



# BOROUGH OF OCEANPORT

## PLANNING/ZONING BOARD

AGENDA • SEPTEMBER 10, 2019

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**Regular**

**Maple Place School**

**7:30 PM**

**2 Maple Place, Oceanport, NJ 07757**

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**I. Call to Order**

**II. Open Public Meetings Statement**

This meeting complies with the Open Public Meetings Act by notification on January 9th and 11th, 2019 of this location, date and time to the Asbury Park Press and the LINK News and by the posting of same on the municipal bulletin board and Borough Web Site.

**III. Flag Salute**

**IV. Roll Call**

**V. Board Business**

**VI. Old Business**

1. PB2019-07 Ingrassia, Carl

544 Seawaneka Ave

Block 35, Lot 4

Variance relief for construction of retaining wall and outdoor shower

**CARRIED from August 13, 2019**

**VII. New Business**

1. PB2019-08 Herman, Nancy

33 Iroquois Avenue

Block 10, Lot 27

Bulk variance relief for side yard setback - installation of shed

**VIII. Petitions from the Public**

**IX. Adjournment**



## Planning/Zoning Combined Board

315 E. Main Street  
Oceanport, NJ 07757

**SCHEDULED**

**PLANNING BOARD APPLICATION (ID # 1381)**

Meeting: 09/10/19 07:30 PM  
Department: Planning/Zoning Board  
Category: PB Applications  
Prepared By: Jeanne Smith  
Initiator: Jeanne Smith  
Sponsors:  
DOC ID: 1381

## PB2019-07 Ingrassia, Carl

544 Seawaneka Ave

Block 35, Lot 4

Variance relief for construction of retaining wall and outdoor shower

**CARRIED from August 13, 2019**

### HISTORY:

08/13/19 Planning/Zoning Board

### Exhibits

**A-1** Land Use Development Application of Carl Ingrassia

**A-2** Plan entitled "Survey of Property" prepared by Charles V. Bell Associates, LLC, dated April 4, 2019, consisting of one (1) sheet

**A-3** Plan entitled "Plot Plan for new wall" prepared by Richard Stockton and Associates, Inc., dated July 8, 2019, consisting of one (1) sheet.

**A-4** Plan entitled "Hardscape Plan" prepared by Deruvo and Associates Architects, dated June 30, 2019, consisting of one (1) sheet.

**A-5** Maser Consulting Review letter dated July 30, 2019

William White, Board Engineer/Planner was sworn. Mr. Kennedy marked **Exhibits A-1, A-2, A-3, A-4 and A-5** for the record.

Mr. Kennedy asked if there was anyone present who had an objection to the notice provided for this application. Hearing none, advised that he had reviewed the notice, found service in order and the Board had jurisdiction.

Carl Ingrassia, Applicant/Owner, was sworn.

### **PUBLIC:**

Chairman Widdis opened the meeting to questions from the public for this witness. As there was no one, he closed that portion of the meeting.

Chairman Widdis advised the Applicant that based on the comments being heard from the Board and his own concern with the numerous differences between the plans submitted recommended that the Applicant take the time to have new set of plans that provide the details the Board were questioning. The Applicant requested that the application be carried and that new plans would be ready for the public in time for the next meeting.

Chairman Widdis stated for the public that the application would be carried to the September 10, 2019 meeting with no additional notice required.



Engineers  
Planners  
Surveyors  
Landscape Architects  
Environmental Scientists

6.1.a

**Corporate Headquarters**  
331 Newman Springs Road, Suite 203  
Red Bank, NJ 07701  
T: 732.383.1950  
F: 732.383.1984  
[www.maserconsulting.com](http://www.maserconsulting.com)

July 30, 2019

**VIA EMAIL**

Jeanne Smith, Planning Board Secretary  
Borough of Oceanport Planning Board  
315 E. Main Street  
Oceanport, NJ 07757

Re: Minor Site Plan  
544 Seawaneka Avenue  
Block 35, Lot 4  
Borough of Oceanport, Monmouth County, New Jersey  
Application PB2019-7  
MC Project No. OPP-255

Dear Board Members:

Our office has received the following information in support of the above-referenced Bulk Variance application:

- Plan entitled “Survey of Property” prepared by Charles V. Bell Associates, LLC, dated April 4, 2019, consisting of one (1) sheet;
- Plan entitled “Plot Plan for new wall” prepared by Richard Stockton and Associates, Inc., dated July 8, 2019, consisting of one (1) sheet;
- Plan entitled “Hardscape Plan” prepared by Deruvo and Associates Architects, dated June 30, 2019, consisting of one (1) sheet.

The subject property is situated in the R-3 – Residential Single-Family Zone District and located on the west side of Seawaneka Avenue, approximately 50 feet north of the intersection with Pocano Avenue. The property currently has a two-story single-family dwelling, paver driveway, paver patio and walkways. The Applicant proposes to install a retaining wall along the southern side yard along with an outdoor shower.

Based on our review of the application, we recommend that the application be deemed **complete** and scheduled for the next available hearing.

**Variances/Design Waivers**

We offer the following preliminary comments for the Board’s consideration:

1. Bulk variances are required for the following:

Customer Loyalty through Client Satisfaction

**Packet Pg. 3**



- a. Minimum side yard setback Principle Structure (one/both): 10/20 feet required, 12.5/25.5 feet existing, and 7.5/20 feet proposed. A Bulk Variance is required.
- b. Retaining wall setback: 10 feet required from all property lines, 0 feet proposed. A Bulk Variance is required.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

- **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer based upon the existence of the following conditions:
  - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
  - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
  - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
- **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variances being requested.

### **General Comments**

1. The side yard setback dimensions to the deck on the north side and proposed shower on the south side shall be added to the plans as the dimension outlines in 1a above are approximate.
2. The Applicant shall clarify if the shower is to be attached to the dwelling as this would make it part of the principle structure. We have assumed it is, which is the worst-case scenario.
3. Testimony shall be provided as to the drainage impact to Lot 3 to the south.
4. The Hardscape Plan shall reference the survey utilized as a base map.
5. If the shower has hot and cold water piped to it, a roof and drain will be required.
6. Construction details for the proposed retaining wall and fence shall be provided on the plans.

We reserve the opportunity to further review and comment on this application and all pertinent documentation, pursuant to testimony presented at the public hearing.



Jeanne Smith, Planning Board Secretary  
MC Project No. OPP-255  
July 30, 2019  
Page 3 of 3

Should you have any questions or require any additional information, please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING P.A.

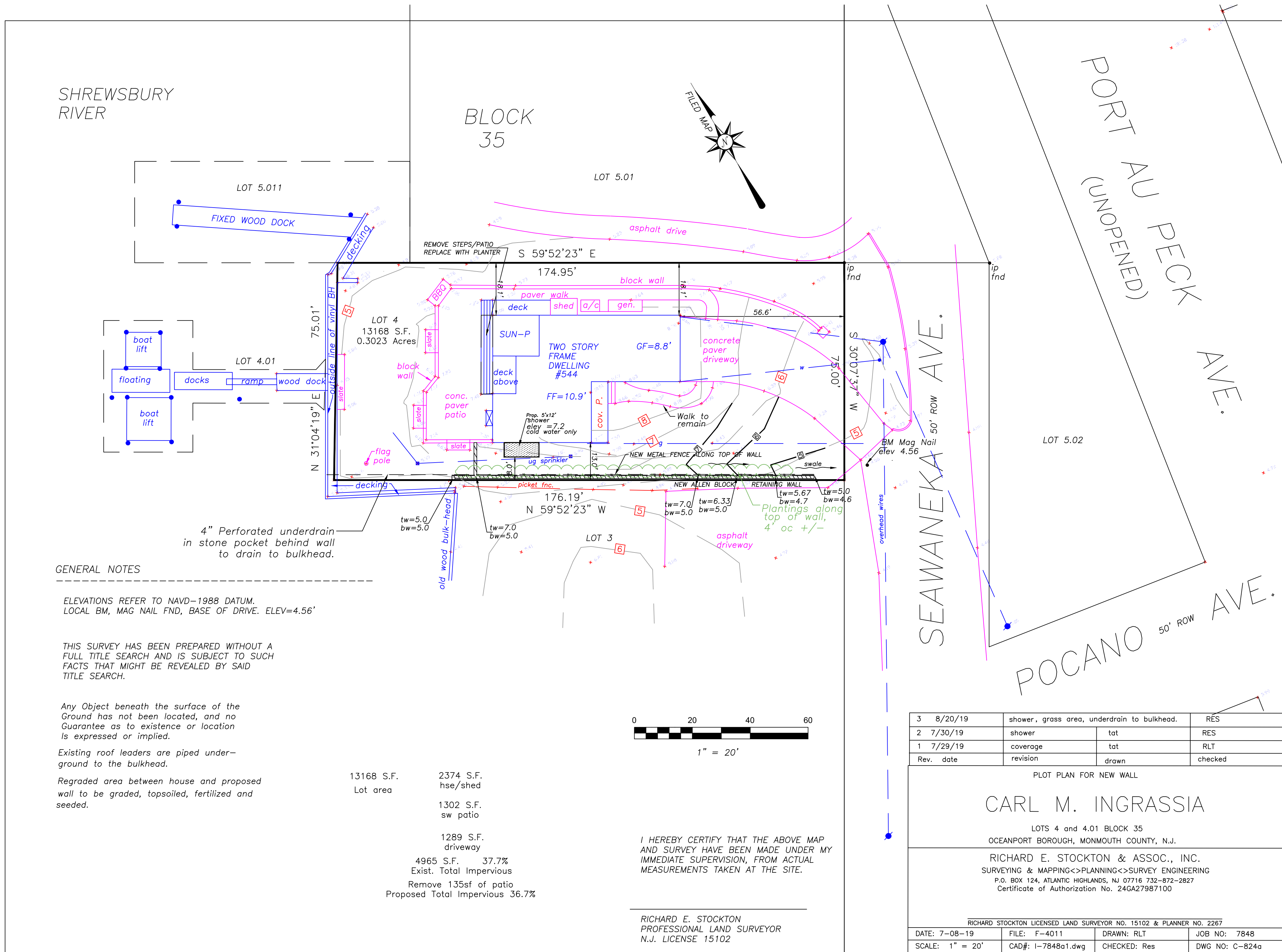
A handwritten signature in blue ink, appearing to read 'W.H.R. White, III'.

William H.R. White, III, P.E., P.P., C.M.E.  
Planning Board Engineer and Planner

WHW/nb

cc: Carl Ingrassia (via email cingrassia@comcast.net)

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**Planning/Zoning Combined Board**

315 E. Main Street  
Oceanport, NJ 07757

**SCHEDULED****PLANNING BOARD APPLICATION (ID # 1396)**

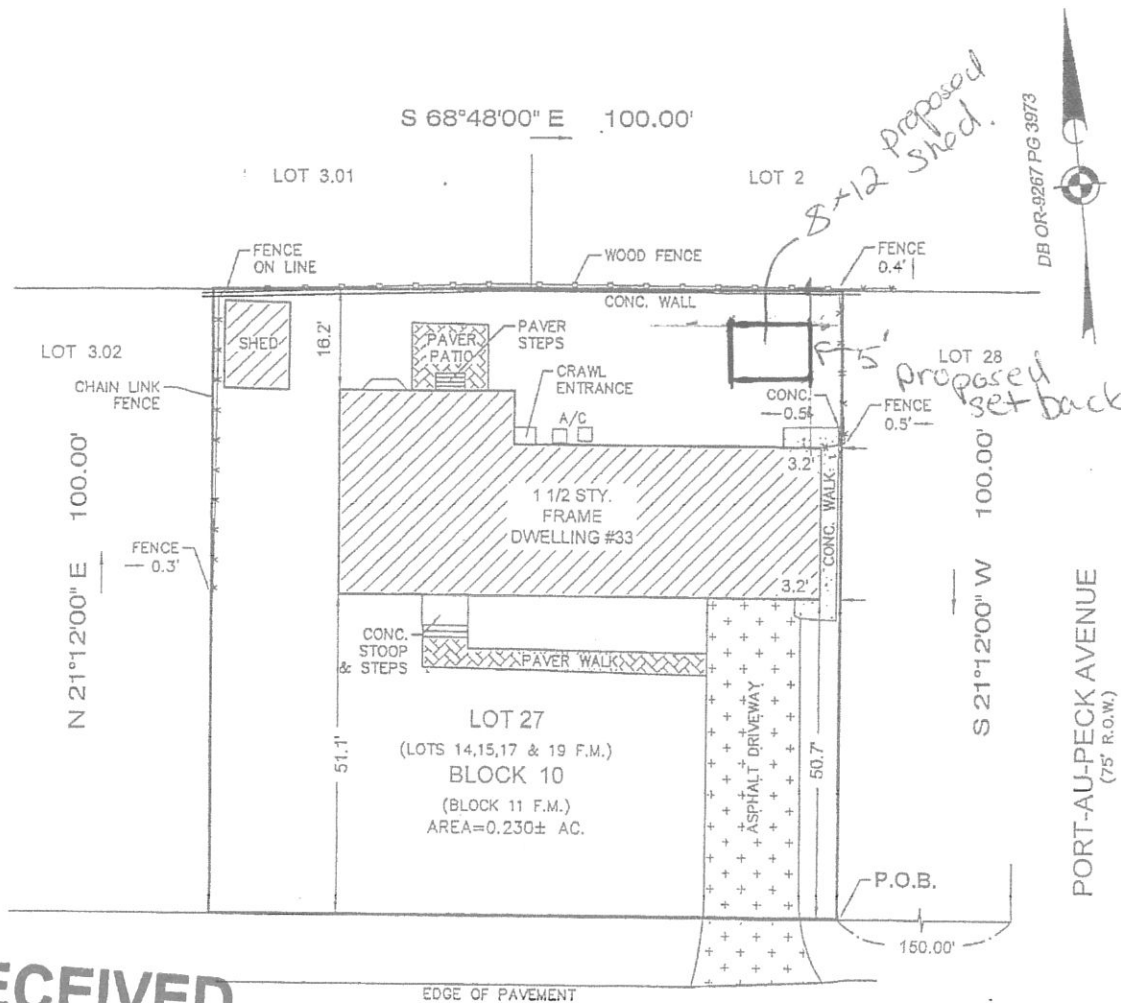
Meeting: 09/10/19 07:30 PM  
Department: Planning/Zoning Board  
Category: PB Applications  
Prepared By: Jeanne Smith  
Initiator: Jeanne Smith  
Sponsors:  
DOC ID: 1396

**PB2019-08 Herman, Nancy**

33 Iroquois Avenue

Block 10, Lot 27

Bulk variance relief for side yard setback - installation of shed



**RECEIVED**

JUL 31 2019

Borough of Oceanport

N 68°48'00" W 100.00'  
IROQUOIS AVENUE  
(50' R.O.W.)

PREPARED FOR: DANIEL D. HERMAN, JR., NANCY C. HERMAN and RACHEL HERMAN

TITLE INSURER: PROPERTY TRANSFER SERVICES, INC. (PTS-18-47943)  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

MORTGAGE HOLDER: HOMEBRIDGE FINANCIAL SERVICES, INC.,  
its successors and/or assigns, as their interest may appear.

CLOSING ATTORNEY: DAVID R. CARDAMONE, Esquire

1" = 30.77'  
Shed = 8' x 12'  
Setback 5' on  
SIDE + REAR

|                                                                                   |                        |                                   |                            |                       |
|-----------------------------------------------------------------------------------|------------------------|-----------------------------------|----------------------------|-----------------------|
| Filed Map Reference:<br>PERFECTED AND AMENDED MAP OF PROPERTY KNOWN AS PORTAUPECK | Filed Map Block:<br>11 | Filed Map Lot:<br>14, 15, 17 & 19 | Filing Date:<br>11-11-1920 | Filed Map No.<br>23-8 |
|-----------------------------------------------------------------------------------|------------------------|-----------------------------------|----------------------------|-----------------------|

**IMPORTANT NOTES, PLEASE REVIEW:**

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 8-27-18 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES, WETLANDS, OR RIPARIAN RIGHTS. NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:46-5.1(d))

DB OR-9267 PG 3973

CERTIFICATE OF AUTHORIZATION: 24GA28229500

**MORGAN**  
engineering & surveying

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691

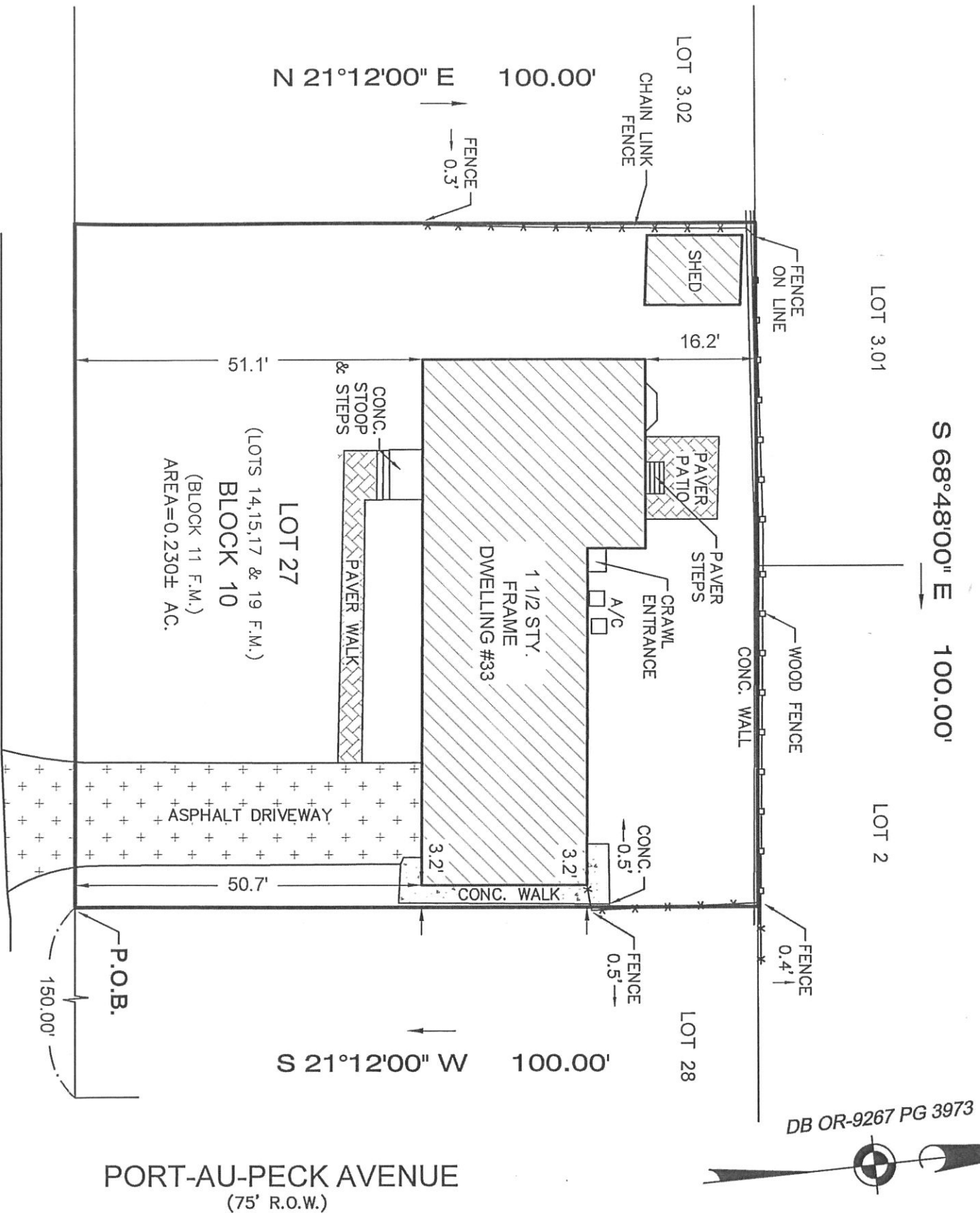
www.morganengineeringllc.com

**SURVEY OF PROPERTY**

LOT 27 BLOCK 10  
BOROUGH OF OCEANPORT  
COUNTY OF MONMOUTH NEW JERSEY

*David J. Von Steenburg*  
**DAVID J. VON STEENBURG**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. No. 34500

|                  |                 |                  |                    |                         |                  |
|------------------|-----------------|------------------|--------------------|-------------------------|------------------|
| Scale:<br>1"=20' | Drawn By:<br>KN | Date:<br>8-27-18 | JOB #:<br>18-08251 | CAD File #:<br>18-08251 | Sheet #:<br>1 OF |
|------------------|-----------------|------------------|--------------------|-------------------------|------------------|



DB OR-9267 PG 3973

N 68°48'00" W 100.00'  
IROQUOIS AVENUE  
(50' R.O.W.)

PORT-AU-PECK AVENUE  
(75' R.O.W.)

PREPARED FOR: DANIEL D. HERMAN, JR., NANCY C. HERMAN and RACHEL HERMAN  
TITLE INSURER: PROPERTY TRANSFER SERVICES, INC. (PTS-18-47943)  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
MORTGAGE HOLDER: HOMEBRIDGE FINANCIAL SERVICES, INC.,  
its successors and/or assigns, as their interest may appear.  
CLOSING ATTORNEY: DAVID R. CARDAMONE, Esquire

RECEIVED  
JUL 31 2019  
Borough of Oceanport

|                                                           |                  |                 |              |               |
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| Filed Map Reference:                                      | Filed Map Block: | Filed Map Lot:  | Filing Date: | Filed Map No. |
| PERFECTED AND AMENDED MAP OF PROPERTY KNOWN AS PORTAUPECK | 11               | 14, 15, 17 & 19 | 11-11-1920   | 23-8          |

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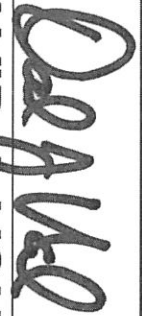
**MORGAN**  
engineering & surveying

CERTIFICATE OF AUTHORIZATION: 24GA28229800

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