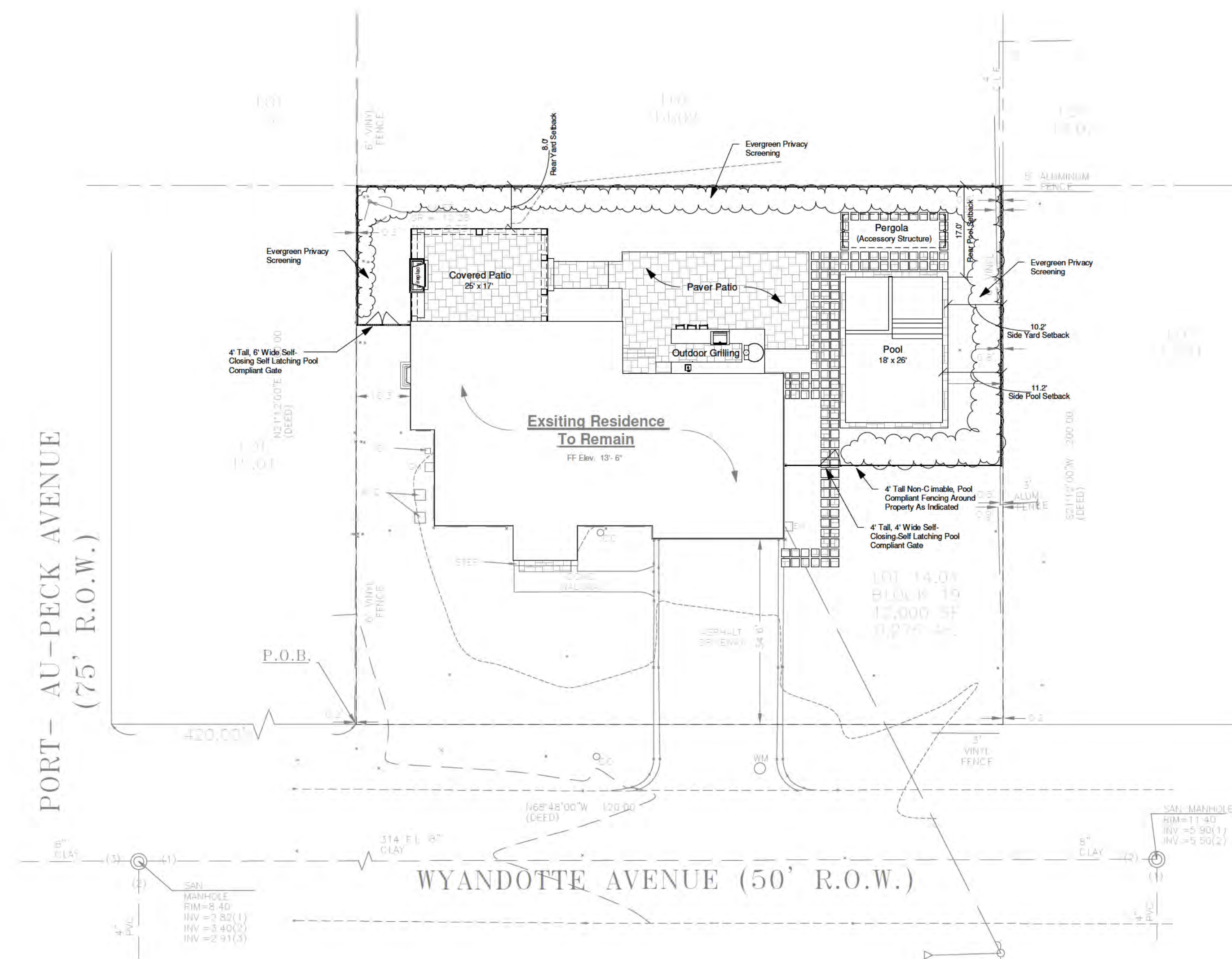


SP-101

Scale	As indicated
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Existing Site Plan
1/16" = 1'-0"



Proposed Patio Site Plan
1/16" = 1'-0"

SITE PLAN DATA:			
ZONE R-3 RESIDENTIAL ZONE REQUIREMENTS	REQUIRED:	EXISTING:	PROPOSED:
a. MINIMUM LOT AREA	12,000 SQ. FT.	12,000 SQ. FT.	12,000 SQ. FT.
b. MINIMUM LOT WIDTH (FRONTAGE)	120'	120'	120'
c. MINIMUM LOT DEPTH	100'	100'	100'
d. MINIMUM FRONT YARD SETBACK (principal building)	34.58'	34.58'	34.58'
e. MINIMUM SIDE YARD SETBACK (principal building)	10'	10.33'	10.33'
f. MINIMUM BOTH SIDE YARDS SETBACK (principal building)	25'	51.07'	51.07'
g. MINIMUM REAR YARD SETBACK (principal building)	25'	25.42'	8' V
h. MAXIMUM BUILDING HEIGHT	35' / 2.5 STORIES	32.50 / 2 STORY	32.50 / 2 STORY
i. MAXIMUM LOT COVERAGE			
PRINCIPAL BUILDING	25%	19.7% (2,364 SQ. FT.)	23.4% (2,804 SQ. FT.)
j. MAXIMUM IMPERVIOUS COVERAGE (% of buildable lot area)	37%	28.6% (3,432 SQ. FT.)	45.8% (5,501 SQ. FT.) V
k. MINIMUM BUILDING HEIGHT (accessory building)	15'	NA	9'
l. MINIMUM SIDE YARD SETBACK (accessory building)	10'	NA	52'
m. MINIMUM REAR YARD SETBACK (accessory building)	5'	NA	5.25'

E - EXISTING NON-CONFORMING
CENC - CONTINUED EXISTING NON-CONFORMING
E - VARIANCE REQUIRED



Proposed Rear Patio Elevation
3/16" = 1'-0"



Proposed Rear Privacy Elevation
3/16" = 1'-0"

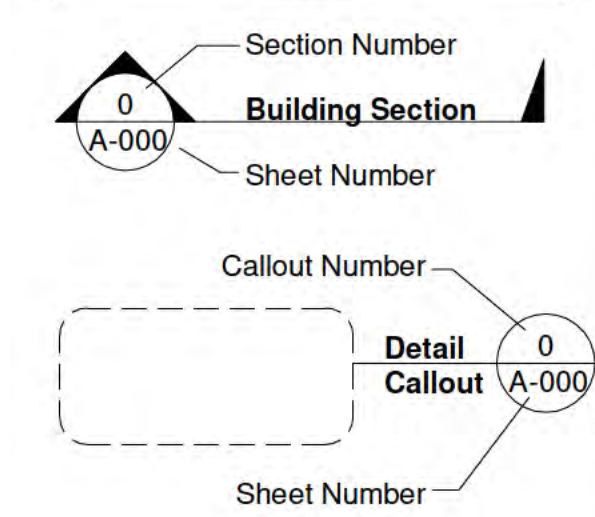


Proposed Left Side Patio Elevation
3/16" = 1'-0"



Proposed Right Side Patio Elevation
3/16" = 1'-0"

LEGEND



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Proposed Alteration For:

Buono Residence

35 Wyandotte Avenue
Oceanport, NJ 07757

Block: 19

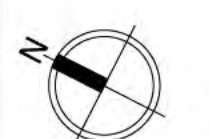
Lot: 14.01

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[illegible]

Patio Elevations

Project number	2023-40
Submission Date	11/25/23
Sheet Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF

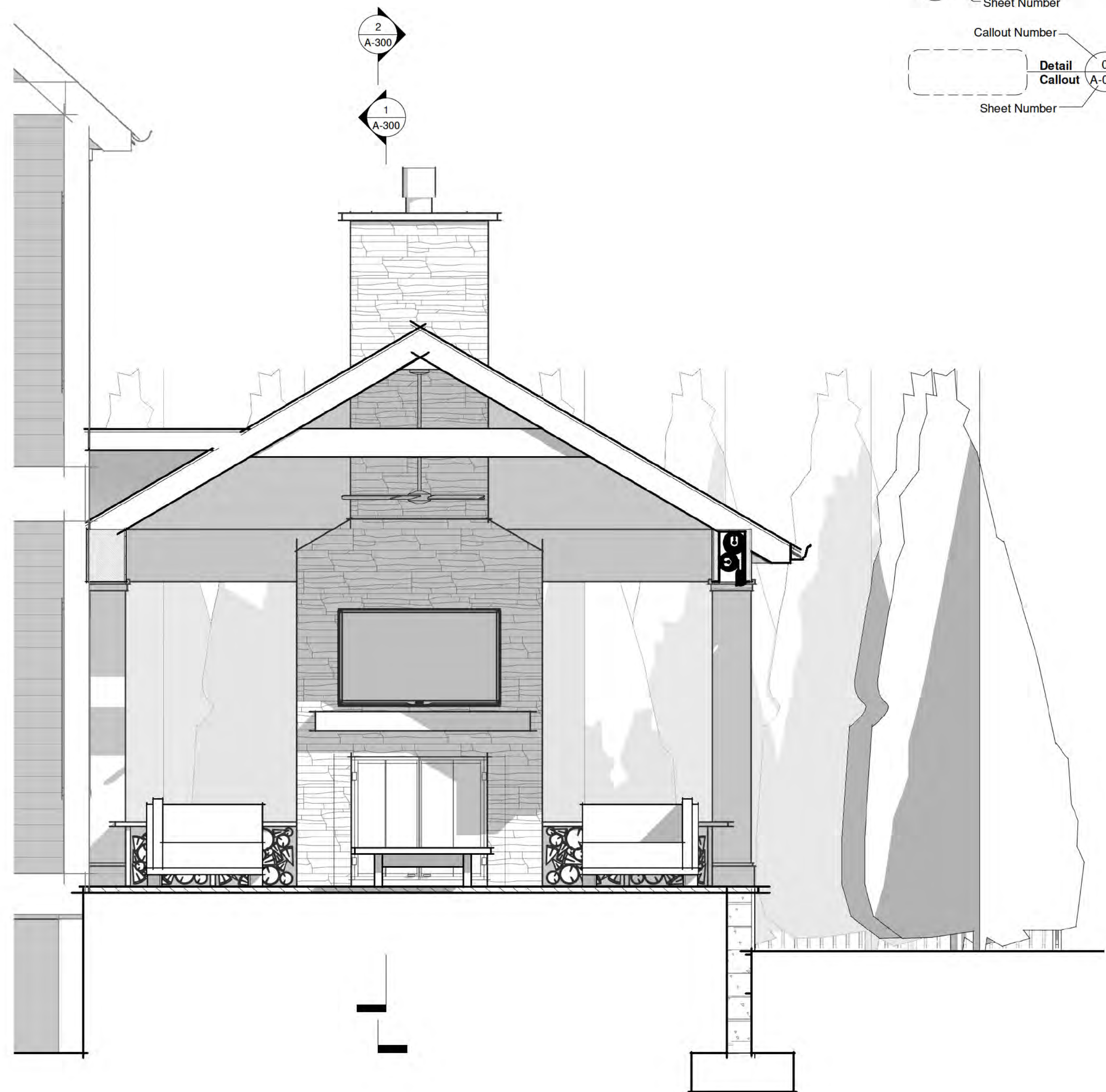


A-200

Scale	As indicated
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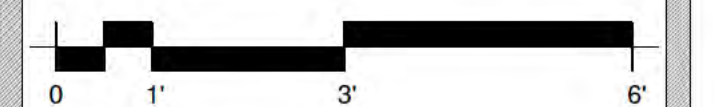
This architectural section drawing illustrates a building facade featuring a series of vertical, conical structures. The drawing shows a cross-section of the building, with the interior space enclosed by a glass wall. The conical structures are arranged in a row, and the interior space is furnished with a long, low table and several chairs. The drawing is a black and white line drawing, with the conical structures shaded in gray. A north arrow is located in the upper left corner, pointing towards the top of the page.

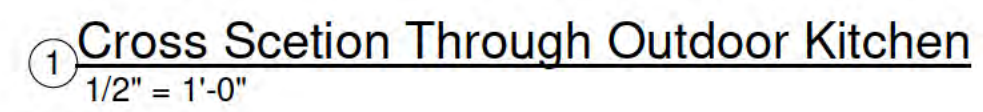


② Cross Section Facing Fireplace
1/2" = 1'-0"

Sections

Scale	As indicated
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 INDICATES EXISTING WALLS TO REMAIN UNTOUCHED
 INDICATES EXISTING WALLS AND/OR ITEMS TO BE REMOVED
 INDICATES PROPOSED WALLS TO BE CONSTRUCTED
 Section Number
Building Section
 Sheet Number
 Callout Number
Detail
 Callout
 Sheet Number

Brian Fitzgerald R.A., NCARB, A.I.A., LEED AP
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 E Lic. # ARC5323
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 100 Main Street
 Oceanport, NJ 07077
 (732) 859-4968
 brian@bfarchdesign.com

Proposed Alteration For:

Buono Residence

5 Wyandotte Avenue
Oceanport, NJ 07757

ock: 19

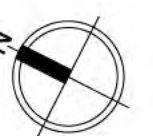
ot: 14.01

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[illegible]

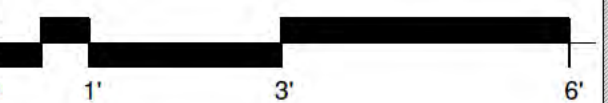
Sections

Project number	2023-40
Submission Date	11/25/23
Meet Issue Date	01/30/24
Drawn by	BPF
Checked by	BPF



A-302

ale	As indicated
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An architectural rendering of a modern outdoor living space. In the foreground, a wide, paved patio made of large, light-colored rectangular stones leads towards a covered dining area. To the left, a two-story house with horizontal siding features a large window and a small porch with a wooden railing. A built-in outdoor kitchen with a sink and a covered grill is visible. The covered dining area has a gabled roof supported by columns and contains a table and chairs. A long, narrow row of tall, slender evergreen trees lines the right side of the patio, creating a sense of depth and privacy. The scene is brightly lit, casting soft shadows.

An architectural line drawing of a modern outdoor living space. On the left is a two-story house with a gabled roof and multiple windows. A paved patio area extends from the house, featuring a built-in grill and a small table with chairs. In the foreground, a swimming pool is visible, surrounded by a deck and a low wall. To the right, a long, covered pergola structure runs along the back of the property, with a lounge chair underneath. The background shows a row of tall, thin trees or a fence line.

An architectural line drawing of a modern backyard. On the left, a tall, white, undulating privacy screen stands behind a dense row of bushes. A paved walkway leads from the foreground towards a rectangular swimming pool in the background. To the right of the pool, there is an outdoor kitchen area featuring a built-in grill, a sink, and a countertop with two stools. Further right, a wooden deck is visible. The right side of the image shows the side of a house with horizontal siding and two windows. The entire scene is rendered in a clean, minimalist style with strong shadows indicating a bright, sunny day.

Brian Fitzgerald
ARCH + DESIGN

A minimalist line drawing of a house with a gabled roof and a central arched doorway, rendered in a dark green color.

acket Pg. 30