



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • FEBRUARY 27, 2024

Regular

Clement V. Sommers Municipal Building

7:00 PM

910 Oceanport Way, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement: This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 10, 2024 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.

III. Flag Salute

IV. Board Policy

- It is Board Policy that no application will be opened after 9:30 P.M.
- No new testimony will be taken after 10:00 P.M., except at the discretion of the Board.

V. Oaths of Office

1. Patricia Cooper, Class III, Council Liaison, Term Expiring 12/31/2024
2. Kevin Calver, Jr., Class IV Regular, Unexpired term ending 12/31/2027
3. David Gruskos, Alternate #1, Unexpired term ending 12/31/2024
4. Robert Kleiberg, Alternate #2, Term Expiring 12/31/2025

VI. Roll Call

VII. Board Business

1. **PR-24-07** Resolution Adopting Amended Rules & Regulations of the Board, February 27, 2024
2. Report of Pending Applications

VIII. Approval of Minutes

1. Planning/Zoning Board - Regular - Jun 27, 2023 7:00 PM – *to be provided*
2. Planning/Zoning Board - Regular - Nov 28, 2023 7:00 PM
3. Planning/Zoning Board - Regular - Jan 23, 2024 7:00 PM – *to be provided*

IX. New Business

1. PB2023-16 Kiernan, Paul
Block 19, Lot 14.02
30 Pocahontas Avenue
Proposed rear wooden deck attached to rear of residence seeking variance relief for
- Rear yard setback, 25' required, 27.9' existing, 10.9' is proposed
2. Polonsky, Vadim & Concetta
502 Branchport Avenue
Block 65, Lot 32
Proposed construction of 2nd floor addition seeking variance relief for:
- Expansion of existing non-conforming structure prohibited by 390-10B(2)(b).
- Side yard setback of 5.64' existing where 10' minimum one side and a combined total of 25' required.
- Minimum Habitable Floor Areas - 2-story requires 2,000 total s.f. with 1st floor being 1,150 s.f. and 2nd floor being 850s.f.
- Maximum Height of Roof Ridge as measured at the center of the property from the crown of the road is not adequately provided on the submitted plan

3. PB2023-15 Pierce, Ana
Block 10, Lot 20.03
79 Iroquois Avenue
Proposed construction of a 4' walkway, paver patio, landing and wood burning fireplace in rear seeking variance relief for:
- Maximum impervious coverage of 45.99% where 44.28% exists and 37% is permitted
DFD 5/23/24

X. Old Business

1. PB2020-21.1 Somerset/Parkers Creek
Block 110.15, Lot 1
Proposed changes to approved roof-top terrace floor plan on the 22 town homes.

XI. Petitions from the Public

XII. Adjournment



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB (ID # 3112)

Meeting: 02/27/24 07:00 PM
Department: Mayor & Council
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3112

RESOLUTION OF THE OCEANPORT PLANNING BOARD Adopting Amended Rules & Regulations of the Board February 27, 2024

WHEREAS, the duties, function and responsibilities of the Borough of Oceanport Planning/Zoning Combined Board (hereinafter referred to as the "Board") are created by Statute and controlled by the Municipal Land Use Law, Chapter 291, Laws of N.J. 1975 as compiled in N.J.S.A. 40-55-1 et. seq.; and

WHEREAS, N.J.S.A. 40:55D-8a provides that the Board shall make and adopt rules for the administration of its functions, powers and duties; and

WHEREAS, N.J.S.A. 40:55D-10b provides the Board shall make and adopt rules for the orderly conducting of any hearing before the Board; and

WHEREAS, the Board has reviewed its Rules and Regulations dated April 22, 2009 and adopted by Resolution PR-09-05 and determined there is a need for revisions and updates for consistency with current statutes, ordinances and practices; and

WHEREAS, the Board is of the opinion that the attached *amended* Rules and Regulations are consistent with the Municipal Land Use Law and all applicable Borough Ordinances with respect to Municipal Land Use.

NOW, THEREFORE, BE IT RESOLVED, by the Planning/Zoning Combined Board of the Borough of Oceanport, that the Board adopts the amended Rules and Regulations dated February 13, 2024 for the administration of its functions, powers and duties and the conducting of any hearings before the Board.

BE IT FURTHER RESOLVED, that attached Rules and Regulations shall control the administration of the functions, powers, duties and the conducting of any hearings before the Board until such time as they are amended, which may be amended from time to time.

BE IT FURTHER RESOLVED, that the Secretary of the Board shall furnish a copy thereof to any person who requests a copy and charge a reasonable fee for such copy as determined by applicable ordinance.

BE IT FURTHER RESOLVED, that a copy of this resolution, certified to be a true copy by the Secretary of the Board be forwarded to the Board Engineer, Board Attorney, Borough Clerk and Borough Administrator.

**BOROUGH OF OCEANPORT****PLANNING/ZONING BOARD****MINUTES • NOVEMBER 28, 2023****Regular****Clement V. Sommers Municipal Building****7:00 PM****910 Oceanport Way, Oceanport, NJ 07757**

- I. **Call to Order:** Chairman Whitson called the meeting to order at 7:00 PM
- II. **Open Public Meetings Statement:** This meeting complies with the Open Public Meetings Act by adequate and electronic notification on Feb. 10, 2023 of this meeting and its location, date and time to the Asbury Park Press, Star Ledger and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.
- III. **Flag Salute:** Chairman Whitson led attendees and members of the Board in the flag salute.
- IV. **Board Policy:** Chairman Whitson advised of the following Board policies: It is Board Policy that no application will be opened after 9:30 P.M.; no new testimony will be taken after 10:00 P.M., except at the discretion of the Board
- V. **Roll Call:**

Attendee Name	Title	Status
James Whitson	Chairman	Present
John (Jack) Kahle	Vice Chairman	Present
Patty Cooper	Mayor's Designee	Present
Thomas Tvrdik	Class III	Present
Joseph Foster	Environmental Commission Liaison	Absent
Christopher Widdis C	Class IV	Absent
Leslie B Widdis L	Class IV	Present
Darren Davis	Class IV	Present
Michael Dailey	Class IV	Absent
Kevin Calver	Alternate I	Present
Robert Kleiberg	Alternate II	Absent
Jeanne Smith	Board Secretary	Present
Kevin Kennedy	Board Attorney	Present
William White	Board Engineer/Planner	Present

- VI. **Board Business:**
- Report of Pending Applications: Ms. Smith advised there were no pending applications. The December 12, 2023 meeting was cancelled due to equipment installation for the new audio/visual in the meeting room. There are 2-3 applications expected to be filed in the interim.
 - PR-23-24: Resolution Setting Date for 2024 Reorganization Meeting

RESULT: ADOPTED [UNANIMOUS]
MOVER: John (Jack) Kahle, Vice Chairman
SECONDER: Patty Cooper, Mayor's Designee
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis, Calver
ABSENT: Foster, Widdis C, Dailey, Kleiberg

- VII. **Approval of Minutes:**
- Planning/Zoning Board - Regular - Apr 26, 2022 7:00 PM

RESULT: ACCEPTED [6 TO 0]
MOVER: John (Jack) Kahle, Vice Chairman
SECONDER: Leslie B Widdis L, Class IV
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis
ABSENT: Foster, Widdis C, Dailey, Kleiberg
INELIGIBLE: Calver

2. Planning/Zoning Board - Regular - May 10, 2022 7:00 PM

RESULT: **ACCEPTED [5 TO 0]**
MOVER: Leslie B Widdis L, Class IV
SECONDER: Patty Cooper, Mayor's Designee
AYES: Whitson, Kahle, Cooper, Widdis L, Davis
ABSTAIN: Tvrdik
ABSENT: Foster, Widdis C, Dailey, Kleiberg
INELIGIBLE: Calver

3. Planning/Zoning Board - Regular - Sep 13, 2022 7:00 PM

RESULT: **ACCEPTED [6 TO 0]**
MOVER: John (Jack) Kahle, Vice Chairman
SECONDER: Patty Cooper, Mayor's Designee
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis
ABSENT: Foster, Widdis C, Dailey, Kleiberg
INELIGIBLE: Calver

4. Planning/Zoning Board - Regular - Jul 11, 2023 7:00 PM

RESULT: **ACCEPTED [UNANIMOUS]**
MOVER: Thomas Tvrdik, Class III
SECONDER: John (Jack) Kahle, Vice Chairman
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis, Calver
ABSENT: Foster, Widdis C, Dailey, Kleiberg

5. Planning/Zoning Board - Regular - Sep 12, 2023 7:00 PM

RESULT: **ACCEPTED [UNANIMOUS]**
MOVER: Patty Cooper, Mayor's Designee
SECONDER: Leslie B Widdis L, Class IV
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis, Calver
ABSENT: Foster, Widdis C, Dailey, Kleiberg

6. Planning/Zoning Board - Regular - Oct 24, 2023 7:00 PM

RESULT: **ACCEPTED [6 TO 0]**
MOVER: Thomas Tvrdik, Class III
SECONDER: John (Jack) Kahle, Vice Chairman
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis
ABSTAIN: Calver
ABSENT: Foster, Widdis C, Dailey, Kleiberg

7. Minutes of Oct. 11, 2022 7:00 PM - *Tabled*8. Minutes of June 27, 2023 7:00 PM - *Tabled*

VIII. Old Business:

- Resolution of Approval - 540 Shrewsbury Ave: As the Resolution had been previously provided to the Board, Mr. Kennedy summarized the resolution and its conditions. Mr. Kahle made a motion to approve the Resolution, which was seconded by Mr. Davis and received the below roll call:

RESULT: **ADOPTED [6 TO 0]**
MOVER: John (Jack) Kahle, Vice Chairman
SECONDER: Patty Cooper, Mayor's Designee
AYES: Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis
ABSENT: Foster, Widdis C, Dailey, Kleiberg

IX. New Business:**1. Mayor & Council Referral - Fort Monmouth Plan Amendment #20**

Exhibit B-1 Proposed Plan Amendment #20 to the Fort Monmouth Reuse & Redevelopment Plan, dated Nov. 2023

Board members were provided a summary of the proposed plan amendment that creates a plan for the area known as the "mega parcel". The amendment provides for alternative development including a state of the art motion picture, television and broadcast studio campus. The Board reviewed thoroughly and discussed the proposed development, expressed a number of questions and statements, concerns and recommendations for the development as well as consistency/inconsistency with the Master Plan. Comments, concerns and recommendations were expressed including affordable housing component, animal boarding, arts and entertainment, architectural detail, buffering, bulk regulations, circulation, construction impacts, building heights, heliport/helipad, job generation and economic development, noise, lighting, landscaping, lot coverage, municipal services, parking, radio towers, residential borders, security wall, signage, sound stage hours, traffic and recognition that the development of the mega-parcel could fulfill the redevelopment vision of the former Fort Monmouth site.

The Board also provided an opportunity for public comment on the proposed development with one member of the public appearing, Louis Fernandez, Riverside Ave, who expressed concerns for the massiveness of the potential complex using the Netflix studio in New Mexico as an example as well as the proposed building height upwards of 85's in the 400 area across the street from his home. He expressed concern that Netflix will function as its own entity and would not create local jobs. He requested that they consider not allowing any structures higher than 47' high with 150' setback because of the proximity to the adjacent residential neighborhood. As no one else from the public appeared, Chairman Whitson closed that portion of the meeting.

There was a motion by Mr. Whitson and second by Mr. Kahle to authorize the attorney to prepare a letter summarizing the Board's comments and recommendations. Mr. Kennedy advised that any motion should include a statement as to the consistency with the Master Plan. Mr. Kennedy also clarified that a resolution with the letter he prepares would be brought to the Board for memorialization at their meeting in January. Mr. Kahle withdrew his second as he had questions about its consistency with the Master Plan. Ms. Cooper seconded the motion. Discussion on the motion was whether there should be separate motions for the Master Plan and the resolution with concerns and recommendations. The Board asked Mr. White for his opinion and he advised that the amendment indicates that it is consistent with *their* Master Plan, not necessarily Oceanport's, but FMERA does indicate that it is compliant with Oceanport's Master Plan with regard to accessibility, openness, walkways, paths, nature and as the Board pointed out, things may be truncated and not consistent through the whole parcel. Chairman Whitson commented that Amendment #20 was voted for by both mayors, Oceanport and Eatontown.

Motion for Determination that Plan Amendment #20 is consistent with the Master Plan

RESULT:	ADOPTED [5 TO 2]
MOVER:	Thomas Tvrdik, Class III
SECONDER:	James Whitson, Chairman
AYES:	Whitson, Kahle, Cooper, Tvrdik, Calver
NAYS:	Widdis L, Davis
ABSENT:	Foster, Widdis C, Dailey, Kleiberg

Motion to Authorize Attorney to Prepare Letter to Council with Board's Determination and Recommendations subject to approval by the Chairman to be further memorialized by Resolution at the next meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Whitson, Chairman
SECONDER:	John (Jack) Kahle, Vice Chairman
AYES:	Whitson, Kahle, Cooper, Tvrdik, Widdis L, Davis, Calver
ABSENT:	Foster, Widdis C, Dailey, Kleiberg

X. Public Comment: Chairman Whitson opened the meeting to Petitions from the Public. As no one else from the public wished to be heard, Chairman Whitson closed that portion of the meeting.

XI. Adjournment: As there was no further business, the meeting was adjourned at 8:20 pm on a motion by Mr. Davis which was seconded by Mr. Kahle and approved by the Board.

Respectfully submitted,

Jeanne Smith
Board Secretary

**Planning/Zoning Combined Board**

PO Box 370
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 3078)**

Meeting: 02/27/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3078

PB2023-16 Kiernan, Paul

Block 19, Lot 14.02

30 Pocahontas Avenue

Proposed rear wooden deck attached to rear of residence seeking variance relief for

- Rear yard setback, 25' required, 27.9' existing, 10.9' is proposed

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



January 24, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

30 Pocahontas Avenue – Bulk Variance
Block 19, Lot 14.02
Application No. PB2023-16
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0354

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled “Plot Plan,” prepared by William E. Fitzgerald, last revised October 3, 2023, consisting of one (1) sheet.
- Plans entitled “Proposed New Residence for PJ & Rebecca Kiernan,” prepared by Brian. Fitzgerald, last revised September 19, 2023, consisting of four (4) sheets.
- Plan entitled “Foundation Location Survey” prepared by Insite Surveying, last revised September 12, 2023, consisting of one (1) sheet.

The subject property is a 12,000 SF (0.28-acre) parcel on the south side of Pocahontas Avenue approximately 420 feet east of Port Au Peck Avenue. The parcel is located in the R-3 Residential Zone. The lot currently has a 2 story dwelling under construction, driveway, and concrete walkway. The Applicant proposes a 26' x 17' deck off the rear of the dwelling.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below.

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Rear Yard Setback, Principal Structure – the current dwelling that is under construction provides a rear yard setback of 27.9 feet and complies to the minimum requirement of 25 feet. The proposed deck will provide a setback of 10.9 feet.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. A signed and sealed copy of the boundary and topographic survey referenced in General Note # 2 shall be provided to the Board Secretary.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design
(DBA Maser Consulting)



William H.R. White, III, PE, PP, CME, CFM, CPWM
Planning Board Engineer and Planner

WHW/

cc: Paul Kiernan, Applicant (via email)
William E. Fitzgerald, PE (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\IM-P\Opp\OPP0354\Correspondence\OUT\240124_whw_30_pocahontas_ave_review#1.docx



Oceanport Borough
ZONING DEPARTMENT
910 OCEANPORT WAY
OCEANPORT, NJ 07757
(732) 222-0641
JSMITH@OCEANPORTBORO.COM



Application Date: 10/11/2023
Application Number: ZA-23-0181.1
Permit Number: _____
Project Number: _____
Fee: \$100

Denial of Application

Date: 10/11/2023

To: PAUL KIERNAN

CC: [REDACTED]

RE: 30 POCAHONTAS AVE
BLOCK: 19 LOT: 14.02 QUAL: ZONE: R-3

DEAR PAUL KIERNAN ,

Add a deck to a home currently being built

THIS APPLICATION IS FOR 30 POCOHANTAS AVE NOT 35 WYANDOTTE. The system will not let me enter the correct address.., Payment and Plan ACKNOWLEDGEMENT: Paul kiernan , Online PAYMENTS Now Being Accepted: Paul kiernan

Your request is hereby denied based upon the following requirements:

Proposed deck off rear of house as shown on plan entitled "Plot Plan Proposed Residence" prepared by William E. Fitzgerald, PE/PP dated March 10, 2023, last revised 10-03-2023, is NOT COMPLIANT pursuant with 390-Schedule II which requires a 25' rear yard setback and 10.9' is proposed. A variance for rear yard setback is required from the Planning Board.

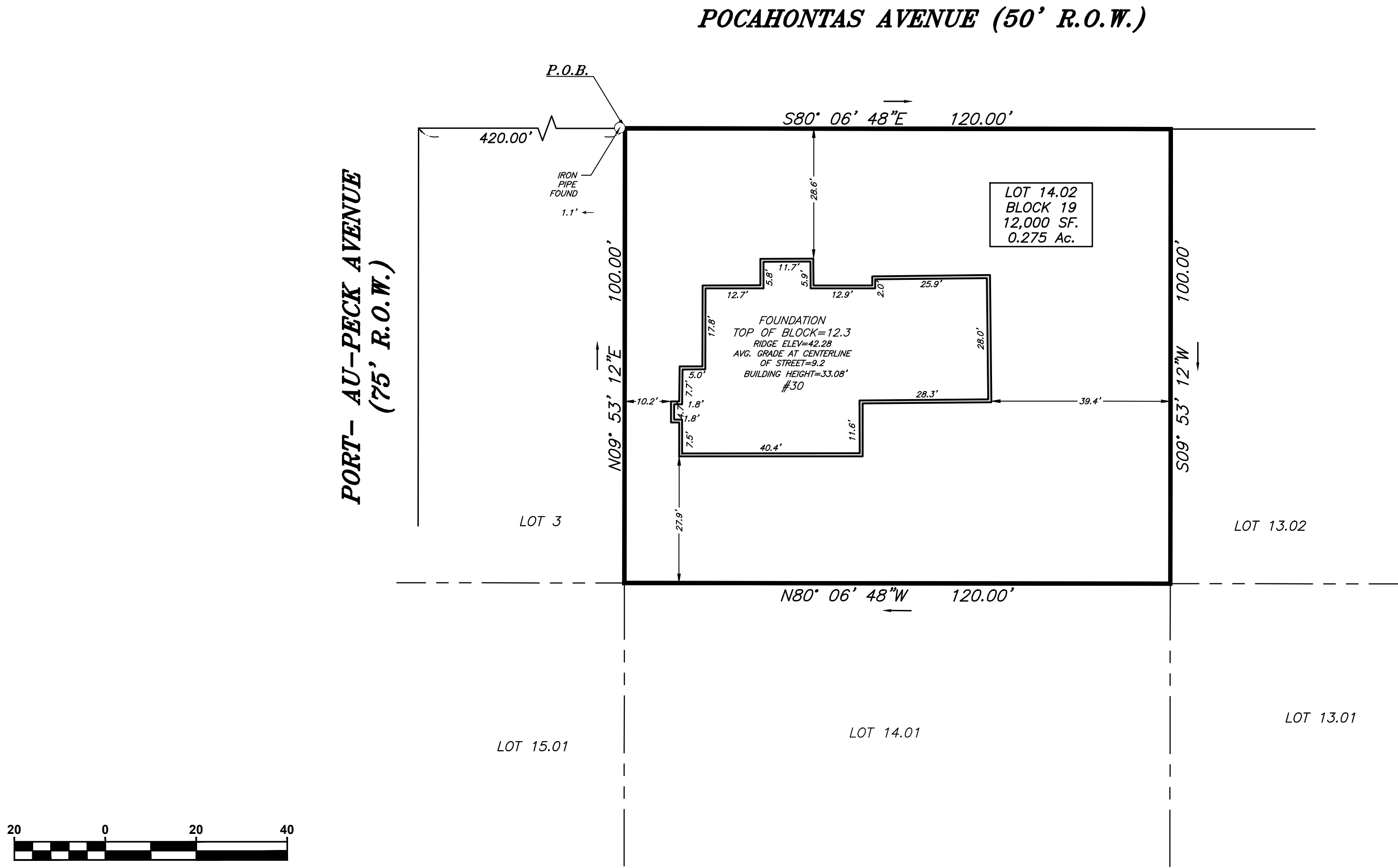
ACTION:

1. Submit an application to the Planning Board for variance relief. Contact the Planning Board Secretary to request application documents at jsmith@oceanportboro.com

Sincerely,

JEANNE SMITH, ZONING OFFICER

File: S:\Jobs\104 - Paul Kiernan\23-S1104-01 - 30 Pocahontas Avenue_Oceanport, NJ\23S110401040.dwg\23S-1104-01 - FND.dwg, ---> 18/24 SURVEY Copyright 2023, InSite Surveying, LLC. All Rights Reserved.



LEGEND	
EXISTING	
	BOUNDARY LINE
	CONTOUR LINE
	SPOT ELEVATION
	BUILDING
	WALL
	GAS
	WATER
	INLET
	STORM
	SANITARY MAIN
	OVERHEAD WIRE
	ELECTRIC
	TELEPHONE
	UTILITY POLE
	HYDRANT
	SIGN POST
	FENCE
	LIGHT FIXTURE
	TEST PIT LOCATION
	GRADE FLOW ARROW
	SWALE CENTER LINE

THIS PLAN IS FOR FRAMING PURPOSES ONLY.

SURVEY NOTES:
THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003 C. 14 (C45:8-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY HAS NOT DETERMINED THE PRESENCE/ABSENCE OF WETLANDS AT THE SITE

SUBJECT PROPERTY IS LOCATED IN FEMA PRELIMINARY FLOOD ZONE X PER FLOOD HAZARD DATA DATED 1-30-15. SUBJECT PROPERTY IS LOCATED IN FEMA EFFECTIVE FLOOD ZONE X, X 'SHADED', PER FLOOD HAZARD DATA DATED 6-20-2018.

ENGINEERING MAP REFERENCES:
A MAP ENTITLED, "PLOT PLAN P.J. & REBECCA KIERNAN, APPLICATION FOR CONSTRUCTION PERMITS, BLOCK 19, LOT 14.02 - 30 POCAHONTAS AVENUE, BOROUGH OF OCEANOIRT, MONMOUTH COUNTY, NEW JERSEY" BY WILLIAM E. FITZGERALD DATED NA

A MAP ENTITLED, "KSHAW CONSTRUCTION CO. WYANDOTTE AVENUE SUBDIVISION, BLOCK 19, LOT 14, 35 WYANDOTTE AVENUE, OCEANPORT BOROUGH, MONMOUTH COUNTY, NJ." BY INSITE ENGINEERING, LLC., DATED 5/20/22 AND LAST REVISED 12/01/22

ARCHITECTURAL MAP REFERENCES:
A MAP ENTITLED, "PROPOSED NEW RESIDENCE FOR PJ & REBECCA KIERNAN, 30 POCAHONTAS AVE. OCEANPORT, NJ 07757" BY BRIAN FITZGERALD ARCH + DESIGN, DATED 03/09/23

DEED REFERENCES:
DB 9634 PG 9566

PROJECT NAME:
**FOUNDATION
LOCATION SURVEY**
OF
BLOCK 19, LOT 14.02
30 POCAHAOTUS

SITUATED IN:
**BOROUGH OF OCEANPORT
MONMOUTH COUNTY
NEW JERSEY**

PREPARED FOR:
PAUL KIERNAN



InSite Surveying, LLC
CERTIFICATE OF AUTHORIZATION:
24GA28290100
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteSurveying.net
www.InSiteSurveying.net

CALL BEFORE YOU DIG!
NJ ONE CALL.....800-272-1000
(at least 3 days prior to excavation)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

REVISIONS		
Rev.#	Date	Comment
1	09/12/23	COMMENTS
0	06/19/23	INITIAL RELEASE
SCALE: 1"=20'		DRAWN BY: MGB
FIELD DATE: 06/16/23		CHECKED BY: JH
JOB #: 23-S1104-01		

CERTIFICATION

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

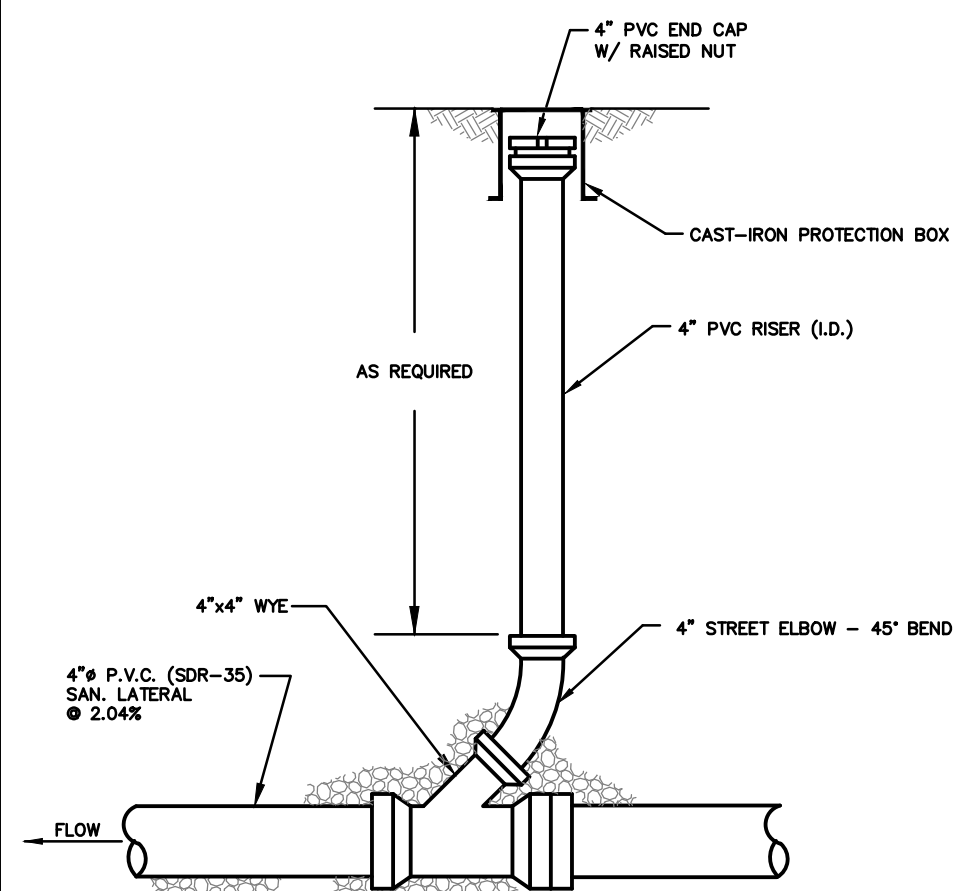
JUSTIN J. HEDGES, P.L.S., C.F.S.
PROFESSIONAL LAND SURVEYOR
NJ LIC. NO. GS43362
CERTIFIED FLOODPLAIN
SURVEYOR NJ LIC. NO. NJ-044

SHEET NO:
1 of 1

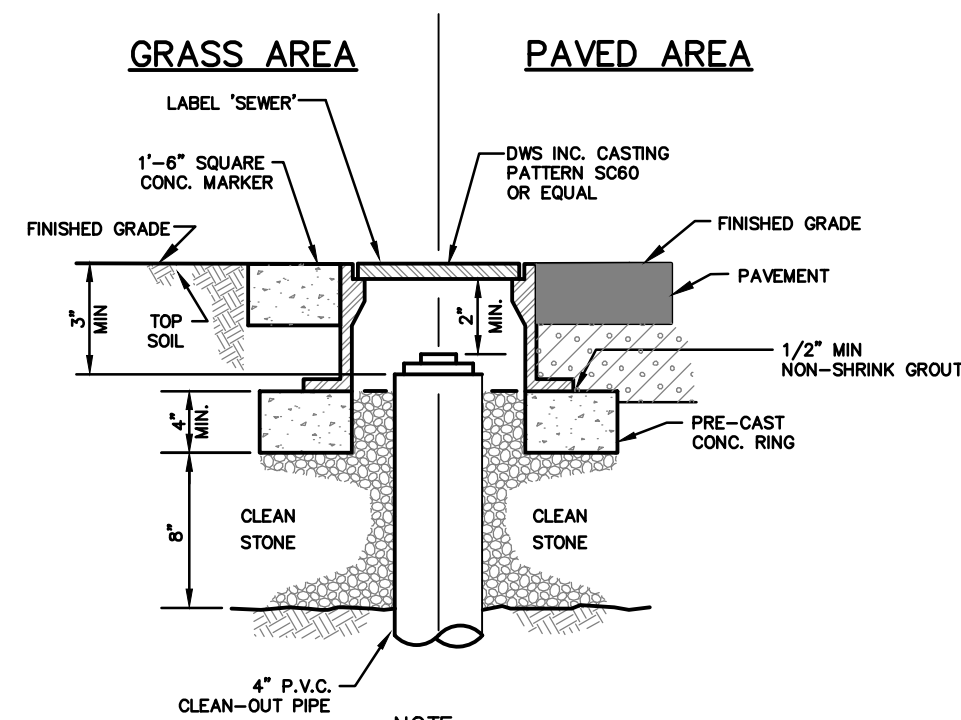
LOCATIONS OF UTILITIES AND UNDERGROUND INSTALLATIONS, IF DEPICTED HEREON, ARE APPROXIMATE AND INCOMPLETE AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL ACCURATELY LOCATE AND MARK OUT ALL SUCH FEATURES PRIOR TO COMMENCING SITE CLEARING, EXCAVATION AND/OR IMPROVEMENT CONSTRUCTION.

DEWATERING

NOTE: IF DEWATERING OF CONSTRUCTION AREAS BECOMES NECESSARY, A SUMP PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL 14-2 OF THE "STANDARDS FOR EROSION AND SEDIMENT CONTROL IN NEW JERSEY" AT THE LOCATION OF THE DEWATERING PUMP AND DISCHARGE SHALL BE PUMPED INTO SEDIMENT CONTROL BAGS COMPRISED OF DOUBLE CHAIN-STITCHED, HEAVY, NON-WOVEN Linq® FILTER CLOTH AS MANUFACTURED BY N&S RENTALS, 19600 FREDERICK ROAD, GERMANTOWN, MD 20876 - INFO AVAILABLE AT (<http://www.nrentals.com/sedcontrolbags.asp>)



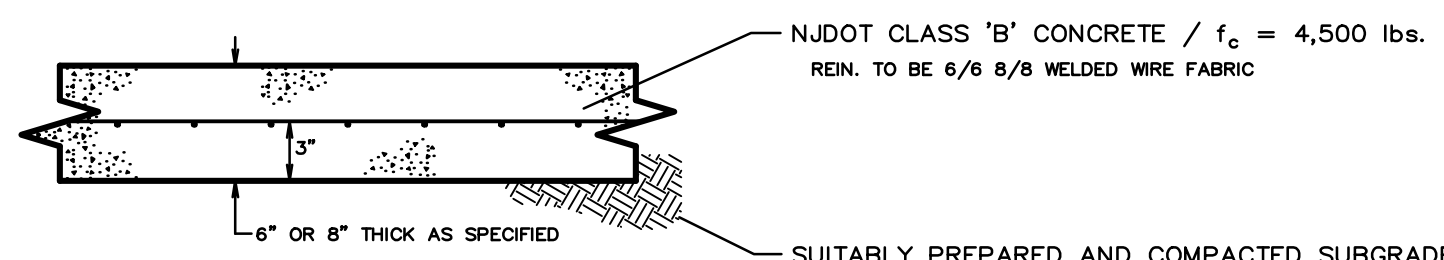
SANITARY CLEANOUT DETAIL
N.T.S.



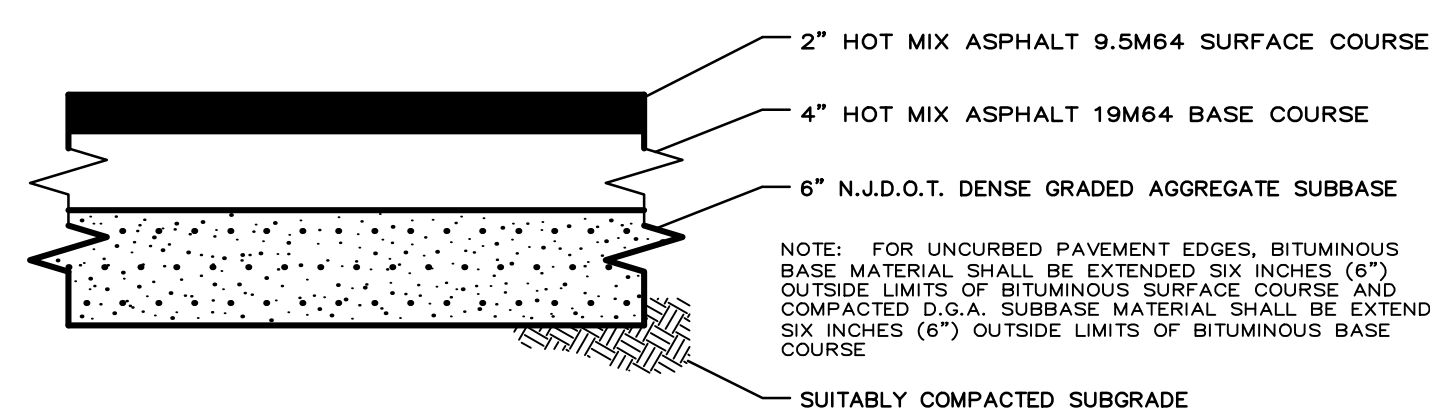
CLEAN-OUT PROTECTION BOX DETAIL
N.T.S.

CONSTRUCTION NOTES

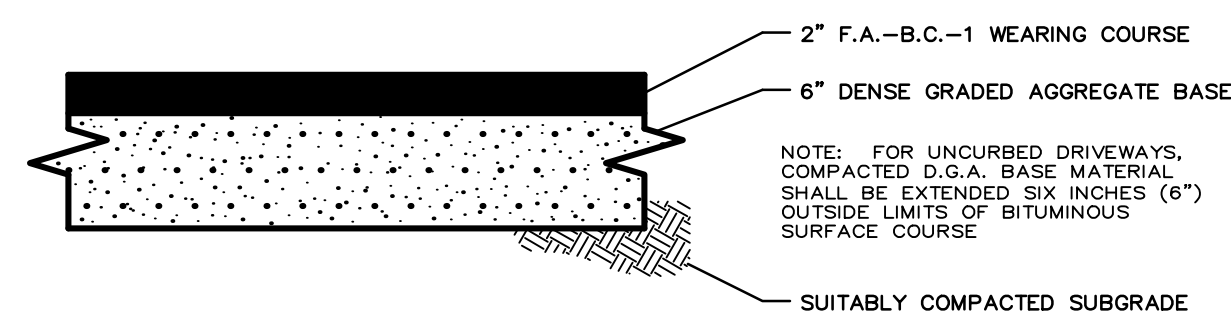
- EXISTING UTILITY AND UNDERGROUND INSTALLATION LOCATIONS SHOWN HEREON ARE APPROXIMATE AND SHALL BE ACCURATELY ESTABLISHED IN THE FIELD BY THE DEVELOPER AND/OR CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- WHEREVER A SECTION OF EXISTING ROADWAY PAVEMENT IS TO BE REMOVED FOR ANY REASON, ITS PERIMETER SHALL BE CUT CLEANLY THROUGH TO THE SUBGRADE TO PROVIDE A NEAT LINEAR EDGE FOR SUBSEQUENT PAVEMENT REPAIR.
- ALL MATERIALS, METHODS AND WORKMANSHIP UTILIZED FOR IMPROVEMENT CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1983" OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION AND SUBSECTIONS 331-8 THROUGH 331-12 OF THE OCEANPORT BOROUGH MUNICIPAL ORDINANCES.
- TREES AND OTHER NATURAL FEATURES TO BE PROTECTED DURING CONSTRUCTION SHALL BE SET OFF BY SNOW FENCING PRIOR TO INITIAL DISTURBANCE OF THE SITE.
- PURSUANT TO THE NEW JERSEY "UNDERGROUND FACILITY PROTECTION ACT" ANY/ALL PARTIES PERFORMING EXCAVATION UPON THE TRACT SHALL PARTICIPATE IN, AND COMPLY WITH, REQUIREMENTS OF THE ONE-CALL DAMAGE PRE-VENTION SYSTEM ESTABLISHED UNDER N.J.S.A. 48:2-73 et seq. (REF: <https://www.nj-1call.org/resources/nj-law/>)



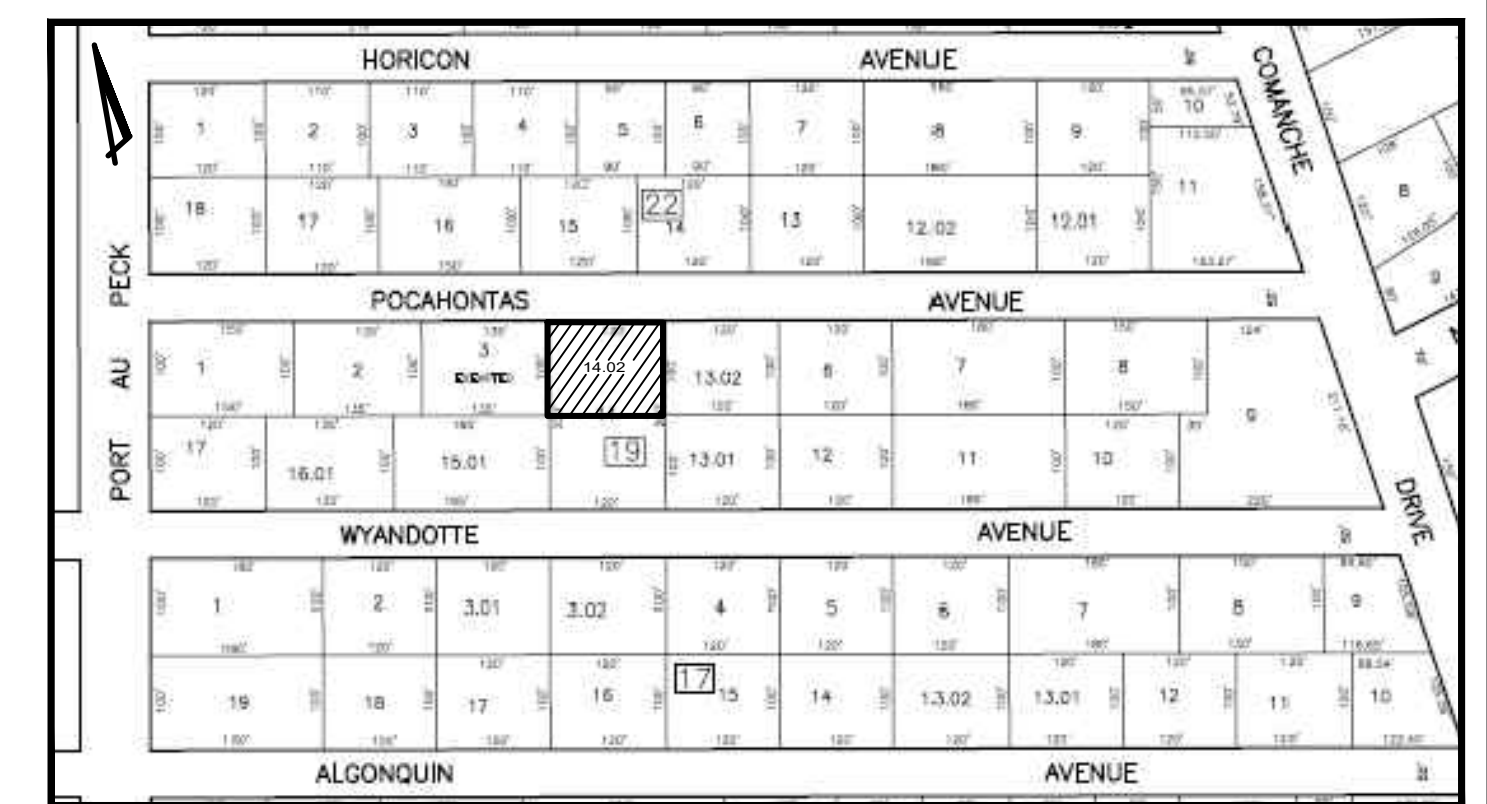
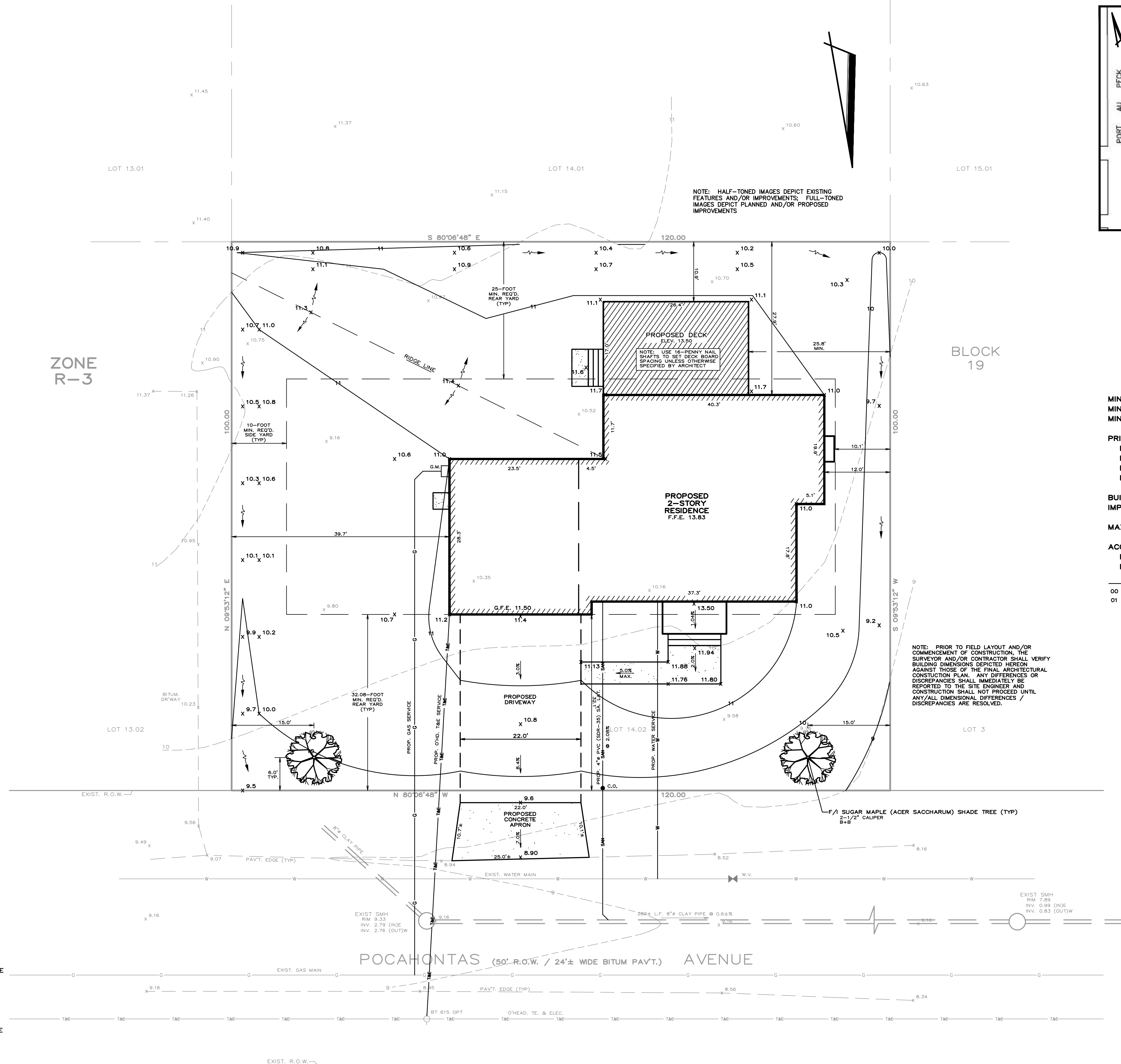
DETAIL: CONCRETE APRON SLAB



DETAIL: BITUMINOUS ROADWAY PAVEMENT



DETAIL: BITUMINOUS DRIVEWAY PAVEMENT



TAX MAP LOCATION PLAN
APPROX. SCALE: 1" = 400'

ZONING INFORMATION TABLE

CRITERION	ZONE R-3 REQ'M'T.	PROPOSED
MIN. LOT AREA	12,000 S.F.	12,000 S.F.
MIN. LOT DEPTH	100 FEET	100 FEET
MIN. LOT WIDTH	120 FEET	120 FEET
PRINCIPAL BUILDING YARD REQ'M'TS.		
MIN. FRONT YARD SETBACK	32.08 FEET ⁰⁰	32.1± FEET
MIN. TOT. OF SIDE YARD SETB'KS	25 FEET	49.8± FEET
MIN. ONE SIDE YARD SETBACK	10 FEET	10.1± FEET
MIN. REAR YARD SETBACK	25 FEET	27.9± FEET
BUILDING COVERAGE	25% / 3,000 S.F.	19.1±% / 2,293± S.F.
IMPERVIOUS COVERAGE	37% / 4,440 S.F.	26.7±% / 3,200± S.F. ⁰¹
MAX. [BUILDING] HEIGHT	2½ STYS. / 35 FEET	2½ STYS. / 32.2± FEET
ACCESS. BUILDING YARD REQ'M'TS.		
MIN. SIDE YARD SETBACK	10 FEET	N/A
MIN. REAR YARD SETBACK	5 FEET	N/A

00 - PER SUBDIVISION PLAT REFERENCE / GENERAL NOTE 2
01 - PER ORDINANCE DEFINITION OF "DECK". A DECK IS NOT CALCULATED AS IMPERVIOUS SURFACE FOR THE PURPOSES OF CALCULATING LOT COVERAGE REQUIREMENTS.

GENERAL NOTES

- THIS PROPERTY IS THE NORTHERLY HALF OF TAX LOT 14, BLOCK 19, AS DEPICTED UPON SHEET NO. 28 OF THE 2017 TAX MAP OF OCEANPORT BOROUGH (SEE TAX MAP LOCATION PLAN).
- BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON A PLAN SHEET 2 OF 2 SHEETS ENTITLED "WYANDOTTE AVENUE SUBDIVISION" PREPARED BY JUSTIN J HEDGES, PLS, FOR K SHAW CONSTRUCTION DATED 05-20-22 AND REVISED THROUGH 12-01-22.
- TOPOGRAPHIC DATUM IS NAVD 1988.
- OWNERS /APPLICANTS: P.J. & REBECCA KIERNAN
301 VILLA DRIVE
LONG BRANCH, NJ, 07740
- LOT 14.02 HAS A GROSS AREA OF 12,000± S.F. (0.275± AC.), IS LOCATED ENTIRELY WITHIN THE 'R-3' SINGLE FAMILY RESIDENTIAL MUNICIPAL LAND USE ZONE AND IS PRESENTLY UNDEVELOPED.
- PURSUANT TO F.E.M.A. PANEL 34025C0184H EFFECTIVE 6/15/2022 THE SUBJECT PROPERTY IS LOCATED WITHIN THE "AREA OF MINIMAL FLOOD HAZARD, ZONE 'X'".
- APPLICANT'S DEVELOPMENT PROPOSAL IS TO CONSTRUCT A NEW SINGLE FAMILY RESIDENCE WITH APPURTENANT IMPROVEMENTS IN CONFORMANCE WITH ZONING REQUIREMENTS OF THE BOROUGH.
- EXISTING POCAHONTAS AVENUE UTILITY SERVICES TO THE LOT TO BE UTILIZED AS APPROVED BY SERVICING UTILITY COMPANIES. NEW SERVICE CONNECTIONS TO THE PROPOSED RESIDENCE SHALL BE CONSTRUCTED.



GRAPHIC SCALE

03	10-03-23	ADD REAR YARD DECK
02	04-06-23	REVS PER MUN. ENGR REVIEW OF 04-06-23
01	03-22-23	RE-ISSUE FOR F.S.C.D. SUBMISSION
REVISION NO.	REVISION DATE	DESCRIPTION OF REVISION
PLOT PLAN		PROPOSED RESIDENCE
P.J. & REBECCA KIERNAN APPLICATION FOR CONSTRUCTION PERMITS BLOCK 19, LOT 14.02 - 30 POCAHONTAS AVENUE - ZONE R-3 - TAX MAP SHT. #11		
BOROUGH OF WEST OCEANPORT MONMOUTH COUNTY, NEW JERSEY		
William E. Fitzgerald Civil Engineers - Land Use Planners - Construction Managers P.O. BOX 550 WEST LONG BRANCH, N.J. 07764 TELE: (732) 859-3481		
		DATE: 03-10-23 SCALE: 1"=10'
DRAWN: W.E.F.		CHKD.: W.E.F.
FILE: PJK		SHEET: 1
WILLIAM E. FITZGERALD, PE, PP - N.J. LIC. NOS. 27369, 2888		DWG.: PP

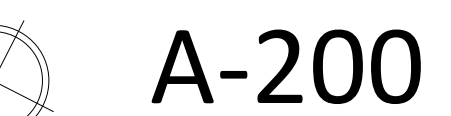


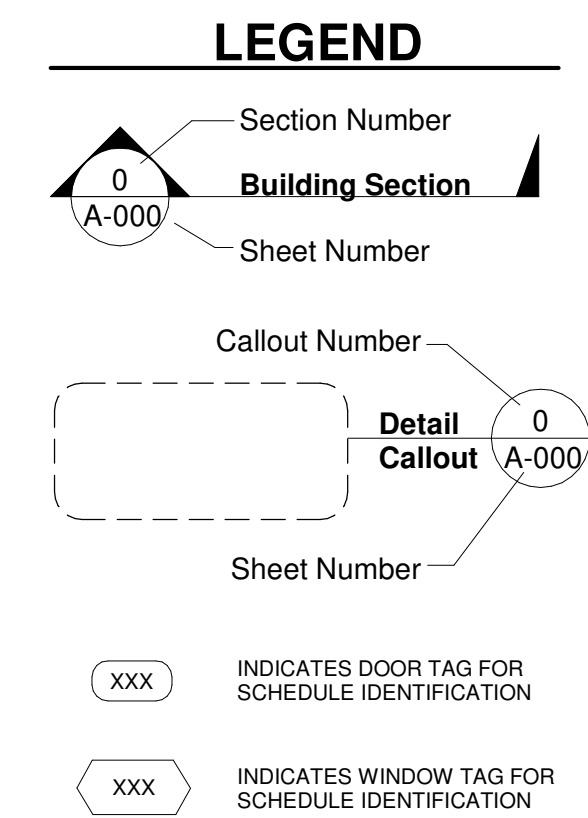


Proposed Rear Elevation
1/4" = 1'-0"

Front & Rear Elevations

Project number	2023-04
Submission Date	03/09/23
Sheet Issue Date	09/19/23
Drawn by	BPF
Checked by	BPF





Brian Fitzgerald R.A., NCARB, A.I.A., LEED AP
NJ Lic. # 21A10205680041
NCARB Cert. # 88189
East Main Street
Oceanport, NJ 07757
P: (732) 859-4968
Brian@bfarchdesign.com

Proposed New Residence For

PJ & Rebecca
Kiernan

30 Pocahontas Ave.
Oceanport, NJ 07757

Block: 19

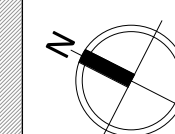
Lot: 14.02

These drawings and specifications are issued as instruments of the architect's service for use solely with respect to this project. These drawings and specifications shall not be used by the owner or by others on other projects, for additions to this project, or for completion of this project by others, without the agreement of the architect.

[illegible]

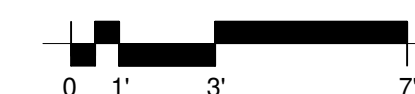
Side Elevations

Project number	2023-04
Submission Date	03/09/23
Sheet Issue Date	09/19/23
Drawn by	BPF
Checked by	BPF



A-201

Scale $1/4" = 1'-0"$



Proposed Right Side Elevation
1/4" = 1'-0"



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3080)

Meeting: 02/27/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3080

9.2

Polonsky, Vadim & Concetta

502 Branchport Avenue
Block 65, Lot 32

Proposed construction of 2nd floor addition seeking variance relief for:

- Expansion of existing non-conforming structure prohibited by 390-10B(2)(b).
- Side yard setback of 5.64' existing where 10' minimum one side and a combined total of 25' required.
- Minimum Habitable Floor Areas - 2-story requires 2,000 total s.f. with 1st floor being 1,150 s.f. and 2nd floor being 850s.f.
- Maximum Height of Roof Ridge as measured at the center of the property from the crown of the road is not adequately provided on the submitted plan

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



January 24, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

502 Branchport Avenue – Bulk Variance
Block 65, Lot 32
Application No. PB2023-17
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0355

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Plot Plan," prepared by Land Control Services, LLC, last dated December 19, 2023, consisting of one (1) sheet.
- Plans entitled "Proposed Addition and Renovation for the Polonsky Residence," prepared by Dario Architecture Design, last revised December 20, 2023, consisting of six (6) sheets.
- Plan entitled "Location & Topographic Survey" prepared by Land Control Services, LLC, last revised December 7, 2023, consisting of one (1) sheet.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 15,862.5 SF (0.3642 acres) on the west side of Branchport Avenue approximately 15 feet south of the paper street portion of Onondaga Avenue. The Applicant proposes a second-floor addition over the first-floor footprint.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below.

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:

- a. A Variance is required for the expansion of a non-conforming structure in accordance with Ordinance 390-10B(2)(b). The Non-conformity is the principle structure side yard setback of 5.64 feet whereas 10 feet is required. The applicant received a variance in 2018 for the setback which permitted the reconstruction of the dwelling.
- b. Side Yard Setback, Accessory Structure- the R-3 Zone requires accessory structures to provide a side yard setback of 10 feet, the existing shed is currently 8.53 feet off the property line.
- c. Maximum Impervious Coverage – the zone permits a maximum impervious coverage of 37%, the site is currently at 39.6% impervious coverage. It appears that the paved court area was added after the application was heard in 2018, based on aerial images.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

Project No. OPP-0355
January 24, 2024
Page 3 | 3



Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design
(DBA Maser Consulting)

A handwritten signature in blue ink, appearing to read "W.H. White, III".

William H.R. White, III, PE, PP, CME, CFM, CPWM
Planning Board Engineer and Planner

WHW/

cc: Concetta Polonsky, Applicant (via email)
James Goddard, PLS (via email)
Dario Pasquariello, AIA (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\M-P\Opp\OPP0355\Correspondence\OUT\240124_whw_502_branchport_review#1.docx



Oceanport Borough
ZONING DEPARTMENT
910 OCEANPORT WAY
OCEANPORT, NJ 07757
(732) 222-0641
JSMITH@OCEANPORTBORO.COM

Application Date: 11/10/2023
Application Number: ZA-23-0200
Permit Number: _____
Project Number: _____

Fee: \$100

Denial of Application

Date: 11/16/2023

To: CONCETTA POLONSKY CC: APP EMAIL [REDACTED]

RE: 502 BRANCHPORT AVE
BLOCK: 65 LOT: 32 QUAL: ZONE: R-3

DEAR CONCETTA POLONSKY,

This application seeks approval for a residential construction project to expand an existing ranch-style house. The proposed expansion involves adding a second floor with two bedrooms and a loft, resulting in an additional 697 square feet of living space.

Your request is hereby denied based upon the following requirements:

Proposed construction of 2nd floor addition over 1st floor footprint as shown on plans submitted "Proposed Addition & Renovation for Polonsky Residence 502 Branchport Ave, prepared by Dario Architecture/Design, 6 Sheets, dated 10/16/2023 is not compliant with 390-9, 390-10B(2)(b), 390-Schedule II and 390-Schedule III and requires variance relief as follows:

- Expansion of existing non-conforming structure prohibited by 390-10B(2)(b).
- Side yard setback of 5.64' existing where 10' minimum one side and a combined total of 25' required.
- Minimum Habitable Floor Areas - 2-story requires 2,000 total s.f. with 1st floor being 1,150 s.f. and 2nd floor being 850s.f. - (Plans submitted do not provide 1st floor area or a zoning table data).
- Maximum Height of Roof Ridge as measured at the center of the property from the crown of the road is not adequately provided on the submitted plan

ACTION:
Submit an application to the Planning Board for variance relief. Contact the Planning Board Secretary to request application documents at jsmith@oceanportboro.com

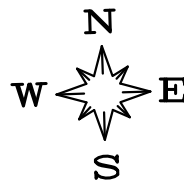
Sincerely,

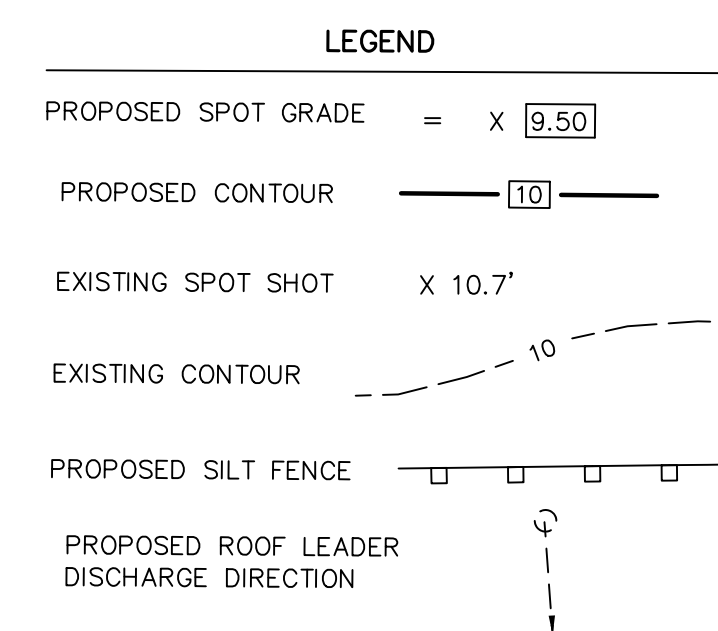
JEANNE SMITH, ZONING OFFICER

SMH
RIM=9.7' X

NOTES:

1. THE PROPERTY IS KNOWN AS LOT 32 IN BLOCK 65 AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF OCEANPORT.
2. BEING ALSO KNOWN AS LOT 32 IN BLOCK 65 AS SHOWN ON A MAP ENTITLED " MINOR SUBDIVISION OF PROPERTY " PREPARED BY CHARLES WIDDIS ASSOCIATES ENGINEERS, SURVEYORS AND PLANERS DATED 10/23/1987 SAID MAP IS UNFILED
3. ELEVATIONS SHOWN HEREON ARE BASED ON 1988 DATUM OBTAINED USING GPS TOPNET.
4. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH MAY BE DISCLOSED BY A TITLE SEARCH, UNDERGROUND STRUCTURES AND/OR UTILITIES NOT LOCATED.
5. OFFSET DIMENSIONS FROM STRUCTURES TO THE PROPERTY LINES SHOWN HEREON ARE TO THE FOUNDATION AND NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.
6. TO GET PEAK HIGHT SUBTRACT ELEVATION OF CROWN AT MIDPOINT OF LOT FROM PEAK ELEVATION $(34.6' - 10.1' = 24.5')$

1	REVISION AS PER BOROUGH AND HOMEOWNER	12/7/23	CWK	JBG	
NO.	REVISION	DATE	DRAWN	CHECKED	
LOCATION & TOPOGRAPHIC SURVEY PREPARED FOR "POLONSKY" LOT 32 OF BLOCK 65 SITUATED IN BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY					
		LAND CONTROL SERVICES, LLC		DATE	11/07/2023
		SURVEYING & MAPPING 620 WARDELL STREET LONG BRANCH, NEW JERSEY 07740 (732) 229-7628 landcontrol1@gmail.com		SCALE	1" = 20'
				DRAWN	CWK
JAMES B. GODDARD, PLS LICENSE NO. 37588 				CHECKED	JBG
				FILE NO.	1547
				SHEET 1 OF 1	



GENERAL NOTES:

GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, VERIFY ALL DIMENSION IN FIELD, AND SHALL BE RESPONSIBLE FOR COORDINATING ALL TRADE WORK. CONSULT ARCHITECT FOR AND DEVIATION FROM PLANS PRIOR TO CONSTRUCTION. CONSULT AND NOTIFY ARCHITECT IN WRITING PRIOR TO PLAN SUBMISSION OF ANY MIS-REPRESENTED METHOD OR CALL OUTS, OMISSION OF ITEMS, OR OMISSION OF INTENT FOR CONSTRUCTION OR PROPOSED WORK.

NOTIFY ARCHITECT OF ANY DISCREPANCY IN SPECIFICATIONS AND/OR DRAWINGS PRIOR TO PROPOSED WORK. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. CONTRACTOR SHALL REVIEW THE SUBJECT PROPERTY AND CONFIRM HE OR SHE IS CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY IN ORDER TO ACHIEVE THE OVERALL DESIGN INTENT. OVERALL WORKMANSHIP SHALL RESULT IN A CONSISTENT MANNER OF QUALITY WITHIN THE REGION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. NOTIFY ARCHITECT OF ANY DEVIATIONS BEFORE PROCEEDING WITH WORK.

CONTRACTORS MUST COMPLY WITH AND STRICTLY ADHERE TO LOCAL, STATE AND O.S.H.A SAFETY REQUIREMENTS. PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AS REQUIRED

ALL WORK MUST COMPLY WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL SUBCODES PER THESE PLANS, AND MUST CONFORM TO ACCEPTED GOOD PRACTICE AS DESCRIBED IN THE 2021 INTERNATIONAL RESIDENTIAL CODE – NJ EDITION, AND THE INTERNATIONAL ENERGY CONSERVATION CODE, THE 2021 EDITION AS ADOPTED BY THE NJUCC. THE 2021 INTERNATIONAL CONSTRUCTION CODE, NEW JERSEY ADDN., THE 2021 INTERNATIONAL MECHANICAL CODE, THE 2021 INTERNATIONAL FUEL GAS CODE, THE 2020 NATIONAL ELECTRICAL CODE, THE 2021 NATIONAL PLUMBING CODE, THE BARRIER FREE SUBCODE/ANSI A117.1-2006 AND THE STATE OF N.J. UNIFORM CONSTRUCTION CODE. ALL CODES ARE AVAILABLE ONLINE TO CONTRACTORS. AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS AND ALL RELATED NJ U.C.C. CODES AND ADOPTED AMENDMENTS. WORK SHALL ALSO COMPLY WITH ALL STATE, FEDERAL AND LOCAL CODES, REGULATIONS, REQUIREMENTS, CONDITIONS, VARIANCES, AND ORDINANCES APPLICABLE, AND THE MINIMUM STANDARDS SET WITHIN THESE SPECIFICATIONS.

THESE PLANS ARE REPRESENTATIVE OF AN OVERALL DESIGN CONCEPT. THEY HAVE BEEN ASSEMBLED TO ILLUSTRATE AN OVERALL ASSEMBLY AND METHOD OF CONSTRUCTION WITH VARIOUS COMPONENTS PER PLANS. ALL ILLUSTRATION OF CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. WHERE LOCAL CODES CONFLICT WITH THESE DRAWINGS, CODE REQUIREMENTS TAKE PRECEDENCE.

THESE DRAWINGS ARE TOOL, AND AS INSTRUMENT OF INTELLECTUAL SERVICE. THEY SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND DESIGN FIRM WHO SHALL BE ABLE TO USE THE DRAWINGS AS THEY SEE FIT. THESE DRAWINGS SHALL NOT BE USED FOR A BUILDING PERMIT OR CONSTRUCTION UNLESS CERTIFIED BY THE ARCHITECTS SIGN AND RAISED SEAL, UNLESS STATED IN A WRITTEN LETTER. THESE DRAWINGS SHALL ONLY BE USED FOR (1) PROPERTY OR PROJECT AND SHALL NOT BE USED AS A PROTOTYPE WITH OUT ARCHITECT AND DESIGNERS WRITTEN CONSENT.

ALL CONTRACTORS SHALL PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS HEREIN. ALL WORK SHALL BE COMPLETED TO THE FULL INTENT OF THESE DESIGN DOCUMENTS. SHOULD ANY QUESTION AS TO COMPLETION REQUIREMENTS ARISE, THEY SHALL BE BROUGHT FORTH IN WRITING TO THE OWNER OR ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

ALL WORK SHALL BE PERFORMED BY LICENSED BUILDING TRADES WHERE APPLICABLE. ALL CONTRACTORS, AND SUBCONTRACTORS, SHALL PROVIDE A CERTIFICATE OF INSURANCE FOR THE PROJECT.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BUILDING PERMITS

ARCHITECT AND DESIGNER ARE NOT RESPONSIBLE FOR EXISTING CONDITIONS, NOR IS THE ARCHITECT OR DESIGNER RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED BECAUSE OF CONDITIONS UNCOVERED DURING DEMOLITION/CONSTRUCTION. THESE DRAWINGS ARE BASED UPON INFORMATION SUPPLIED BY OWNER INCLUDING DRAWINGS, SURVEY, CERTIFICATES, AND VISIBLE AREA OF ACCESS FOR EXISTING BRICK AND MORTAR CONDITIONS.

ARCHITECT AND DESIGNER IS NOT RESPONSIBLE FOR ZONING ANALYSIS UNLESS A WRITTEN CONTRACT FOR ZONING REVIEW AND ANALYSIS HAS BEEN SIGNED AND ARCHITECTS SERVICES HAVE BEEN RETAINED.

OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED SOILS TESTING ENGINEER TO DETERMINE THE ACTUAL BEARING CAPACITY OF SOILS AT SPECIFIED JOB SITE LOCATION. ALL FOOTING SHALL BEAR ON UNDISTURBED SOILS WITH A BEARING CAPACITY OF 3,000 PSF OR GREATER.

THE FOLLOWING ARE TO BE FURNISHED BY THE OWNER, UNLESS OTHERWISE NOTED IN THESE PLANS:

1. SITE GRADING, SOIL BEARING CAPACITY, DRAINAGE, UTILITIES, AND BUILDING LOCATION.
2. SELECTION OF INTERIOR MATERIALS, FINISHES, CABINETRY, AND HARDWARE.
3. STANDARDS OF QUALITY AND ACCEPTABLE MANUFACTURERS FOR PREFABRICATED ITEMS.
4. DESIGN OF HEATING AND VENTILATION SYSTEMS.
5. DESIGN OF PLUMBING SUPPLY, DRAINAGE, AND WASTE SYSTEMS.
6. ELECTRICAL SYSTEM, WIRE TYPE AND SIZES OF EQUIPMENT.

ANY MODIFICATION TO THESE PLANS, BY THE OWNER OR CONTRACTOR, SHALL NOT BE MADE UNLESS A WRITTEN LETTER IS SUPPLIED TO THE ARCHITECT AND DESIGNER FOR APPROVAL. ANY CHANGES, COMMISSION, AND DEVIATIONS FROM THESE PLANS SHALL BE THE SOLE RESPONSIBILITY OF THE PARTY EXECUTING UNRECORDED MODIFICATIONS.

THE CONTRACTORS SHALL TAKE NECESSARY STEPS TO PROTECT THE WORK FROM DAMAGE AT ALL TIMES AS WELL AS MAINTAIN CONTRACTOR'S LIABILITY, PROPERTY DAMAGE INSURANCE AND WORKMAN'S COMPENSATION INSURANCE.

THE ARCHITECT AND DESIGNER HAVE PREPARED THESE DRAWINGS BASED ON DISCUSSIONS WITH THE OWNERS, AND THE ARCHITECT AND DESIGNERS OWN KNOWLEDGE OF CONSTRUCTION TECHNIQUES AND APPLICABLE BUILDING CODES. THE OWNER SHALL REVIEW THE FINAL PLANS AFTER FULL PAYMENT HAS BEEN MADE FOR SERVICES. THE OWNER SHALL APPROVE THE PLANS TO INSURE HIS OR HER OVERALL GOAL AND DESIGN INTENT HAVE BEEN MET, AND SHOULD NOTIFY THE ARCHITECT IMMEDIATELY (PRIOR TO START OF WORK) OF ANY CHANGES DESIRED.

ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AS SPELLED OUT IN THESE NOTES. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES FOR ALL ITEMS WHICH MAY PERTAIN TO THEIR TRADES. FAILURE TO READ THE NOTES DOES NOT PERMIT THE CONTRACTOR TO DEVIATE FROM THEIR REQUIREMENTS.

THE OWNER, CONTRACTOR, AND SUBCONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT AND DESIGNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE AND TIME OF WORK BY THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS. ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE AND SPEED OF THEIR WORK; COORDINATION WITH OTHER TRADES; METHODS, SAFETY AND SECURITY ON THE JOB SITE. THE ARCHITECT OF RECORD, ARCHITECTS OFFICE, AND DESIGNER OF THIS PACKET ARE NOT TO BE HELD RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS AND SUBCONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.

DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND DISCHARGE ALL ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST FIVE FEET FROM THE FOUNDATION WALL IN ACCORDANCE W/ SECTION R801.3 OF THE INTERNATIONAL RESIDENTIAL CODE 2018, NJ EDITION. FINISHED GRADING SHALL BE PITCHES AT A MINIMUM SLOPE OF 1/4 INCH PER FOOT FOR RUNOFF.

SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE LOCATED IN ALL SLEEPING AREAS AND ON EACH FLOOR LEVEL. IN ADDITION THEY ARE TO BE HARD-WIRED W/ BATTERY BACK-UP, INTERCONNECTED AND ALARMED. REFER TO PLANS FOR LOCATIONS

THESE PLANS ARE DEVELOPED BASED ON A 3--SECOND WIND GUST OF 125 MPH. REFER TO TABLE 802.11 OF THE I.R.C. 2018 N.J. EDITION FOR RESISTANCE TO UPLIFT FORCES.

PROVIDE ADEQUATE PROTECTION TO ADJACENT PROPERTIES IN CLOSE PROXIMITY TO NEW CONSTRUCTION IN ACCORDANCE W/ SECTION 5-23: 2.15(F)(1) WHERE ANY CONDITIONS IN (F)(1)(A) THROUGH (C) ARE MET.

ALL PRODUCTS SHALL BE SIZED, INSTALLED, AND FINISHED IN STRICT ACCORDANCE WITH THE GUIDELINES AND SPECIFICATIONS OF THE MANUFACTURER AND APPROPRIATE TEST LABORATORIES. ALL REQUIREMENTS AND ACCESSORIES SHALL BE UTILIZED, AS REQUIRED, SO AS TO INSURE COMPLETE PERFORMANCE OF THE PRODUCT. ALL PRODUCTS SHALL BE INSTALLED TO CARRY MAXIMUM AVAILABLE MANUFACTURER'S WARRANTY FOR THE INSTALLATION.

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALL CONDITIONS, UNLESS OTHERWISE NOTED.

PROVIDE TERMITE AND WOOD BORING INSECT TREATMENT AS A PRECAUTIONARY MEASURE IF NEIGHBORING SITE HAVE ISSUES WITH ANY WOOD BORING INSECTS.

ALL DOORS AND WINDOWS SHALL HAVE A MINIMUM DOUBLE 2X10 HEADER UNLESS OTHERWISE NOTED.

RENOVATION NOTE:

ALL LOADS SHOWN ARE THOSE APPLIED TO NEW STRUCTURAL MEMBERS AS SHOWN IN THESE PLANS ONLY, AND ARE NOT AN INDICATION OF THE BEARING CAPACITY OF ANY EXISTING STRUCTURAL MEMBERS. LOAD DESIGN APPLIES ONLY TO AREAS OF NEW CONSTRUCTION. THESE PLANS ARE NOT INTENDED TO INDICATE OR VERIFY THE STRUCTURAL CAPACITY & STABILITY OF ANY EXISTING FRAMING MEMBERS. THE FOLLOWING PLANS CONFORM TO THE REQUIREMENTS OUTLINED IN THE PRESCRIPTIVE METHOD OF THE AMERICAN FOREST AND PAPER ASSOCIATIONS WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS LOCATED IN A 125 MPH EXPOSURE B WIND ZONE. LOAD DESIGN APPLIES ONLY TO AREAS OF NEW CONSTRUCTION. THESE PLANS ARE NOT INTENDED TO INDICATE OR VERIFY THE STRUCTURAL CAPACITY & STABILITY OF ANY EXISTING FRAMING MEMBERS.

CONTRACTOR SHALL REVIEW PLANS AND VERIFY ALL DIMENSIONS AND JOIST SIZES IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION. CONSULT ARCHITECT OF ANY IRREGULAR, ERRONEOUS, OR UNFORSEEN CONDITIONS

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE (IBC) 2021
INTERNATIONAL RESIDENTIAL CODE (IRC) 2021, NJ EDITION
INTERNATIONAL MECHANICAL CODE 2021
INTERNATIONAL FUEL GAS CODE 2021
INTERNATIONAL ENERGY CONSERVATION CODE 2021
International Code Council (888)-422-7233
NATIONAL ELECTRICAL CODE (NFPA 70) 2020
National Fire Protection Association (617)-770-3000
NATIONAL STANDARD PLUMBING CODE 2021
National Association of P-H-C Contractors (609)-499-8070
NEW JERSEY UNIFORM CONSTRUCTION CODE
State of N.J. D.C.A. (609)-984-7672

DESIGN LOAD CRITERIA DATA:

FIRST FLOOR JOISTS:

LIVE LOAD: 40 PSF
DEAD LOAD: 10 PSF
TOTAL LOAD: 50 PSF

SECOND FLOOR JOISTS:

SLEEPING QUARTERS:
LIVE LOAD: 30 PSF
DEAD LOAD: 10 PSF
TOTAL LOAD: 40 PSF

OTHER USES:

LIVE LOAD: 40 PSF
DEAD LOAD: 10 PSF
TOTAL LOAD: 50 PSF

ATTIC FLOOR JOISTS: (GREATER THAN 42" VERTICAL CLEARANCE)

LIVE LOAD: 20 PSF
DEAD LOAD: 10 PSF
TOTAL LOAD: 30 PSF

NOTE: LOADS ARE FOR NON-HABITABLE SPACE IN ATTIC ROOF:

LIVE LOAD: 25 PSF
DEAD LOAD: 15 PSF
TOTAL LOAD: 40 PSF

ENERGY SUBCODE COMPLIANCE:**WALL ASSEMBLY:**

a. OUTSIDE AIR FILM	.17
b. SIDING	.92
c. R-21 INSULATION	21.00
d. TYVEK	.12
e. 1/2" GYPSUM BOARD	.45
f. INSIDE AIR FILM	.68
TOTAL (R) VALUE:	23.34

ROOF ASSEMBLY: (R REQUIRED – MIN. 30 @ CATHEDRALS ONLY)

a. OUTSIDE AIR FILM	.68
b. R-38 INSULATION	38.00
c. 1/2" GYPSUM BOARD	.45
d. INSIDE AIR FILM	.68
TOTAL (R) VALUE:	39.81

FLOORS OVER UNHEATED SPACES (R REQUIRED – 30 MIN.)

a. PLYWOOD	.93
b. R-38 INSULATION	38.00
c. HARDWOOD	.90
TOTAL (R) VALUE:	39.83

4. WINDOWS TO HAVE U-FACTOR NO GREATER THAN 0.3 [BTU / (HR FT² F)]

5. DOORS TO HAVE U-FACTOR NO GREATER THAN 0.6 [BTU / (HR FT² F)]

6. ALL CONSTRUCTION TO CONFORM WITH ICC MODEL ENERGY CODE 2021.

7. ALL EXTERIOR JOINTS AROUND WINDOWS, DOORS, UTILITY PENETRATIONS AND INTERSECTIONS OF WALLS, ROOFS AND FLOORS SHALL BE CAULKED & SEALED W/ AN APPROVED ELASTIC CAULKING COMPOUND.

8. RECESSED LIGHTING FIXTURES MUST BE IC RATED WHERE INSULATION IS NEARER THAN 3" TO THE LIGHT FIXTURE. ALL RECESSED LIGHTS MUST BE TIGHTLY SEALED OR GASKETED TO PREVENT AIR LEAKAGE THROUGH THE FIXTURE INTO THE CEILING CAVITY OR ATTIC AREA.

9. IN ALL FRAMED WALLS, FLOORS, AND ROOF/CEILINGS COMPRISING ELEMENTS OF THE BUILDING THERMAL ENVELOPE, A VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

10. INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS, INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84.

11. ALL EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.

12. EXTERIOR WINDOWS AND GLASS DOOR SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS SET FORTH.

13. THE INSTALLER SHALL PROVIDE SIGNED AND DATED STATEMENTS CERTIFYING THE PRODUCTS INSTALLED, FOR BLOWN OR SPRAYED INSULATION, THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, COVERAGE AREA, AND THE NUMBER OF BAGS MUST BE POSTED IN A CONSPICUOUS LOCATION ON THE JOB SITE. IN ATTICS, THICKNESS MARKERS FACING THE ATTIC ACCESS MUST BE PLACED AT LEAST ONCE EVERY 300 SQUARE FEET.

14. JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS AS REQUIRED.

15. MANUFACTURER MANUALS FOR ALL INSTALLED HEATING AND COOLING EQUIPMENT MUST BE LEFT WITH THE HOME UPON COMPLETION OF CONSTRUCTION.

16. WINDOWS SHALL HAVE AN AIR INFILTRATION RATE BELOW .3 CFM PER SQUARE FOOT OF WINDOW AREA

BUILDING CHARACTERISTICS:

USE GROUP R-5
TYPE OF CONSTRUCTION 5B
OCCUPANT LOAD: 4 ADD'L PEOPLE
BUILDING HEIGHT: 31'-5" CROWN OF RD. @ MID-POINT OF LOT TO RIDGE

SQUARE FOOTAGE COMPUTATIONS:

BASEMENT AREA (EXT'G UNCHANGED) 1,092 S.F.
FIRST FLOOR AREA (EXT'G UNCHANGED) 2,265 S.F.
SECOND FLOOR AREA (NEW) 898 S.F.
COVERED PORCH AREA (EXT'G UNCHANGED) 138 S.F.
GARAGE AREA (EXT'G UNCHANGED) UNCHANGED

TOTAL LIVING AREA (NEW AND EXIST'G) 3,163 S.F..
TOTAL VOLUME AREA (NEW AND EXIST'G) 38,659 C.F.

TOTAL ATTIC AREA 2.93 S.F.
VENTILATION REQUIRED

DRAWING SHEET INDEX:

- A1.0 COVER SHEET, GENERAL NOTES, & SYMBOLS
- A1.1 GENERAL NOTES, RES-CHECK
- A2.0 FOUNDATION PLAN WALL SECTION & DETAILS
- A3.0 FIRST FLOOR PLAN AND DETAILS
- A4.0 SECOND FLOOR PLAN, ROOF PLAN, AND DETAILS
- A5.0 EXTERIOR ELEVATIONS

WIND LOAD

1. BASIC WIND SPEED (3 SECOND GUST)

M/H WIND SPEED – 125 M.P.H. @ 33FT. ABOVE GRADE

2. WIND IMPORTANCE FACTOR, I, AND BUILDING CATEGORY

1w = 1.00 BUILDING CATEGORY I

3. WIND EXPOSURE: EXPOSURE B

SNOW LOAD

GROUND SNOW LOAD: 30lbs/ft²

BUILDING CATEGORY: 1

IMPORTANCE FACTOR (SNOW LOAD) = 1.0

EXPOSURE FACTOR = .9 (EXPOSURE CATEGORY C)

THERMAL FACTOR: Ct = 1.0 (AS PER ASCE 7.95 TABLE 7-3)

LEGEND

NEW STUD WALL

BLOCK WALL

BRICK VENEER

EARTH (PER PLAN)

BATT INSULATION

RIGID INSULATION

SOLID WOOD POSTING

GRAVEL / SUB-GRADE

CONCRETE / SLAB

STONE, SAND, GROUT

DRAWING REFERENCE

3.5" STEEL COLUMN UNLESS OTHERWISE NOTED

POINT LOAD ABOVE

BEAM

REVISION TAG

CMU FILLED SOLID

HTT-4 BY "SIMPSON"

ELEVATION REFERENCE DRAWING NUMBER

SECTION REFERENCE DRAWING NUMBER

DETAIL REFERENCE DRAWING NUMBER

PROPOSED ADDITION AND RENOVATION FOR THE: POLONSKY RESIDENCE

502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH COUNTY

**FASTENING SCHEDULE: WFCM 125 MPH EXPOSURE B WIND ZONE****GENERAL NAILING SCHEDULE**

JOINT DESCRIPTION	NUMBER OF COMMON NAILS	NUMBER OF BOX NAILS	SPACING OF FASTENERS
ROOF FRAMING:			
BLOCKING TO RAFTER (TOE NAILED)	2-8d 2-16d	2-10d 3-16d	EACH END EACH END
WALL FRAMING:			
TOP PLATES @ INTERSECTIONS (FACE NAILED)	4-16d 2-16d	5-16d 2-16d	AT JOINTS 24" O.C. 16" O.C. ALONG EDGES
FLOOR FRAMING:			
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4-8d 2-8d	4-10d 2-10d	PER JOIST EACH END
BLOCKING TO JOIST (TOE NAILED)	3-16d	4-16d	EACH JOIST
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3-16d	4-16d	EACH JOIST
LEDGER STRIP TO BEAM OR GIRDER (FACE NAILED)	3-8d	3-10d	PER JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3-16d	4-16d	PER JOIST
BAND JOIST TO JOIST (END NAILED)	2-16d	3-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)			
ROOF SHEATHING:			
-WOOD STRUCTURAL PANELS- RAFTERS OR TRUSSES SPACED UP TO 16" O.C.	8d	10d	6" EDGE / 6" FIELD
RAFTERS OR TRUSSES SPACED OVER 16" O.C.	8d	10d	4" EDGE / 4" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/O OVERHANG	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/ STRUCT. OUTLOOKERS	8d	10d	6" EDGE / 6" FIELD
GABLE ENDWALL RAKE OR RAKE TRUSS W/ LOOKOUT BLOCKS			
CEILING SHEATHING:	5d COOLERS	-	7" EDGE / 10" FIELD
GYPSUM WALLBOARD			
WALL SHEATHING:			
-WOOD STRUCTURAL PANELS- STUDS SPACED UP TO 24" O.C.	8d	10d	6" EDGE / 12" FIELD
1/2" AND 25/32" FIBERBOARD PANELS	5d COOLERS	-	3" EDGE / 6" FIELD
1/2" GYPSUM WALLBOARD			7" EDGE / 10" FIELD
FLOOR SHEATHING			
-WOOD STRUCTURAL PANELS- 1" OR LESS GREATER THAN 1"	8d 10d	10d 16d	6" EDGE / 12" FIELD 6" EDGE / 6" FIELD

* CORROSION RESISTANT 11 GAGE ROOFING NAILS AND 16 GAGE STAPLES ARE PERMITTED, CHECK IBC FOR ADDITIONAL REQUIREMENTS.

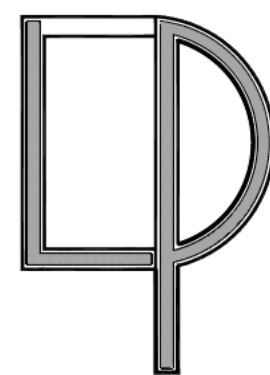
SOIL NOTES:

1. OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED SOILS TESTING ENGINEER TO DETERMINE THE ACTUAL BEARING CAPACITY OF SOILS AT SPECIFIED JOB SITE LOCATION. ALL FOOTING SHALL BEAR ON UNDISTURBED SOILS WITH A BEARING CAPACITY OF 3,000 PSF OR GREATER.
2. OWNER/CONTRACTOR SHALL CONFIRM ACTUAL SOIL BEARING CAPACITY TO BE EQUAL OR EXCEED THE DESIGN VALUE BEFORE PROCEEDING WITH THE WORK.
3. ANY SOIL BEARING VALUE LESS THAN THE DESIGN VALUE OF 3,000 PSF SHALL BE REPORTED TO THE ARCHITECT AND DESIGNER FOR FOOTING REDESIGN. IF THE CONTRACTOR FAILS TO OBTAIN SUCH REPORT, CONTRACTOR SHALL BEAR THE RESPONSIBILITY FOR SOIL BEARING CAPACITY AND LIABILITY FOR RESULTING DAMAGES.
4. FILL DIRT SHALL NOT EXCEED THE FOLLOWING UNLESS APPROVED BY ANOTHER ENGINEER. ALL FILL MATERIAL SHALL BE FREE FROM VEGETATION, ORGANICS, CLAY, AND DEBRIS. ALL FILL SHALL BE COMPACTED TO 95% IN 4"-6" LIFTS MAXIMUM, TO PROVIDE THE BEST UNIFORM SUPPORT. FILL DEPTHS SHALL NOT EXCEED A DEPTH OF 24" FOR CLEAN SAND/GRAVEL MIXES, OR 8" FOR EARTH FILL.
5. CONTRACTOR SHALL COORDINATE REMOVAL OF ALL TOP SOIL, DEBRIS MATERIALS, PREVIOUS FOUNDATION AND FOOTINGS AT THE PROPOSED BUILDING AREA PRIOR TO COMMENCING WORK.
6. SEASONAL HIGH WATER TABLE SHALL BE 24" OR MORE FROM THE PROPOSED SLAB OF BASEMENT OR INTERIOR OF CRAWLSPACES. CONSULT ARCHITECT FOR ANY REDESIGN PRIOR TO START OF WORK BASED ON ANY AND ALL GEOTECHNICAL INFORMATION FURNISHED BY OWNER/CONTRACTOR.
7. CONTRACTOR SHALL ALSO VERIFY AND OBTAIN PROPER REMOVAL OF ANY OIL TANKS, SEPTIC FIELDS, AND EXISTING UNDER GROUND MECHANICAL. CONVERSELY, CONTRACTOR SHALL COORDINATE AND VERIFY THE LOCATION OF ALL NEW UNDERGROUND MECHANICAL SYSTEMS, UTILITY LINES, DRAINAGE ETC. PRIOR TO EXCAVATION.
8. PROPOSED FOOTING AND SLAB SHALL BEAR ON VIRGIN SOIL, UNDISTURBED BY MACHINE OR MAN FOR ALL FOOTINGS.

REVISIONS:

NO.	DATE	DESCRIPTION
1	12-20-23	VARIANCE UPDATE
2		
3		
4		
5		
6		
7		
8		
9		
10		

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SIGNATURE & SEAL:

1

PROJECT INFORMATION:

PROPOSED ADDITION AND RENOVATION FOR THE:

POLONSKY RESIDENCE

502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH COUNTY

CONTENT:

- COVER SHEET
- NOTES/ SYMBOLS
- NAILING SCHEDULE
- BUILDING INFO.

JOB NUMBER: 23922

DATE: 10-16-2023

DRAWN BY: DP

A1.0

SHEET NUMBER: 1 OF 6

GENERAL CONCRETE NOTES:

1. CONCRETE HAS BEEN DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI 318) BUILDING CODE FOR REINFORCED CONCRETE, LATEST AMENDMENTS.
2. THE MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS AND REQUIREMENTS:

PORTLAND CEMENT	ASTM C150
READY MIX CONCRETE	ASTM C34
CONCRETE AGGREGATE	ASTM C33
DEFORMED BILLET STEEL BARS	ASTM A615
WELDED WIRE MESH	ASTM A185
3. PORTLAND CEMENT SHALL BE TYPE 1A; MAXIMUM AGGREGATE SIZE SHALL BE 3/4", DEFORMED BILLET BARS FOR CONCRETE REINFORCEMENT SHALL BE GRADE 60. ADD MIXTURES SHALL NOT BE PERMITTED. SHALL CONFORM TO ASTM C-33.
4. CONCRETE SHALL DEVELOP A COMPREHENSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS AND HAVE A MAX. SLUMP OF 3".
5. PROPORTIONING OF THE CONCRETE MIX SHALL BE BY THE SPECIFIC GRAVITY METHOD.
6. ALL FOOTING DESIGNS ARE BASED ON A MINIMUM SOIL BEARING CAPACITY OF 3000 PSF. IF CONDITIONS ARE FOUND TO BE DIFFERENT, THE ARCHITECT IS TO BE NOTIFIED IN WRITING PRIOR TO CONSTRUCTION FOR NEW FOOTING DESIGN.
7. SOIL UNDER FOOTING SHALL BE PROTECTED FROM FREEZING, AND ALL EXTERIOR FOOTING SHALL BE A MIN. 2'-8" BELOW FINISHED GRADE, OR PER LOCAL BUILDING REQUIREMENTS. OWNER/CONTRACTOR TO VERIFY WITH LOCAL AUTHORITIES FOR MINIMUM REQUIRED FOOTING DEPTH. REMOVE ANY SIGNS OF CLAY OR ORGANICS, AND REPLACE WITH SANDY POROUS FILL COMPACTED TO 95% DENSITY. ALL FOOTINGS TO BE PREPARED SQUARE AND UNIFORM PRIOR TO POURING OF CONC.
8. ALL CONCRETE TO BE PROTECTED FROM EXTREME WEATHER SUCH AS RAIN, FLOOD, HAIL, AND EXCESSIVE HEAT AND COLD WITH OUT PROPER ADDITIVES. NO FOOTING SHALL BE POURED IF WATER IS PRESENT; CONTRACTOR MAY NEED TO FOLLOW LOCAL TIDE INFORMATION TO COORDINATE FOOTING EXCAVATION AND POURING OF CONCRETE.
9. CONTRACTOR SHALL DETERMINE THIS CONDITION WITH A TEST HOLE TO ESTABLISH HYDROSTATIC WATER PRESSURE, CONSULT WITH LOCAL BUILDING OFFICIAL FOR PROCESS OF INSPECTION FOR POURING IF SAME DAY EXCAVATION, PREP, AND POUR ARE REQUIRED.
10. ALL SLABS ON GRADE SHALL BE A MINIMUM OF 4" THICK W/ 6X6 1/2" W.W.M. ON 95% COMPACTED FILL. CONTRACTOR AND MASON SHALL BE RESPONSIBLE FOR PROVIDING PROPER CURING CONDITIONS, A 6 MIL VAPOR BARRIER SHALL BE INSTALLED THROUGHOUT THE AREA OF LIVING SPACE AND GARAGES, AND UNDERNEATH ANY PROPOSED SCREED COAT OR SLABS.
11. CONSTRUCTION OF FOOTINGS SHALL BE A MINIMUM OF 4" WIDE ON EACH SIDE OF PROPOSED MASONRY WALLS. ALL PERIMETER FOOTINGS TO BE A MINIMUM 10" THICK. ALL FOOTING TO HAVE A MIN. (2) #8 REBAR CONTINUOUS, UNLESS OTHERWISE NOTED. SEE WALL SECTION FOR FOOTING AND REBAR SIZE AND AMOUNTS.
12. FOR STEPPED FOOTINGS, THE BOTTOM SHALL NOT EXCEED MORE THAN ONE FOOT VERTICALLY FOR EACH TWO FOOT HORIZONTALLY.
13. NO WELDING OF REINFORCEMENT IS BE PERMITTED. ALL REINFORCEMENT STEEL SHALL BE ACCURATELY AND SECURELY PLACED ALL REINFORCEMENT SHALL BE RIGIDLY SUPPORTED, AND SECURELY TIED IN PLACE WITH BAR SUPPORTS AND SPACERS, IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 301. CONTINUOUS REINFORCING BARS SHALL BE BENT AROUND CORNERS WITH ENDS LAPPED EQUAL TO 24 DIAMETERS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185, AND BE LOCATED IN THE CENTER OF DEPTH.
14. ANY REINFORCEMENT SPLICES SHALL BE INDICATED ON THE DRAWINGS. ALL REINFORCEMENT STEEL SHALL COMPLY WITH ASTM A615, GRADE 60.
15. ALL REINFORCING STEEL SHALL BE ASSEMBLED AS CAGES OR MATS, WITH BARS EQUALLY SPACED AND TIED TOGETHER AT EACH INTERSECTION BEFORE CONCRETE IS PLACED.
16. GROUT SHALL BE NON SHRINK, AND NON METALIC, AND SHALL HAVE A MIN. 5,000 PSI COMPRESSIVE STRENGTH AT THE 28TH DAY.
17. ALL ACCESSORIES SHALL HAVE UPTURNED LEGS AND BE PLASTIC DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH ACI CURRENT EDITION.
18. ALL STRUCTURAL CONCRETE IS TO BE CURED IN ACCORDANCE WITH ACI 01. ALL CONCRETE WORK TO BE IN ACCORDANCE WITH ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE" AND ACI 211.1. "RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR NORMAL WEIGHT CONCRETE" ALL CONCRETE TO PRODUCE A COMPRESSIVE STRENGTH OF 3,500 PSI AT THE 28TH DAY. PORCHES/SLABS SHALL REACH A COMPRESSIVE STRENGTH OF 3,500 PSI ON THE 28TH DAY. GARAGE SLABS SHALL REACH A COMPRESSIVE STRENGTH OF 4,000 PSI ON THE 28TH DAY.
19. PROVIDE CONCRETE COVER FOR REINFORCING STEEL IN ACCORDANCE WITH ACI 318
 - A. FORMED CONCRETE BELOW GRADE 2"
 - B. UNFORMED CONCRETE BELOW GRADE 3"
20. PROVIDE ADEQUATE SUPPORT FOR VERTICAL AND HORIZONTAL SHORING TO SAFELY SUPPORT ALL CONSTRUCTION LOADS.

GENERAL MASONRY NOTES:

1. ALL MORTAR SHALL TYPE "S" WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI AT THE 28TH DAY, OR TYPE "M" MORTAR FOR FOUNDATION IN CONTACT WITH EARTH.
2. MASONRY UNITS SHALL BE TYPE "N", ASTM-C-145 BELOW GRADE AND OR ASTM-C-90 ABOVE GRADE WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI FOR THE ASTM-C-145, AND 1,000 PSI FOR THE ASTM-C-90. PROVIDE GALVANIZED TRUSS TYPE HORIZONTAL JOINT REINFORCEMENT (MIN. 9 GA) 16 1/2" O.C. IN ALL VERTICAL MASONRY WALLS, DUE-TO-WALL OR EQUAL. ALL MASONRY UNITS SHALL BE THE SIZE NOTED WITH (2) CORES. ALL MASONRY TO BE LAYED IN A RUNNING BOND WITH FULL FACE SHELL HEAD JOINTS & FACE SHELL MORTAR BEDDING
3. PROVIDE NON-SHRINK LEVELING GROUT CONFORMING TO ASTM C-476 UNDER ALL STEEL BEARING ON MASONRY.
4. STORE ALL MASONRY UNITS IN A DRY AREA AND PROTECTED FROM MOISTURE.
5. 8x16 PLASTERS SHALL BE PLACED AT ALL ORDER END LOCATIONS, AND EVERY 18'-0" O.C. KEYED INTO MASONRY WALL.
6. PROVIDE 8" OF BEARING FOR ALL ORDER ENDS. PROVIDE MIN. 8" END BEARING FOR ALL MASONRY UNTELS.
7. FOR EXTERIOR BRICK FACADES, SUPPORT SHALL BE A 12" CMU BLOCK FILLED SOLID. ALL BRICK FACADES SHALL HAVE WEEP HOLES EVERY 24", ANCHORING OF BRICK TO WALL SHALL BE GALVANIZED STEEL TIES SPACED 24" HORIZONTALLY AND 16" VERTICALLY.
8. STEEL UNTELS OVER ALL OPENINGS AND RECESSES OF 4" THICK BRICK OR CMU SHOULD BE AS FOLLOWS:
PROVIDE A SINGLE STEEL ANGLE FOR THE FOLLOWING SPANS:
0'-4" SPAN: 4" x 3/8" x 3/8"
4'-5" SPAN: 5" x 3/2" x 3/8"
5'-6" SPAN: 6" x 3/2" x 3/8"
9. DAMPROOFING OF ALL HOLLOW BLOCK WALLS SHALL BE A 1/2" PORTLAND CEMENT PARGE COAT APPLIED TO THE EXTERIOR MASONRY WALL FROM FOOTING COVE TO TOP OF BLOCK, WITH A BITUMINOUS DAMPROOFING APPLIED BELOW GRADE, COAL-TAR DAMPROOFING
10. CONTRACTOR SHALL SUPPORT AND PROTECT ALL MASONRY WALLS FROM DAMAGE DUE TO BACKFILLING.
11. ALL MASONRY UNITES SHALL BE THE SIZE NOTED WITH (2) CORES. ALL BLOCK TO CONFORM TO ASTM C-90 GRADE N.

ELECTRICAL NOTES

1. SYMBOLS SHOWN ARE TO SUGGEST THE TYPE OF FIXTURES TO BE INSTALLED. ELECTRICAL LAYOUT IS DIAGRAMATIC AND MAY REQUIRE ADDITIONAL FIXTURE OR DETECTORS FOR CODE COMPLIANCE. CONTRACTOR TO SUPPLY UPDATES AS REQUIRED.
2. ALL LIGHT FIXTURES SHALL BE AS SELECTED AND/OR APPROVED BY THE OWNER.
3. VERIFY EXACT LOCATION OF ELECTRICAL DEVICES PRIOR TO INSTALLATION.
4. PROVIDE WIRING FOR ITEMS NOT SHOWN, - AIR CONDITIONING UNITS, APPLIANCES, PLUMBING FIXTURES (WHIRLPOLLS, ETC.)
5. ALL WIRING AT THE LEVEL OF RESIDENCE TO NON-METALLIC-SHEATHED CABLE (TYPES NM, NMC, AND NMS) INSTALLED AS FOLLOWS:
 - A. THE CABLE SHALL BE PROTECTED FROM PHYSICAL DAMAGE WHERE NECESSARY BY CONDUIT, ELECTRICAL METALLIC TUBING, SCHEDULE 80 PVC RIGID NONMETALLIC CONDUIT, PIPE, GUARD STRIPS, LISTED SURFACE METAL OR NONMETALLIC RACEWAY.
 - B. BORED HOLES - WHERE CABLE IS INSTALLED THROUGH BORED HOLES IN JOISTS, RAFTERS, OR WOOD MEMBERS, HOLES SHALL BE BORED SO THAT THE EDGE OF THE HOLE IS NOT LESS THAN 1 1/4" FROM THE NEAREST EDGE OF THE WOOD MEMBER. WHERE THIS DISTANCE CANNOT BE MAINTAINED, THE CABLE SHALL BE PROTECTED FROM PENETRATION BY SCREWS OR NAILS BY A STEEL PLATE OR BUSHING, AT LEAST 1/16" THICK, AND OF APPROPRIATE LENGTH AND WIDTH INSTALLED TO COVER THE AREA OF THE WIRING.
 - C. BENDS IN CABLE SHALL BE MADE SO THAT THE CABLE WILL NOT BE DAMAGED AND THE RADIUS OF THE CURVE OF THE INNER EDGE OF ANY BEND SHALL NOT BE LESS THAN FIVE TIMES THE DIAMETER OF THE CABLE.
- CONTRACTOR TO PROVIDE INTERCONNECTED SMOKE DETECTORS USING AN AC PRIMARY SOURCE AS POWER WITH BATTERY BACKUP. PROVIDE (1) SMOKE DETECTOR IN EACH BEDROOM, (1) IN EACH HALLWAY WITHIN 10'-0" OF A BEDROOM DOOR AND (1) ON EACH LEVEL OF THE DWELLING INCLUDING THE BASEMENT, AND (1) WITH-IN 10'-0" OF THE STAIRWELL FOR EACH LEVEL.
6. PROVIDE CARBON MONOXIDE DETECTORS ON EACH LEVEL OF THE DWELLING INCLUDING THE BASEMENT.
7. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. ALL SPECS. TO BE SUPPLIED BY OTHERS.
8. CONTRACTOR TO SUPPLY ALL SWITCHES, PLATES, AND COVERS AS NECESSARY FOR A COMPLETE INSTALLATION.
9. CIRCUIT PANEL ILLUSTRATED IS AT A SUGGESTED LOCATION. THIS LOCATION MAY VARY IN ACCORDANCE WITH POWER UTILITY REQUIREMENTS, OWNER REQUESTS, OR SITE RESTRICTIONS. EMERGENCY CUT OFF BOX MAY BE REQUIRED FOR PANEL.
10. CONSULT WITH LICENSED ELECTRICAL CONTRACTOR FOR SPECIFICS.
11. CONNECT GROUND LUG TO REBAR IN FOOTING BELOW CIRCUIT BREAKER PANEL.
12. FOR FLOOD ZONE CONSTRUCTION, ALL ELECTRICAL WIRING, SWITCHES, OUTLETS, BOXES AND FIXTURES SHALL BE INSTALLED ABOVE THE COMMUNITY DESIGN FLOOD ELEVATION. REFER TO SECTION R322.1.6, 1.7 & 1.8 FOR ELECTRICAL EXCEPTIONS BELOW THE DESIGN FLOOD ELEVATION.
13. ALL WINDOWLESS AND WINDOWED BATHROOMS SHALL BE EQUIPPED WITH A MIN. 50 CFM FAN, DUCTED TO THE EXTERIOR.

GENERAL STEEL & STRUCTURAL NOTES:

1. NAILS - LUMBER AND TYPE FOR EACH APPLICATION AS CALLED FOR IN THE INTERNATIONAL BUILDING CODE, PER MANUF'R RECOMMENDED STANDARDS. ALL FRAMING NAILS TO BE GALVANIZED AND ALL EXTERIOR NAILS TO BE STAINLESS
2. STRUCTURAL STEEL PLACEMENT AND MATERIALS SHALL CONFORM TO AISI'S "STRUCTURE TO STEEL DETAILING" CURRENT EDITION.
3. ANY STEEL SHOP DRAWING SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED AND REGISTERED ENGINEER FOR APPROVAL TO HAVE FABRICATION WORK DONE. ALL STRUCTURAL STEEL SHAPES AND PLATE TO CONFORM TO STANDARDS AS SPECIFIED BY ASTM A-36 UNLESS OTHERWISE NOTED.
4. ALL WELDED CONNECTIONS SHALL BE WELDED IN ACCORD WITH AWS D1.1, "STRUCTURAL WELDING CODE," USING E70XX ELECTRODES.
5. ALL STEEL SHOP DRAWINGS SHALL SHOW ANY AND ALL CUTS, HOLES, CORING, ETC., REQUIRED FOR WORK OF OTHER TRADES, AND SHOULD BE AND MADE IN THE SHOP. NO CUTS, BURNING OF HOLES, OR MODIFICATIONS IN STRUCTURAL STEEL MEMBERS SHALL BE PERFORMED IN THE FIELD.
6. PROVIDE ANY TEMPORARY SUPPORT FOR GUYS OR LATERAL STABILITY/SUPPORT UNTIL STRUCTURAL STEEL IS PERMANENTLY BRACED AND INSTALLED PER SHOP DRAWINGS.
7. SUBMIT TO ARCHITECT REVIEW OF ANY CONNECTION DETAILS.
- ANY DEVIATION FROM ARCHITECT SPECIFIED STEEL OR STEEL CONNECTORS, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND ASSEMBLE THE CONNECTIONS, BUT ONLY WITH APPROVED SUBSTITUTION BY ARCHITECT
8. ALL STRUCTURAL STEEL TO HAVE A COAT OF PRIMER UNLESS IN CONTACT WITH A MILLED BEARING SURFACE OR OTHER NOTED AREAS. NOR SHALL SHOP APPLIED PAINT BE WITHIN 3" OF ALL FIELD WELDS PER SHOP LAYOUT TO PREVENT NOXIOUS FUMES, AND TO ENSURE QUALITY OF WELD.
9. ALL COAT PAINT OR PRIMER DAMAGED DURING ERECTION SHALL BE RE APPLIED VIA AN APPROVED TOUCH UP KIT FROM THE STEEL MANUFACTURE. THEN AN EVEN 2 COATS OF RUST INHIBITIVE PRIMER AND PAINT SHALL BE APPLIED
10. STEEL FABRICATOR TO PROVIDE SHOP DRAWING FOR ALL CONNECTIONS AND REVIEW FOR ARCHITECT.
11. ALL STEEL IN EXTERIOR APPLICATIONS TO BE HOT DIPPED GALVANIZED.
12. ALL STEEL IN EXTERIOR APPLICATIONS WITHIN 300' OF A SALT SPRAY ENVIRONMENT SHALL BE STAINLESS STEEL UNLESS BRACKETS AND NAILS ARE TO BE ENCAPSULATED INTO A CEILING SURFACE SUCH AS GARAGE CEILINGS. CONSULT WITH LOCAL BUILDING OFFICIAL FOR DELINEATION OF STAINLESS PER LOCAL REQUIREMENTS.
13. GALVANIZED ANCHOR BOLTS TO BE MIN. 1/2" EMBEDDED INTO POURED CONCRETE AND GROUTED INTO MASONRY UNITS. MIN. (2) ANCHOR BOLTS PER PLATE SECTION OF PLATE, AND 12" FROM CORNER OR ENDS. W/ AN INTERMEDIARY BOLT MAX 48" O.C. (UNLESS OTHER WISE NOTED ON WALL SECTION). ANCHOR BOLTS TO BE CONNECTED VIA HOOKED ENDS, TIED TO FOOTING OR GRADE BEAM.
14. ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A 307.
15. ALL FLASHING SHALL CONFORM TO THE FOLLOWING SCHEDULE:

MATERIAL	THICKNESS
ALUMINUM	.032"
PLAIN COPPER	160Z (.0216")
ZINC OR LEAD COATED COPPER	160Z (.0216")
TERME COATED STAINLESS STEEL	28GA (.018")
16. STEEL FOR PIPE COLUMNS SHALL BE OF EQUIVALENT CAPACITY AND WELDABILITY TO ASTM SPECIFICATIONS A-501
17. STEELWORK SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION FO STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE AISI CONNECTIONS SHALL BE BOLTED OR WELDED. BOLTS SHALL CONFORM TO ASTM A-325 AND BE 3/4" DIAMETER UNLESS OTHERWISE NOTED.

GENERAL TIMBER NOTES

1. TIMBER SHALL BE DOUGLAS FIR LARCH #2 GRADE OR APPROVED EQUAL. MINIMUM ALLOWABLE STRESSES:

PARALLAMS			
FB = 1200 psi	FC = 385 psi	FB = 2800 psi	
FT = 850 psi	FC' = 1150 psi	FV = 285 psi	
FV = 95 psi	E = 1600 ksi	E = 2000 ksi	
2. LUMBER SHALL CONFORM TO THE AMERICAN LUMBER STANDARDS SIMPLIFIED RECOMMENDATIONS 16-33 OF THE US DEPARTMENT OF COMMERCE BUREAU OF STANDARDS AND SHALL BE GRADE MARKED.
3. GRADES OF ALL LUMBER SHALL CONFORM TO THE GRADING RULES OF THE MANUFACTURER'S ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED AND EACH PIECE SHALL BEAR THE GRADE AND TRADEMARK OF THAT ASSOCIATION.
4. MOISTURE CONTENT SHALL OF ALL STRUCTURAL LUMBER SHALL BE 19% OR LESS AVERAGE WITH NO PIECE CONTAINING OVER 21% EXPRESSED AS A WEIGHT PERCENT OF OVEN-DRIED WOOD.
5. ROOF AND FLOOR DECKING SHALL BE IN ACCORDANCE WITH PS-1-B3 STRUCTURAL GRADE II, STANDARD BUILDING CODE SUPPLEMENT OF CHAPTER XVII AND SHALL BEAR APA MARKING.
6. DESIGN LOAD CRITERIA:

ROOF LOADS:	25 PSF LL	FLOOR LOADS:	40 PSF LL	SLEEPING LOADS:	30 PSF LL
	15 PSF DL		15 PSF DL		15 PSF DL
	40 PSF TL		55 PSF TL		45 PSF TL

-REFER TO TABLE 301.5 OF THE IRC 2021 FOR MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS.

7. SOLID BRIDGING SHALL BE PROVIDED AT ALL BEARING POINTS, BEARING WALLS AND OVER ALL GIRDERS. CROSS BRIDGING SHALL BE PROVIDED AT 8'-0" O.C. MAX.
8. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING DIRECTION.
9. ALL FRAMING IS TO BE DOUBLED UP SKYLIGHT OPENINGS.
10. ALL HEADERS AT DOORS AND WINDOWS ARE TO BE (2) 2X8 UNLESS OTHERWISE INDICATED.
11. ALL DIMENSIONS ON THESE PLANS ARE TO FRAME LINES
12. WHEN THE BUILDING IS CONSTRUCTED IN A FLOOD ZONE, THE LOWEST ELEVATION OF ALL UNTREATED FRAMING LUMBER (INC. GIRDERS) SHALL BE ABOVE THE BASE FLOOD ELEVATION OR COMMUNITY DESIGNED FLOOD ELEVATION.
13. JOISTS SHALL HAVE FULL BEARING ON SILLS. ALL TIMBER TO BE KILN DRIED.
14. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
15. PROVIDE FIRE-STOPPING AROUND PIPES, ELECTRICAL WIRES, CEILING AND FLOOR PENETRATIONS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, ETC. ALL STUD CAVITIES TALLER THAN 9'-9" TO RECEIVE 1 FIRE BLOCKING AT MID SECTION.
16. ANY DOUBLE WALL, BASEMENT PERIMETER WALL, OR PACKED OUT WALL TO HAVE FIRE BLOCKING AT EVERY 10'-0"
17. CONTRACTOR SHALL SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER SIDE UP. FOR ENDS LAPPED OVER BEARING WALL/BEAMS, SECURELY SPIKED TOGETHER WITH (4) 100 NAILS EACH. PLACE PRECUT ENDS BEARING IN MASONRY WALL APPLICATIONS.
18. ALL EXTERIOR SHEATHING SHALL BE EXTERIOR GRADE CDX PLYSCORE, OSB PANELS, OR WINDSTORM INSTALLED PER MANUF'R SPECS. NO SUBSTITUTIONS WITH OUT WRITTEN APPROVAL FROM ARCHITECT
19. ALL STRUCTURAL WOOD POSTS & COLLUMNS SHALL HAVE SOLID BLOCKING AND BEARING DOWN TO MASONRY FOUNDATION
20. ALL OPENING LARGER THAN 16" TO RECEIVE A DOUBLE 2X10 HOR.
21. ANY GIRDERS OR BEAM RESTING ON MASONRY ARE TO BE SET ON STEEL LEVELING PLATES AS REQUIRED. WHERE LEVELING PLATES ARE NOT REQUIRED, SET ON .019 ALUMINUM FLASHING. NO UNTREATED FRAMING LUMBER IS TO BEAR DIRECTLY ON MASONRY.
22. ONLY SIMPSON BRAND, OR APPROVED EQUAL FOR ALL HANGERS, CONNECTORS, CAPS, BASES, ETC. FOR CARPENTRY INSTALL AND NAIL PER MANUFACTURER'S SPECIFICATIONS.
23. ALL EXTERIOR DECK FRAMING LUMBER SHALL BE PRESSURE TREATED LUMBER WITH MIN. FB OF 1000 P.S.I. ALL DECK JOISTS SHALL BE 16" ON CENTER SPACING FOR PERPENDICULAR DECKING, AND 12" ON CENTER SPACING FOR PVC DECKING, OR DIAONAL DECKING. ALL DECKING MATERIAL FASTENERS AND HARDWARE SHALL BE GALVANIZED OR STAINLESS STEEL IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUFACTURERS OF THE PRODUCTS BEING CONNECTED.
24. ALL WOOD SILLS TO BE STRANDGUARD OR ACO LUMBER (UNLESS OTHERWISE NOTED) ON SILL SEALER.
25. ALL ENGINEERED LUMBER DESIGN AND LAYOUTS ARE FOR TRUS-JOIST PRODUCTS. THESE PLANS SHALL BE REVIEWED BY TRUS JOIST WEYERHAEUSER PRIOR TO CONSTRUCTION OF PROPOSED BUILDING PLAN. OWNER SHALL PROVIDE ENGINEERED DRAWING LAYOUT TO ARCHITECT FOR SHOP DRAWING REVIEW PRIOR TO START OF CONSTRUCTION. ARCHITECT WILL REVIEW SHOP DRAWING AND ISSUE A SEALED LETTER APPROVING LAYOUT. ALLOW FOR A MIN. OF 7 BUSINESS DAYS FOR ALL ENGINEERED DRAWING REVIEWS AND LETTER. NOTIFY ARCHITECT OF ANY PROPOSED CHANGES PRIOR TO REVIEW AND DURING CONSTRUCTION.
26. THE FOLLOWING PLANS CONFORM TO THE REQUIREMENTS OUTLINED IN THE PRESCRIPTIVE METHOD OF THE AMERICAN FOREST AND PAPER ASSOCIATIONS WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS LOCATED IN A 125 MPH EXPOSURE B WIND ZONE.

GENERAL INSULATION AND THERMAL NOTES:

1. VENTILATION (NATURAL) SHALL BE 4% MINIMUM OF FLOOR AREA
 2. ATTIC VENTILATION IS TO BE 1 / 300 MIN. OF THE AREA VENTILATED. EACH RAFTER BAY IS TO HAVE COMPLETE VENTILATION FROM SOFFIT TO RIDGE. NOTCH OR DRILL THROUGH FRAMING MEMBERS TO ALLOW CONTINUOUS AIR FLOW.
- INSULATION:
- A. ALL FIBERGLASS BATT INSULATION TO BE FORMALDEHYDE FREE
 - B. INSULATION AS SHOWN COMPLIES WITH 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - C. ALL SPRAYFOAM AT GROUND LEVEL FOUNDATIONS WALLS OR IN FLOOD ZONE AREAS TO BE CLOSED CELL
 - D. ALL OPEN CELL SPRAY FOAM SHALL BE FULL DEPTH. CONSULT ARCHITECT FOR SUBSTITUTIONS.

CAULKING AND SEALANTS:

- A. CAULK ALL JOINTS, WOOD TO MASONRY, WOOD TO WOOD, WOOD TO GLASS, ETC. EXTERIOR CAULKING BE ACRYLIC TYPE, TREMCO. "MONO-LASTICMERIC" OR APPROVED EQ. INTERIOR CAULKING SHALL BE BUTYL RUBBER SIMILAR TO REMCO #400 BUTYL OR EQUAL.

FLASHING:

- A. PROVIDE FLASHING AT ALL PORCH AND DECKING SURFACES ABUTTING VERTICAL WALLS.
 - B. FLASH ALL WOOD ABUTTING MASONRY AND AT ROOF AND VERTICAL WALL INTERSECTIONS WITH .019 ALUMINUM FLASHING.
 - C. PROVIDE .019 ALUMINUM FLASHING OVER ALL WINDOS AND DOORS IN EXTERIOR WALLS, AND AT DOOR SILLS (UNLESS WINDOW AND DOOR MANUF'R HAVE FACTORY APPLIED FLANGES.)
3. INSULATION SHALL BE INSTALLED ON EXTERIOR SIDE ONLY OF ALL WATER SUPPLY AND DRAIN PIPES.
 4. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR THE INSTALLATION OF DOORS AND WINDOWS, PROVIDE A COPY OF INSTALLATION INSTRUCTIONS TO BUILDING DEPARTMENT WITH BUILDING PERMIT PACK. ALL WINDOWS AND DOORS SHALL BE AS PER SPECS" ON RES-CHECK ATTACHED, NO SUBSTITUTIONS.
 5. ALL BATH FIXTURES TO BE SEAL OR APPROVED VAPOR PROOF UL LISTED PRODUCTS.
 6. CONTRACTOR TO SUPPLY INSULATION AT ENTIRE EXTERIOR PERIMETER WALL AND CEILING / ENVELOP OF STRUCTURE

GENERAL FINISHES

1. NO AREA OF GARGES SHALL SHARE HVAC SYSTEM WITH LIVING AREA OF DWELLING.
2. HVAC CONTRACTOR TO SUBMIT SIZES, LAYOUTS, AND HEAT LOSS CALCULATION WITH PERMIT.
3. ALL DUCTS SHALL BE SEALED WITH MASTIC AT JOINTS.
4. ALL HVAC DUCTS IN UNCONDITIONED SPACED SHALL BE INSULATED IN MIN. R-8 DUCTING
5. ALL RETURNS TO BE HARD DUCTED TO THE ZONE BEING SUPPLIED.
6. ALL MECHANICAL INSTALLED IN A FLOODZONE SHALL REFER TO SECTION R322.1.6 FOR MECHANICAL EXCEPTIONS BELOW THE BASE FLOOD ELEVATION OR COMMUNITY DESIGN FLOOD ELEVATION.
7. ALL CLOTHING DRYERS SHALL EXHAUST TO THE EXTERIOR OF THE BUILDING VIA A MIN. 4"x9" METAL DUCT NOT EXCEEDING 35'-0" OF LENGTH.
8. IF CONTRACTOR DECIDES TO ENCLOSE 2 GAS BURNING APPLIANCES IN ONE SPACE, PROVIDE ONE HIGH VENT (W/1 12" OF CEILING, AND W/1 12" OF FLOOR) AND MIN. (1) 2868 LOUV. DOOR FREE AREA OF VENTS SHALL BE SIZED AT 1 SQUARE INCH PER 1000 BTU TOTAL APPLIANCE INPUT RATING (MINIMUM) UNLESS OTHERWISE SPECIFIED BY APPLIANCE MANUFACTURER

GENERAL FINISHES

1. PAINT ALL DRYWALL WITH APPROVED DRYWALL PRIMER.
2. ALL BATHROOM AREAS TO BE GREEN BOARD MOISTURE/MILDREW RESISTANT DRYWALL. BATHROOM DOORS FRAMES SHALL BE UNDERCUT 1" CONSULT OWNER FOR ALL WINDOW AND DOOR FINISHES PRIOR TO CONSTRUCTION.
3. ALL DRYWALL IN GROUND FLOOR AREAS OR OTHER AREAS OF HIGH MOISTURE AND NO CONDITIONING TO BE GREEN BOARD MOISTURE/MILDREW RESISTANT DRYWALL.
4. GREEN BOARD SHALL BE INSTALL WHEREVER KITCHEN BACK-SPLASHES ARE PRESENT.
5. ALL INTERIOR WALLS TO BE MIN. 1/2" DRYWALL OR THICKER.
6. ALL DRYWALL TO BE PAINTED.
7. ALL FINISHES AT BATHROOM FLOOR TO BE SLIP RESISTANT TILE OR EQ., ALL TUBS AND SHOWERS SHALL BE FINISHED WITH A SLIP RESISTANT STANDING AREA.
8. ALL CLOSETS TO BE FINISHED WITH A MIN. SINGLE FULL LENGTH POLE AND FULL LENGTH SHELF.
9. ALL FINISH PRODUCTS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



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Compliance Certificate

Project 23922 POLONSKY RESIDENCE

Energy Code: 2021 IECC
Location: Monmouth County, New Jersey
Construction Type: Single-Family
Project Type: Addition
Climate Zone: 4 (5499 HDD)
Permit Date:
Permit Number:

Construction Site: 502 BRANCHPORT OCEANPORT, NJ 07757
Owner/Agent: Designer/Contractor:

Compliances Passes using UA trade-off

Compliance: 1.5% Better Than Code Maximum UA: 132 1 Year UA: 130 Maximum SHGC: 0.40 View SHGC: 0.28
This is better or more than Code values reflect. View closer for compliance the reason is based on code trade-off rules.
It does not provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area of Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	726	38.0	0.0	0.030	0.024	22	17
Ceiling 1: Cathedral Ceiling	172	21.0	0.0	0.048	0.024	8	4
Wall: Wood Frame, 16" o.c. Window 3052: Wood Frame SHGC: 0.28	984	21.0	0.0	0.057	0.045	51	40
Window 24410: Wood Frame SHGC: 0.28	60			0.280	0.300	17	18
Window 2438: Wood Frame SHGC: 0.28	12			0.280	0.300	3	4
Window 2438: Wood Frame SHGC: 0.28	22			0.280	0.300	6	7
Floor: All-Wood Joist/Truss	898	38.0	0.0	0.026	0.047	23	42

Additional Efficiency Package(s)

Not applicable

Project Title: 23922 POLONSKY RESIDENCE
Data Filename: Report date: 12/11/23
Page 1 of 10

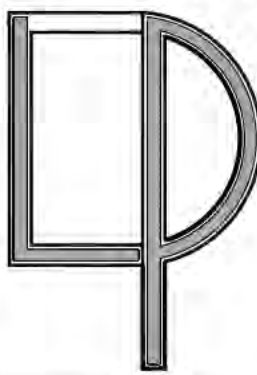
GENERAL WINDOWS AND DOORS

1. WINDOWS SHALL BE TEMPERED SAFETY GLASS WITHIN 60" OF ANY WET SURFACE, SUCH AS SHOWER FLOORS OR TOP EDGE OF TUBS, OR WITHIN 24" OF A MOVING DOOR PANEL OR KNOB. PROVIDE SAFETY GLAZING WITH IN 60" OF THE BOTTOM RISER AT ALL STAIRCASES WHERE APPLICABLE, AND ON ANY WINDOW LOCATED WITHIN 60" OF THE RADIUS FROM STAIR NOSING.
2. ALL WINDOWS MUST BE A MINIMUM OF 24" ABOVE FINISH FLOOR AS PER NJ IRC 2021, UNLESS DISTANCE IS LESS THAN 6'-0" BELOW EXTERIOR WALKING SURFACES BELOW. IF WINDOW SILL IS LESS THAN 24" ABOVE THE FLOOR AND THE DISTANCE TO EXTERIOR WALKING SURFACE IS MORE THAN 6'-0", CONTRACTOR SHALL PROVIDE A CHILD GUARD TO BE INSTALLED TO A MIN. HEIGHT OF 24" ABOVE THE FLOOR. INSTALL GUARD PER MANUFACTURES SPECIFICATIONS AND MAINTAIN MAX 4" CLEAR SPACE BETWEEN SILL AND GUARD. (VERIFY WOWN SIZES PRIOR TO ORDERING & INSTALLATION)
3. WHERE WINDOW SILLS ARE CLOSER THAN 24" TO THE FLOOR, PROVIDE WINDOW GUARDS (INSTALLED PER MANUFACTURER'S SPECIFICATIONS) BETWEEN THE SILL AND 24" ABOVE THE FLOOR WITH A SPACING OF 4" BETWEEN THE GUARDS. ANY EGRESS WINDOW FITTED WITH WINDOW GUARDS SHALL BE REMOVABLE BY AN ADULT WITHOUT THE USE OF SPECIAL TOOLS.
4. ALL WINDOWS NEWLY INSTALLED IN BEDROOMS SHALL MEET THE FOLLOWING CRITERIA: CLEAR OPENING MIN. 24" WIDE x 20" HIGH, MIN. OF 5.7 S.F. CLEAR OPENING AREA. WINDOW SILL HEIGHT TO BE MAX. 44" ABOVE FLOOR.
5. ALL SPECIFIED WINDOWS ON PLANS ARE UNIT SIZE DIMENSIONS. 30410 INDICATES A WINDOW SIZE OF (3'-0" X 4'-10") REFER TO ANY AND ALL MANUF'R SPECS. AND LITERATURE TO CONFIRM EGRESS WINDOWS PER PLANS MATCH MANUFACTURED SIZES.
6. WHERE THE EXTERIOR GRADE (OR DECK SURFACE) IS GREATER THAN 6'-0" BELOW THE WINDOW SILL, WINDOW SILL SHALL NOT BE CLOSER THAN 24" TO THE INTERIOR FLOOR.
7. ALL WINDOWS & DOORS SHALL HAVE MINIMUM POSITIVE AND NEGATIVE DESIGN PRESSURE RATING OF 40 OR GREATER

REVISIONS:

NO.	DATE	DESCRIPTION
1	12-20-23	VARIANCE UPDATE
2		
3		
4		
5		
6		
7		
8		
9		
10		

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SIGNATURE & SEAL:

PROJECT INFORMATION:

PROPOSED ADDITION AND RENOVATION FOR THE:

POLONSKY RESIDENCE

502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH COUNTY

CONTENT:

- FRAMING CHECKLIST
- PLUMBING RISER DIAGRAM
- GENERAL NOTES

JOB NUMBER: 23922

DATE: 10-16-2023

DRAWN BY: DP

A1.1

SHEET NUMBER: 2 OF 6

DEMOLITION NOTE:

1. PREPARATORY TO THE INSTALLATION OF ALL STRUCTURAL MEMBERS AND REINFORCEMENT, TEMPORARY JACKING AND OVERHEAD SHORING SYSTEMS SHALL BE INSTALLED UPWARDLY FROM THE BASEMENT AT EACH FLOOR LEVEL SUFFICIENT TO ADEQUATELY SUPPORT ALL MEMBERS TO BE REINFORCED OR REPLACED AT EACH LEVEL AND THEIR ADJACENT AFFECTED AREAS, AS WELL AS THOSE OF ANY FLOOR LEVELS ABOVE.
2. JACKING SYSTEMS SHALL BE CAPABLE OF RAISING THE OVERHEAD SHORING SYSTEM AND THOSE AREAS TO BE REINFORCED OR REPLACED SUFFICIENT TO CAUSE ANY DEFLECTION TO BE REDUCED AS CLOSE AS PRACTICABLE TO STATIC "NO LOAD" LIMITS SO AS TO INSURE THAT BOTH THE REINFORCED / REPLACED MEMBERS AND ANY ADJOINING CONSTRUCTION WILL BE STRESSED EQUALLY UPON REMOVAL OF ALL JACKING AND SHORING SYSTEMS.
3. ALL JACKING AND SHORING SYSTEMS SHALL REMAIN IN PLACE UNTIL ALL STRUCTURAL MODIFICATIONS HAVE BEEN COMPLETED AND SHALL BE REMOVED FROM THE UPPERMOST LEVEL DOWNWARD.
4. BASES AND OVERHEADS FOR ALL JACKING AND SHORING SYSTEMS AT EACH LEVEL SHALL BE SUCH THAT THE LOADS IMPOSED UPON THEM SHALL BE SUPPORTED BY AND UNIFORMLY TRANSMITTED TO AS WIDE A BASE AREA AS PRACTICAL THROUGHOUT THE STRUCTURAL MODIFICATIONS.
5. RELIEF OF THE LOADS SUPPORTED BY THE JACKING AND SHORING SYSTEMS AND ITS SUBSEQUENT TRANSFER BACK TO THE REINFORCED / REPLACED MEMBERS SHALL BE DONE GRADUALLY AND WITH GREAT CARE SO TO INSURE THAT NO ARTIFICIAL IMPACT LOADS ARE IMPOSED UPON THE REINFORCED MEMBERS, AND THAT ALL WALLS, DOORWAYS, ETC., ARE RETURNING TO TRUE AND PLUMB AS INTENDED.
6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY & ALL EXISTING CONDITIONS.
7. PROVIDE ADEQUATE AND PROPER SHORING DURING DEMOLITION OF ANY LOAD BEARING PARTITIONS &/OR CUTTING OF ANY EXISTING FLOOR, WALL & ROOF FRAMING.
8. IF ANY EXISTING PARTITION SHOWN TO BE DEMOLISHED IS FOUND TO BE LOAD-BEARING AND NO GIRDER IS SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT FOR SIZING OF NEW GIRDER.
9. IF ANY EXISTING STRUCTURAL MEMBERS SHOWN ON THESE PLANS ARE FOUND TO BE INCORRECT, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING FOR NEW STRUCTURAL MEMBER SIZE &/OR SPACING.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE AND CONDITION OF ALL EXISTING ELECTRICAL, PLUMBING, HEATING, ETC. SYSTEMS AND INCLUDE UPGRADES OR REPLACEMENTS AS DEEMED NECESSARY IN INITIAL BID ESTIMATE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS CAUSED BY DEMOLITION. THE CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS TO ACCUMULATE AT ANY TIME.
12. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING ADJACENT CONSTRUCTION AS MAY BE REQUIRED AFTER
13. RENOVATION, ALTERATION, AND ANY REHABILITATION WORK TO BE PERFORMED IN COMPLIANCE WITH EPA STANDARDS, ANY APPLICABLE TOWN, STATE, OR FEDERAL CODES, AND OSHA REGULATIONS. THIS INCLUDES REMOVAL OF ASBESTOS MATERIALS.
14. AT CONTRACTORS OR OWNERS REQUEST AND EXPENSE A LICENSED EXTERMINATOR SHALL HIRED TO INSPECT THE EXISTING CONDITIONS.
15. AT CONTRACTORS OR OWNERS REQUEST AND EXPENSE A MOLD REMEDIATION COMPANY MAY BE HIRED TO INSPECT THE EXISTING CONDITIONS FOR POSSIBLE DAMAGE.
16. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD PRIOR TO WORK
17. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SUPPORT REQUIRED FOR THE SCOPE OF WORK
18. DURING THE DEMOLITION PHASE, CONTRACTOR IS RESPONSIBLE FOR PRESERVING THE EXISTING FRAMING WHICH IS STRUCTURALLY SOUND. THE CONTRACTOR IS ALSO RESPONSIBLE FOR REPLACEMENT OF MATERIALS IN ANY AREAS WHICH REQUIRE ATTENTION WITH THE SAME OR SIMILAR MATERIALS.
19. DURING DEMOLITION CONTRACTOR SHALL PROVIDE CARE AS TO NOT DISTURB ANY AREAS OUTSIDE OF THE SCOPE OF WORK.
20. CONTRACTOR ALSO RESPONSIBLE FOR MAINTAINING A SAFE AND CLEAN WORK SITE.
21. CONTRACTOR SHALL FORWARD ALL RESULTS WHICH ARE NOT CONCISE WITH PLANS TO ARCHITECT FOR FURTHER REVIEW.

SOIL NOTES:

1. OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED SOILS TESTING ENGINEER TO DETERMINE THE ACTUAL BEARING CAPACITY OF SOILS AT SPECIFIED JOB SITE LOCATION. ALL FOOTING SHALL BEAR ON UNDISTURBED SOILS WITH A BEARING CAPACITY OF 3,000 PSF OR GREATER.
2. OWNER/CONTRACTOR SHALL CONFIRM ACTUAL SOIL BEARING CAPACITY TO BE EQUAL OR EXCEED THE DESIGN VALUE BEFORE PROCEEDING WITH THE WORK.
3. ANY SOIL BEARING VALUE LESS THAN THE DESIGN VALUE OF 3,000 PSF SHALL BE REPORTED TO THE ARCHITECT AND DESIGNER FOR FOOTING REDESIGN. IF THE CONTRACTOR FAILS TO OBTAIN SUCH REPORT, CONTRACTOR SHALL BEAR THE RESPONSIBILITY FOR SOIL BEARING CAPACITY AND LIABILITY FOR RESULTING DAMAGES
4. FILL DIRT SHALL NOT EXCEED THE FOLLOWING UNLESS APPROVED BY ANOTHER ENGINEER. ALL FILL MATERIAL SHALL BE FREE FROM VEGETATION, ORGANICS, CLAY, AND DEBRIS. ALL FILL SHALL BE COMPACTED TO 95% IN 4"-6" LIFTS MAXIMUM, TO PROVIDE THE BEST UNIFORM SUPPORT. FILL DEPTHS SHALL NOT EXCEED A DEPTH OF 24" FOR CLEAN SAND/GRAVEL MIXES, OR 8" FOR EARTH FILL
5. CONTRACTOR SHALL COORDINATE REMOVAL OF ALL TOP SOIL, DEBRIS MATERIALS, PREVIOUS FOUNDATION AND FOOTINGS AT THE PROPOSED BUILDING AREA PRIOR TO COMMENCING WORK.
6. SEASONAL HIGH WATER TABLE SHALL BE 24" OR MORE FROM THE PROPOSED SLAB OF BASEMENT OR INTERIOR OF CRAWLSPACES. CONSULT ARCHITECT FOR ANY REDESIGN PRIOR TO START OF WORK BASED ON ANY AND ALL GEOTECHNICAL INFORMATION FURNISHED BY OWNER/CONTRACTOR
7. CONTRACTOR SHALL ALSO VERIFY AND OBTAIN PROPER REMOVAL OF ANY OIL TANKS, SEPTIC FIELDS, AND EXISTING UNDER GROUND MECHANICAL. CONVERSELY, CONTRACTOR SHALL COORDINATIVE AND VERIFY THE LOCATION OF ALL NEW UNDERGROUND MECHANICAL SYSTEMS, UTILITY LINES, DRAINAGE ETC. PRIOR TO EXCAVATION.
8. PROPOSED FOOTING AND SLAB SHALL BEAR ON VIRGIN SOIL, UNDISTURBED BY MACHINE OR MAN FOR ALL FOOTINGS.

RENOVATION NOTE:

ALL LOADS SHOWN ARE THOSE APPLIED TO NEW STRUCTURAL MEMBERS AS SHOWN IN THESE PLANS ONLY, AND ARE NOT AN INDICATION OF THE BEARING CAPACITY OF ANY EXISTING STRUCTURAL MEMBERS LOAD DESIGN APPLIES ONLY TO AREAS OF NEW CONSTRUCTION. THESE PLANS ARE NOT INTENDED TO INDICATE OR VERIFY THE STRUCTURAL CAPACITY & STABILITY OF ANY EXISTING FRAMING MEMBERS. THE FOLLOWING PLANS CONFORM TO THE REQUIREMENTS OUTLINED IN THE PRESCRIPTIVE METHOD OF THE AMERICAN FOREST AND PAPER ASSOCIATIONS WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS LOCATED IN A 125 MPH EXPOSURE B WIND ZONE. LOAD DESIGN APPLIES ONLY TO AREAS OF NEW CONSTRUCTION. THESE PLANS ARE NOT INTENDED TO INDICATE OR VERIFY THE STRUCTURAL CAPACITY & STABILITY OF ANY EXISTING FRAMING MEMBERS. CONTRACTOR SHALL REVIEW PLANS AND VERIFY ALL DIMENSIONS AND JOIST SIZES IN FIELD PRIOR TO CONSTRUCTION OR DEMOLITION. CONSULT ARCHITECT OF ANY IRREGULAR, ERRONEOUS, OR UNFORSEEN CONDITIONS

'UFER' GROUNDING:

CODE REQUIRES ALL 'AVAILABLE' GROUNDING ELECTRODES BE BONDED TOGETHER TO FORM A GROUNDING ELECTRODE SYSTEM [250-81]: UNDERGROUND METAL WATER PIPE, METAL FRAMES OF BUILDINGS, CONCRETE-ENCASED ELECTRODES, GROUND RINGS, AND 'MADE' ELECTRODES. THE ELECTRODES ARE TO BE CONNECTED TOGETHER WITH A CONTINUOUS BONDING JUMPER OR VIA THE ELECTRODES THEMSELVES. CONCRETE-ENCASED REINFORCING RODS MUST ALWAYS BE USED WHEN AVAILABLE.

A CONCRETE-ENCASED ELECTRODE, OR "UFER GROUND" [250-81 (C)], IS A 1/2 INCH SIZE REBAR OR #4 BARE COPPER CONDUCTOR AT LEAST 20 FEET LONG, LOCATED WITHIN OR NEAR THE BOTTOM OF THE FOUNDATION OR FOOTING ENCASED BY AT LEAST 2 INCHES OF CONCRETE. REBAR MUST BE BARE, GALVANIZED, OR OTHERWISE CONDUCTIVITY COATED STEEL; REBAR MUST NOT BE COATED WITH EPOXY OR OTHER INSULATION. LENGTHS OF REBAR MAY BE CONNECTED TOGETHER TO FORM AN EXCELLENT LOW-RESISTANCE GROUNDING ELECTRODE. CONNECTIONS TO BURIED, DRIVEN, OR CONCRETE-ENCASED ELECTRODES NEED NOT BE "ACCESSIBLE" [250-112] COPPER, NOT ALUMINUM, MUST BE EMPLOYED AS GROUNDING CONDUCTOR WHERE IN EARTH OR SUBJECT TO CORROSIVE CONDITIONS [250-92(A)] WHERE THE GROUNDING ELECTRODE IS A METAL UNDERGROUND WATER PIPE, A SUPPLEMENTAL ELECTRODE MUST BE USED [250-81(A)].

NOTE:
CONTRACTOR SHALL CONSULT WITH A LICENSED MECHANICAL CONTRACTOR FOR EXTENT OF MECHANICAL UPGRADES

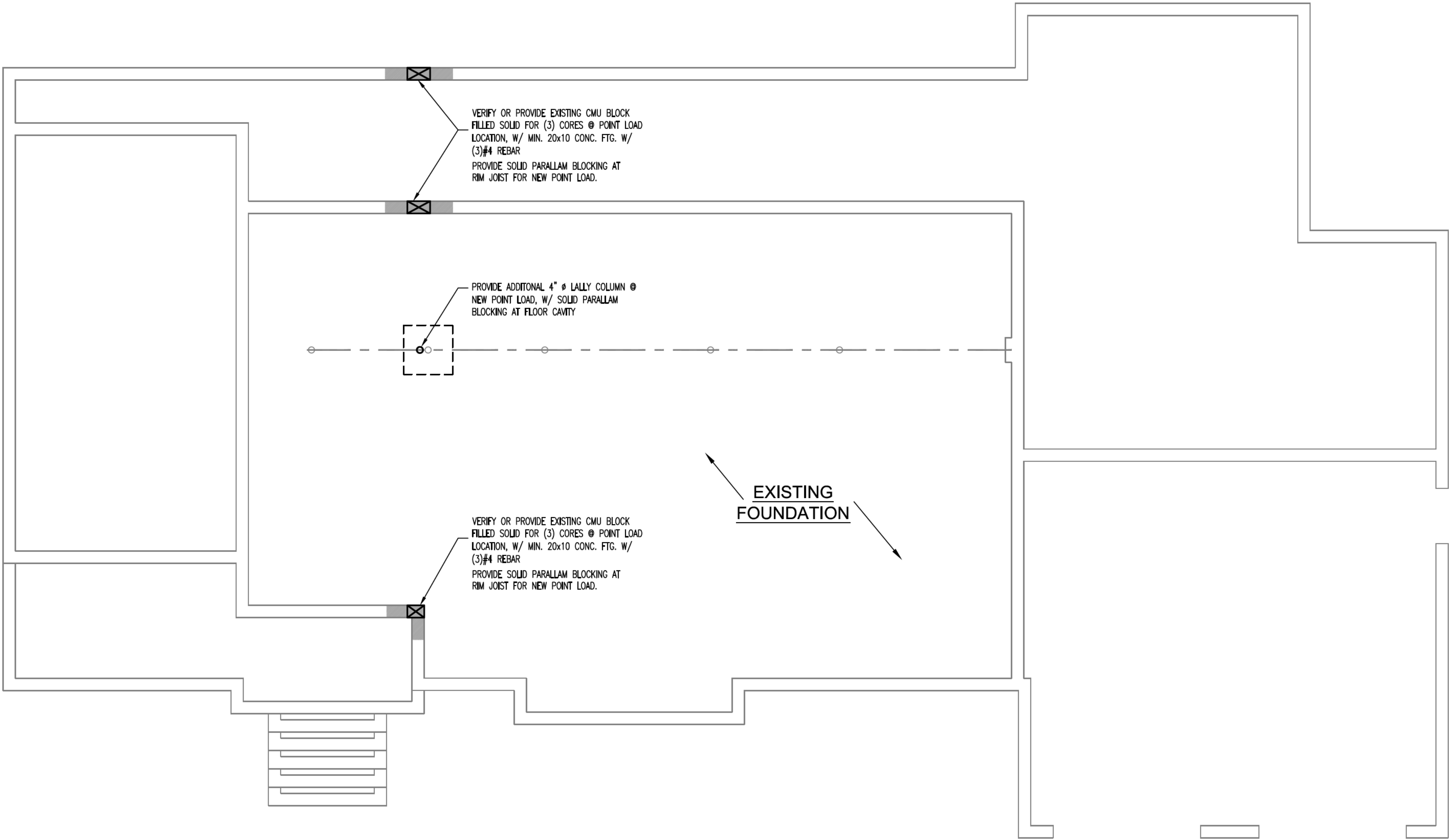
NOTE:
CONTRACTOR SHALL CONSULT WITH A LICENSED ELECTRICAL CONTRACTOR FOR EXTENT OF ELECTRICAL UPGRADES

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DAMAGE TO AREAS NOT DIRECTLY INVOLVED IN SCOPE OF WORK

DEMOLITION PLAN LEGEND

- DASHED LINES INDICATE EXISTING CONTRUCTION TO BE REMOVED
- ===== SOLID LINES INDICATE EXISTING CONTRUCTION TO REMAIN

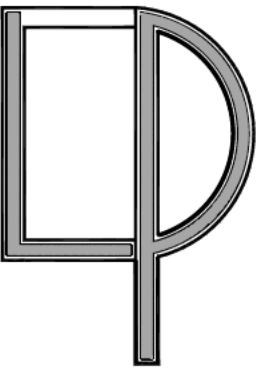
1
A2.0
DEMOLITION PLAN
SCALE:1/8"



2
A2.0
FOUNDATION PLAN
SCALE 1/4" =1'-0"

REVISIONS:		
NO.	DATE	DESCRIPTION
1	12-20-23	VARIANCE UPDATE
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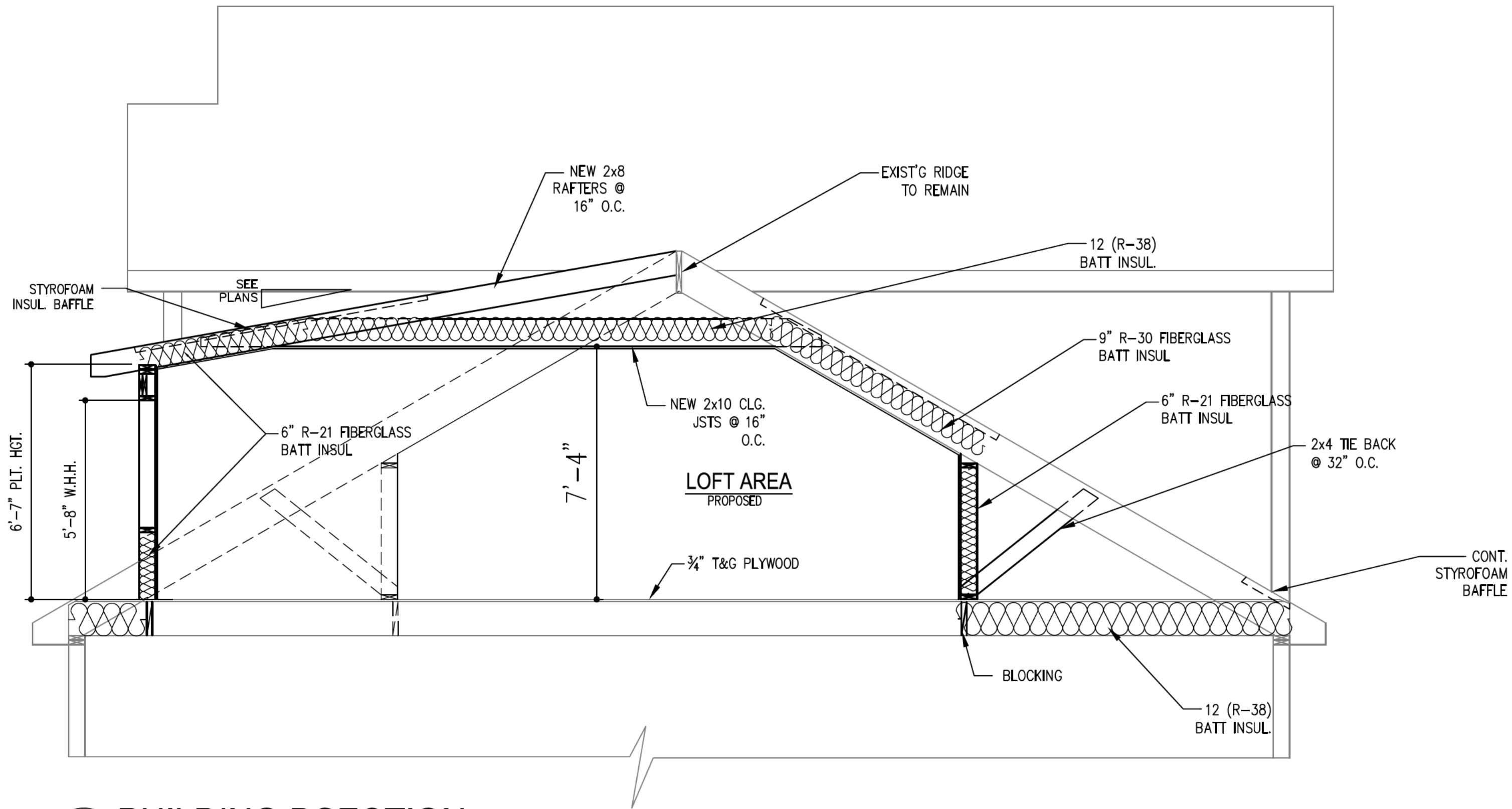


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NJ LICENSE NO. A1 17852
NY LICENSE NO. 033866
PA LICENSE NO. RA40508

EMAIL: DARIOARCHITECTURE@GMAIL.COM



9 BUILDING DSECTION
A3.0 SCALE 1/2"=1'-0"

GENERAL POST NOTE:
POST HEADER FULL WIDTH MIN. TYP. AT ALL GIRDER LOCATIONS UNLESS OTHERWISE NOTED

GENERAL HEADER NOTE:
PROVIDE A MIN. (2) 2x10 HEADER OVER ALL OPENINGS GREATER THAN 16" IN WIDTH UNLESS SPECIFIED OTHERWISE. FOR ALL OPENINGS LESS THAN 48" IN WIDTH, PROVIDE A MIN. (2) 2x JACK STUDS UNLESS SPECIFIED OTHERWISE. FOR OPENINGS GREATER THAN 48" IN WIDTH, PROVIDE A MIN. (4) 2x JACK STUDS TO POST HEADER UNLESS SPECIFIED OTHERWISE.

HEADER END REQUIREMENTS:					
HDR. IN NON-LOAD BEARING WALL:			HDR. IN LOAD BEARING WALL:		
HDR. SPAN:	NUM. OF FULL HGT. STUDS:		HDR. SPAN:	NUM. OF FULL HGT. STUDS:	
2'-0"	1		2'-0"	1	
3'-0"	2		3'-0"	2	
4'-0"	2		4'-0"	2	
5'-0"	3		5'-0"	3	
6'-0"	3		6'-0"	3	
7'-0"	3		7'-0"	3	
8'-0"	3		8'-0"	3	
9'-0"	3		9'-0"	3	
10'-0"	4		10'-0"	4	
11'-0"	4		11'-0"	4	
12'-0"	5		11'-0"	4	

WINDOW NOTE:
ALL WINDOWS MUST BE A MINIMUM OF 24" ABOVE FINISH FLOOR AS PER NJ IRC 2021, UNLESS DISTANCE IS LESS THAN 6'-0" BELOW EXTERIOR WALKING SURFACES BELOW. IF WINDOW SILL IS LESS THAN 24" ABOVE THE FLOOR AND THE DISTANCE TO EXTERIOR WALKING SURFACE IS MORE THAN 6'-0", CONTRACTOR SHALL PROVIDE A CHILD GUARD TO BE INSTALLED TO A MIN. HEIGHT OF 24" ABOVE THE FLOOR. INSTALL GUARD PER MANUFACTURES SPECIFICATIONS AND MAINTAIN MAX 4" CLEAR SPACE BETWEEN SILL AND GUARD. (VERIFY WDW SIZES PRIOR TO ORDERING & INSTALLATION)

NOTE: ALL WINDOWS & DOORS SHALL BE ANDERSEN 400 SERIES OR EQUAL WITH A MINIMUM DP 40 OR GREATER RATED WINDOW.

NOTE: ALL WINDOWS NEWLY INSTALLED IN BEDROOMS SHALL MEET THE FOLLOWING CRITERIA: CLEAR OPENING MIN. 24" WIDE x 20" HIGH, MIN. OF 5.7 S.F. CLEAR OPENING AREA. WINDOW SILL HEIGHT TO BE MAX. 44" ABOVE FLOOR.

INSULATION NOTE:
ALL NEW EXTERIOR WALLS & ALL EXIST'G WALL CONSTRUCTION EXPOSED OVER THE COURSE OF WORK SHALL BE INSULATED WITH FULL THICKNESS FIBERGLASS BATT INSUL.

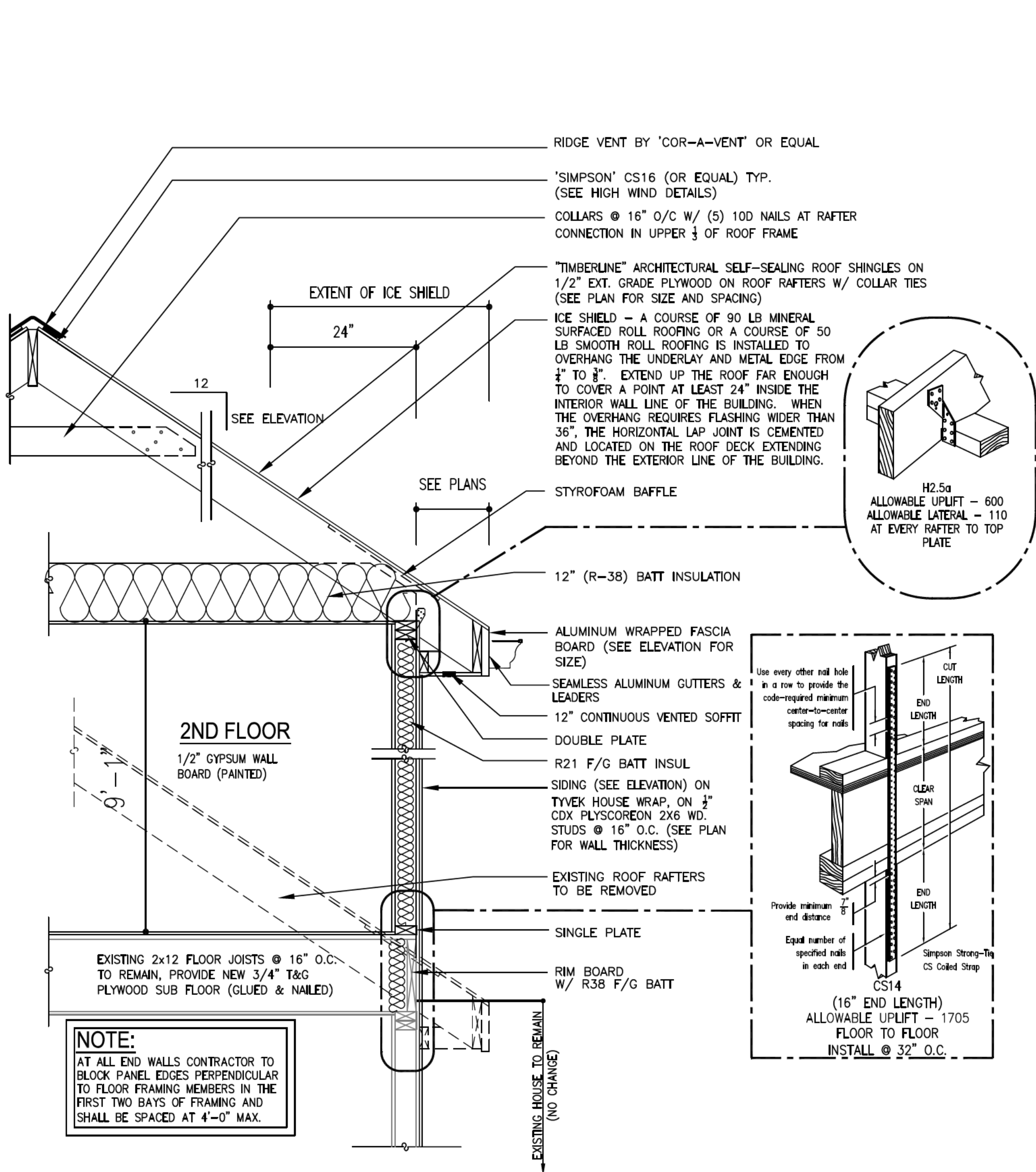
IN 2x4 WALLS, PROVIDE R-13 OR R-15

IN 2x6 WALLS, PROVIDE R-19 OR R-22

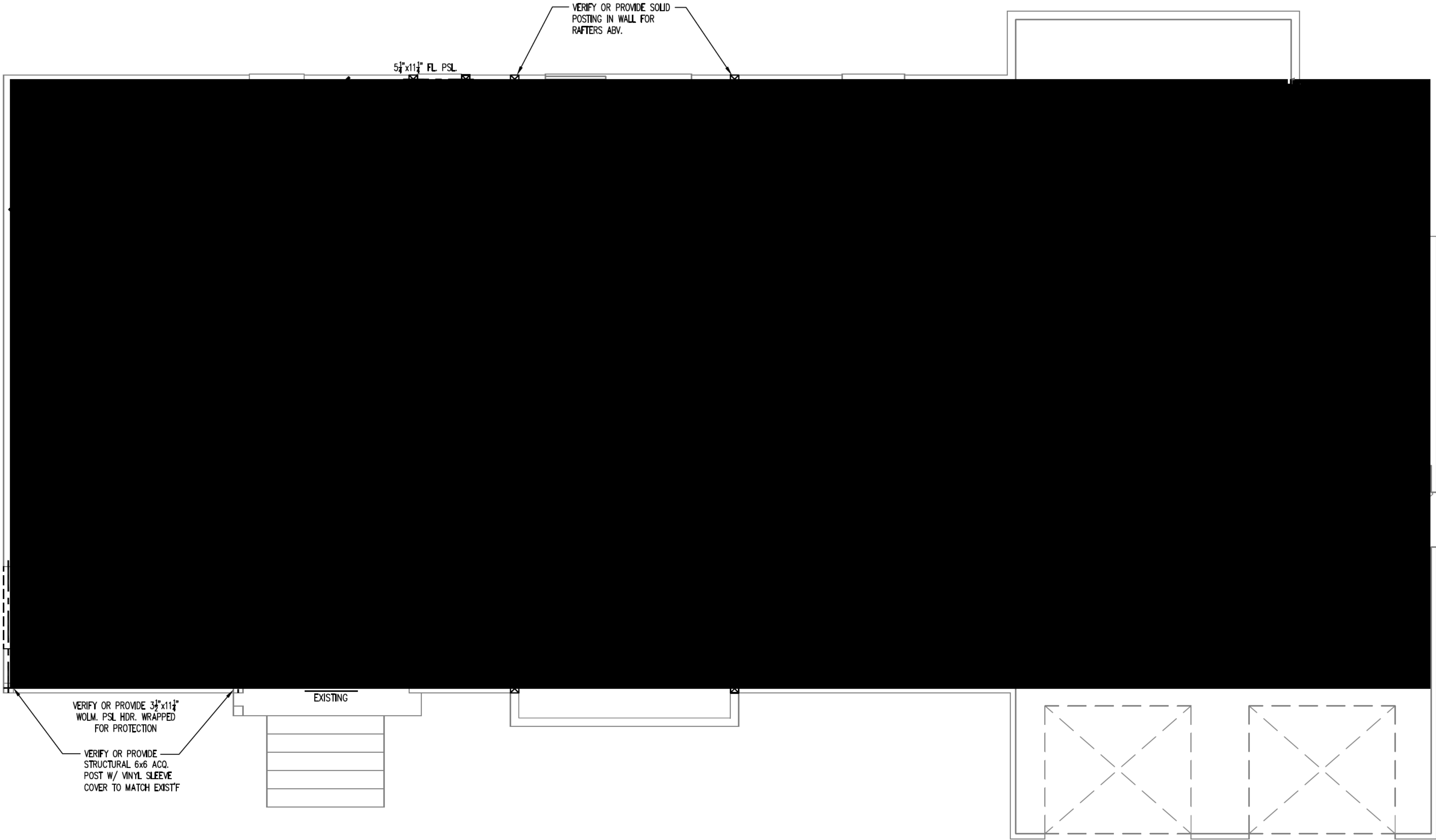
IN EXPOSED CEILINGS, PROVIDE MIN. 12" R-38

IN EXPOSED FLOORS OVER NON-CONDITIONED SPACES, PROVIDE MIN 9" R-30

SMOKE DETECTOR
IF ABSENT, CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERCONNECTED SMOKE DETECTORS IN ALL EXISTING HALLWAYS AND BEDROOMS THROUGH ENTIRE DWELLING WHERE THEY ARE NOT ALREADY INSTALLED. CONTRACTOR SHALL ALSO PROVIDE AT LEAST (1) INTERCONNECTED CARBON MONOXIDE DETECTOR AT EACH FLOOR LEVEL, WITHIN 10' OF ALL BEDROOM DOORS, AND STAIRCASES.



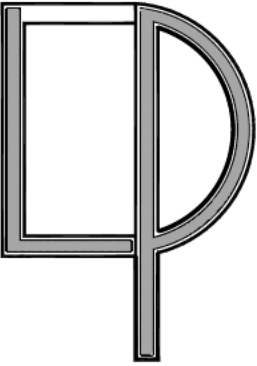
5 WALL SECTION
A3.0 SCALE 1/2"=1'-0"



3 FIRST FLOOR PLAN
A3.0 SCALE 1/2"=1'-0"

REVISIONS:		
NO.	DATE	DESCRIPTION
1	12-20-23	VARIANCE UPDATE
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ARCHITECTURE | DESIGN



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EMAIL: DARIOARCHITECTURE@GMAIL.COM

PROPOSED ADDITION AND RENOVATION FOR THE:
POLONSKY RESIDENCE
502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH COUNTY

CONTENT:
◦ FIRST FLOOR PLAN
◦ WALL SECTION

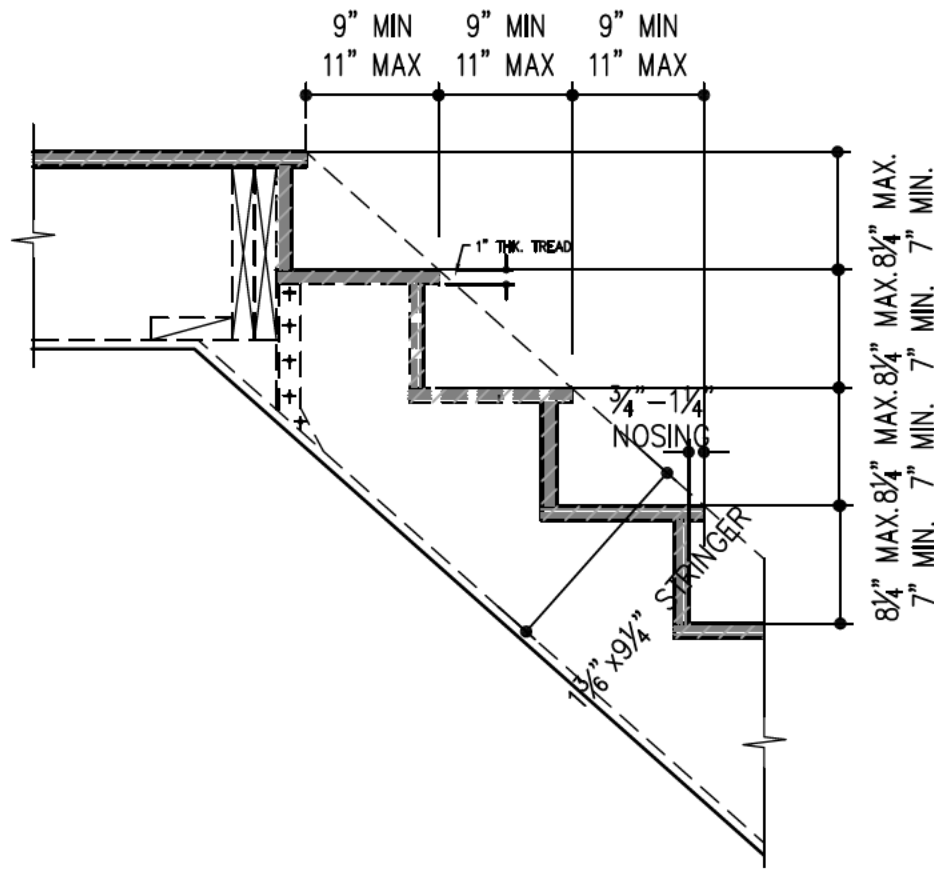
JOB NUMBER: 23922
DATE: 10-16-2023
DRAWN BY: DP

A3.0

SHEET NUMBER: 4 OF 6

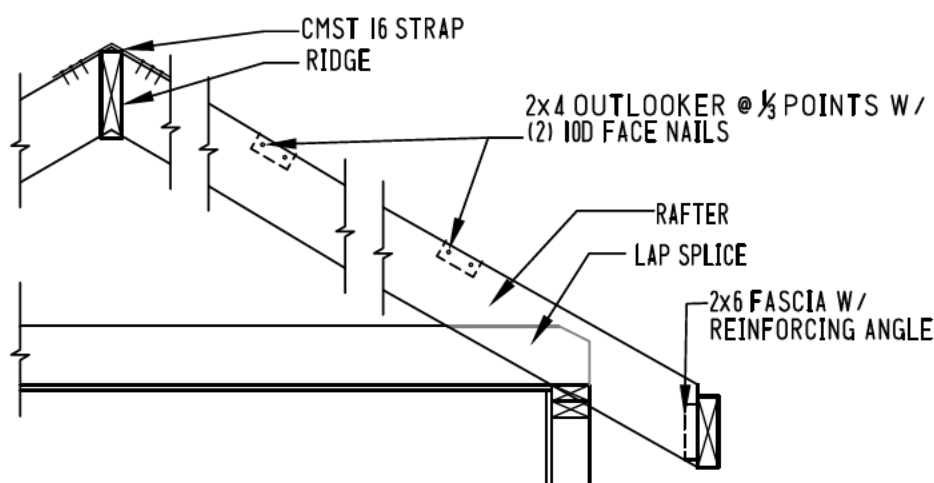
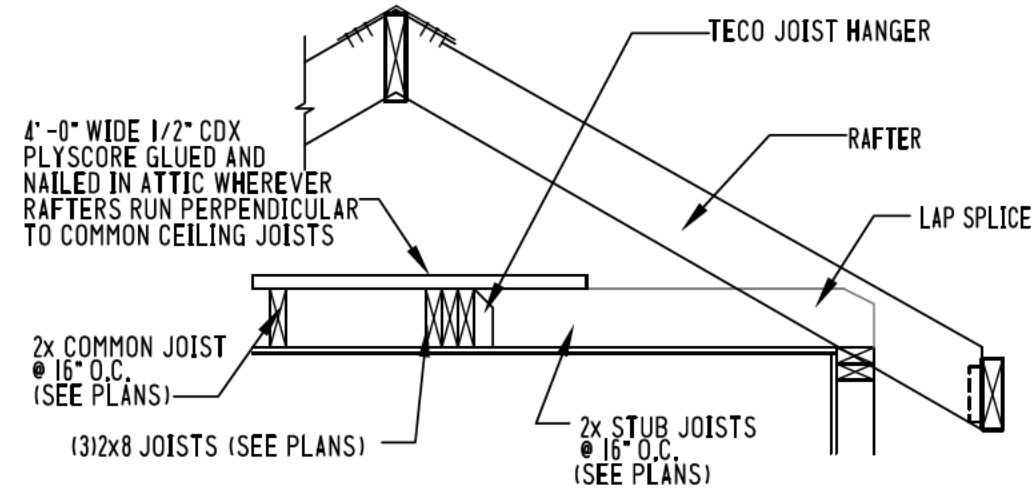
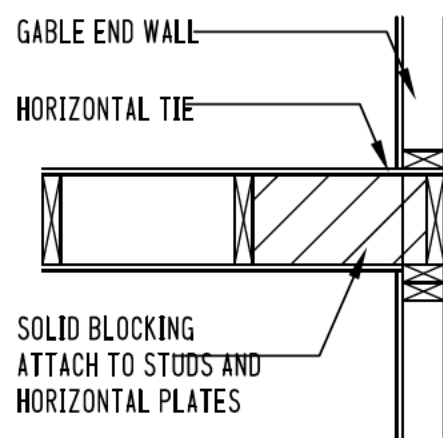
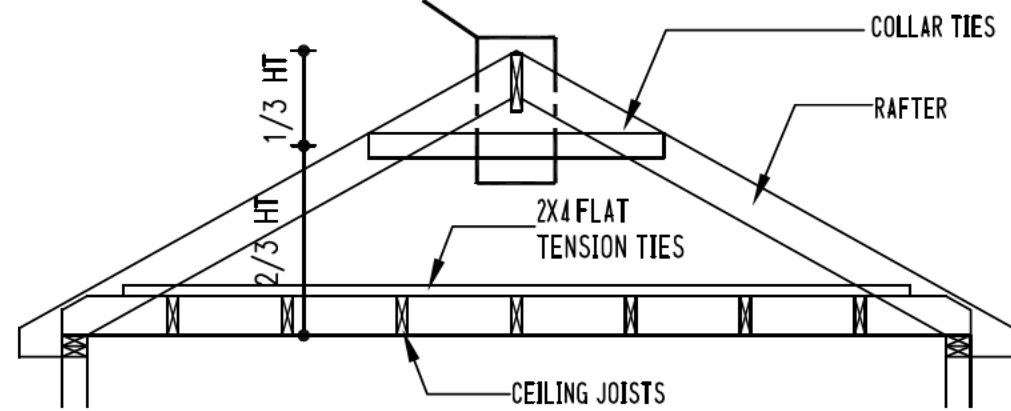
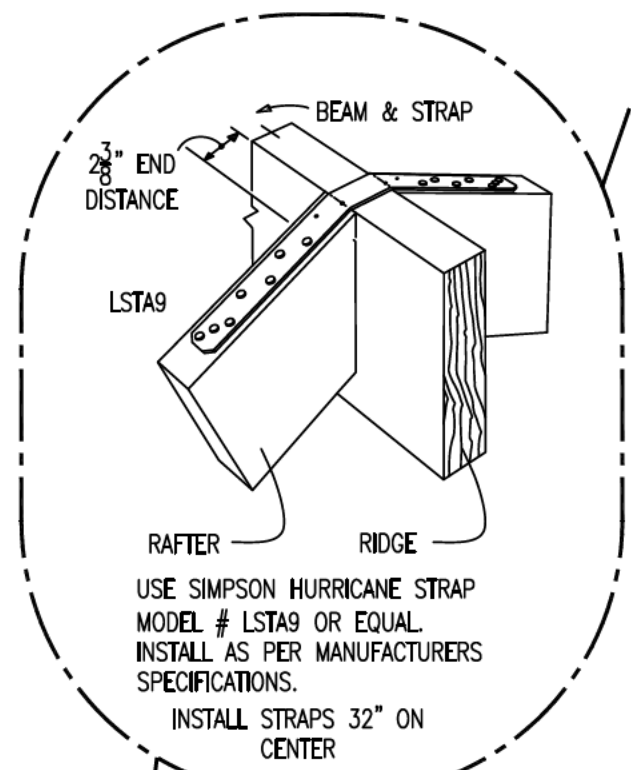
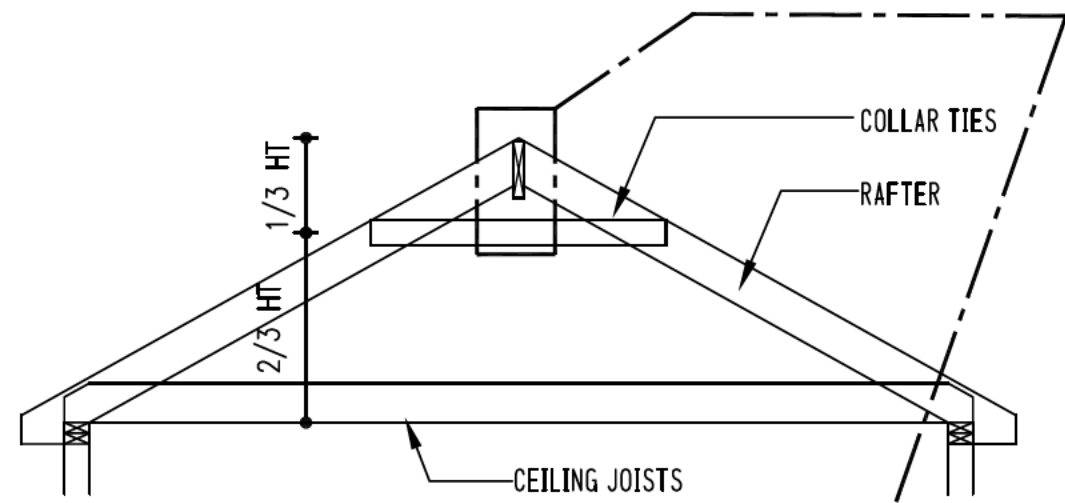
STAIR SECTION:

1. BALUSTERS SHALL BE A MAXIMUM OF 4" SPACING IN ANY DIRECTION
2. ALL RAILINGS SHALL BE FULL LENGTH WITH RETURNS TO WALLS AT ALL STAIRS
3. ALL RAILS TO BE OF GRASPABLE CONFIGURATION (1 1/4"-2 3/8" EQUIVALENT Ø)
4. ALL HANDRAILS TO BE A MAXIMUM PROJECTION OFF WALL 4 1/2", AND A MINIMUM PROJECTION OF 1 1/2" BETWEEN WALL AND RAILING.
5. HANDRAIL HEIGHT TO BE 30"-38" ABOVE STAIR NOSING



21 STAIR DETAIL

A4.0 SCALE: N.T.S.



4 ROOF DETAILS

A4.0 SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

- SURFACE-MOUNTED LIGHT FIXTURE
- GFI DUPLEX
- WEATHERPROOF DUPLEX (W/GFI)
- CLG DUPLEX FOR GARAGE OPENER
- SWITCH
- 3-WAY SWITCH
- SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- RECESSED DOWNLIGHT
- WALL MOUNTED LIGHT FIXTURE

ELECTRICAL NOTES:

- MAINTAIN 10'-0" MAX FOR ALL HALLWAY SMOKE DETECTORS FROM ANY BEDROOM
- MAINTAIN 3'-0" FROM ALL SMOKE DETECTORS AND FAN BLADES
- PROVIDE ALL NON-GFCI CIRCUITS WITH ARC FAULT BREAKERS
- CONTRACTOR OR ELECTRICIAN SHALL MAKE SURE ALL RECEPTACLES ARE TAMPERPROOF
- PROVIDE ALL EXTERIOR GFI OUTLETS WITH A COVER THAT CAN BE CLOSED OVER THE PLUG AND RECEPTACLE WHEN DEVICES ARE ATTACHED
- MAINTAIN 10'-0" MAX FOR ALL SMOKE DETECTORS FROM ANY STAIRCASE

HEADER END REQUIREMENTS:

HDR. IN NON-LOAD BEARING WALL:			HDR. IN LOAD BEARING WALL:		
HDR. SPAN:	NUM. OF FULL HGT. STUDS:		HDR. SPAN:	NUM. OF FULL HGT. STUDS:	
2'-0"	1		2'-0"	1	
3'-0"	2		3'-0"	2	
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5'-0"	3		5'-0"	3	
6'-0"	3		6'-0"	3	
7'-0"	3		7'-0"	3	
8'-0"	3		8'-0"	3	
9'-0"	4		9'-0"	3	
10'-0"	4		10'-0"	4	
11'-0"	4		11'-0"	4	
12'-0"	5				

GENERAL POST NOTE:

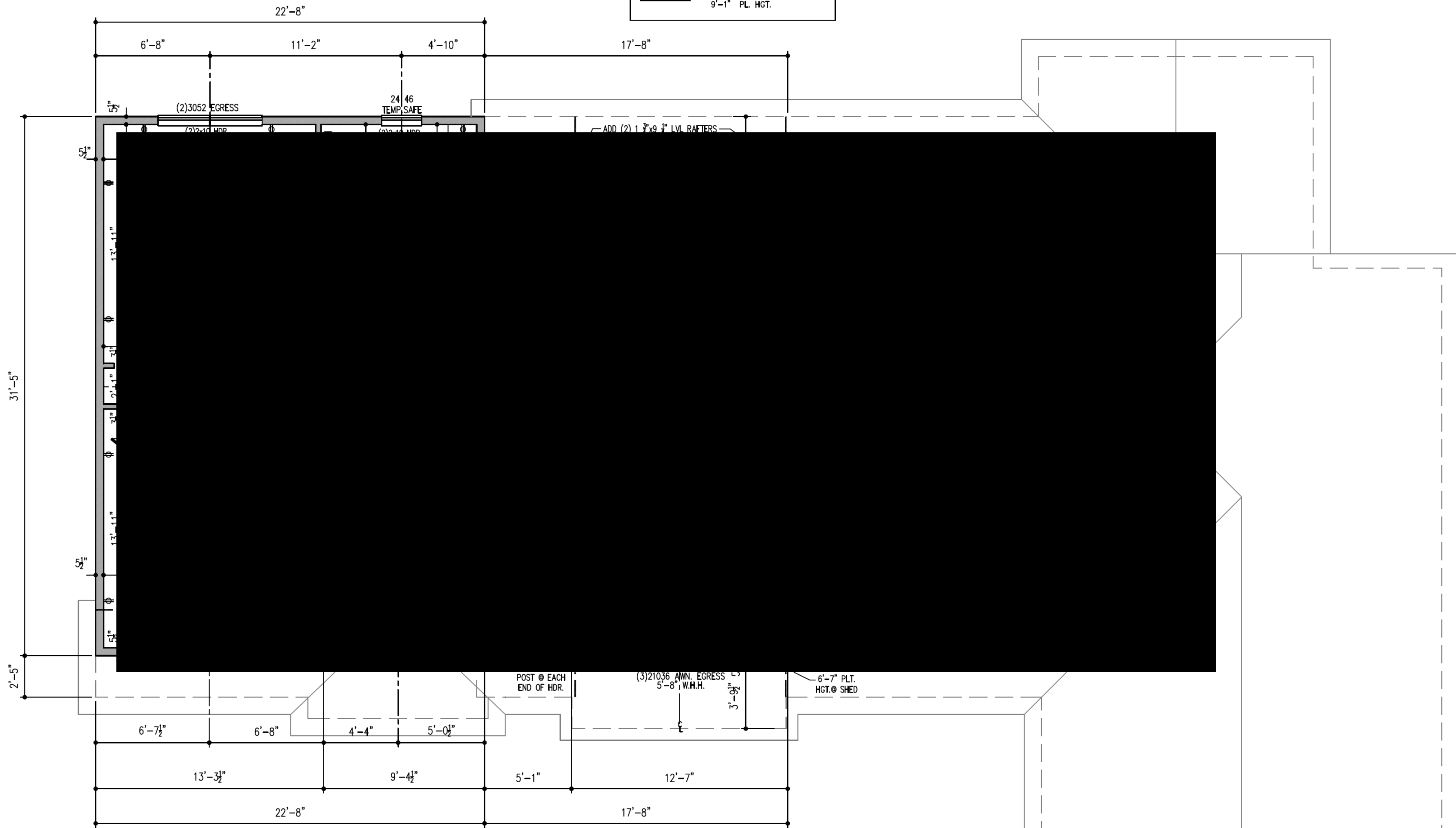
POST HEADER FULL WIDTH MIN. TYP. AT ALL GIRDER LOCATIONS UNLESS OTHERWISE NOTED

GENERAL HEADER NOTE:

PROVIDE A MIN. (2) 2x10 HEADER OVER ALL OPENINGS GREATER THAN 16" IN WIDTH UNLESS SPECIFIED OTHERWISE. FOR ALL OPENINGS LESS THAN 48" IN WIDTH, PROVIDE A MIN. (2) 2x JACK STUDS UNLESS SPECIFIED OTHERWISE. FOR OPENINGS GREATER THAN 48" IN WIDTH, PROVIDE A MIN. (4) 2x JACK STUDS TO POST HEADER UNLESS SPECIFIED OTHERWISE.

FLOOR PLAN LEGEND

- EXISTING WOOD STUD FRAMED WALL
-



3 SECOND FLOOR PLAN

A4.0 SCALE: 3/8" = 1'-0"

WINDOW NOTE:

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INSULATION NOTE:

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IN 2x4 WALLS, PROVIDE R-13 OR R-15

IN 2x6 WALLS, PROVIDE R-19 OR R-22

IN EXPOSED CEILINGS, PROVIDE MIN. 12" R-38

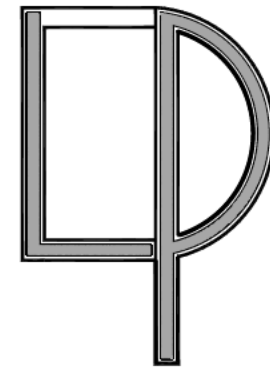
IN EXPOSED FLOORS OVER NON-CONDITIONED SPACES, PROVIDE MIN 9" R-30

SMOKE DETECTOR

IF ABSENT, CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERCONNECTED SMOKE DETECTORS IN ALL EXISTING HALLWAYS AND BEDROOMS THROUGH ENTIRE DWELLING WHERE THEY ARE NOT ALREADY INSTALLED. CONTRACTOR SHALL ALSO PROVIDE AT LEAST (1) INTERCONNECTED CARBON MONOXIDE DETECTOR AT EACH FLOOR LEVEL, WITHIN 10' OF ALL BEDROOM DOORS, AND STAIRCASES.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	11-6-23	LOFT NOTE
2	12-20-23	VARIANCE UPDATE
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PA LICENSE NO. RA405008

EMAIL: DARIOARCHITECTURE@GMAIL.COM

PROPOSED ADDITION AND RENOVATION FOR THE:

POLONSKY RESIDENCE

502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH COUNTY

CONTENT:
◦ SECOND FLOOR PLAN

JOB NUMBER: 23922

DATE: 10-16-2023

DRAWN BY: DP

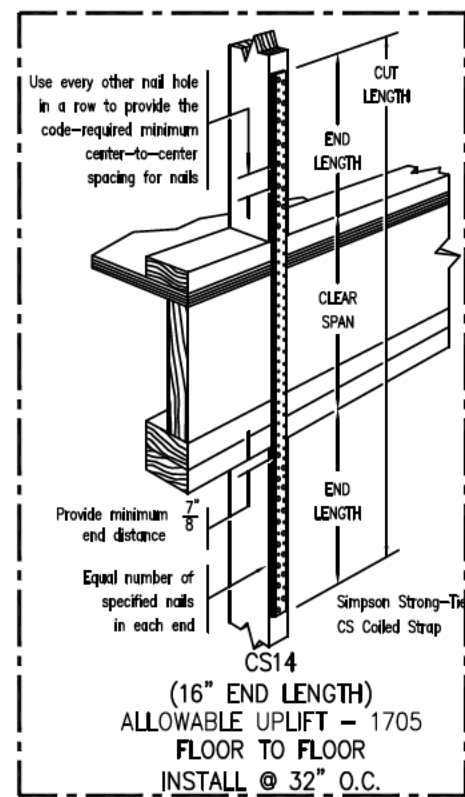
A4.0

SHEET NUMBER: 5 OF 6

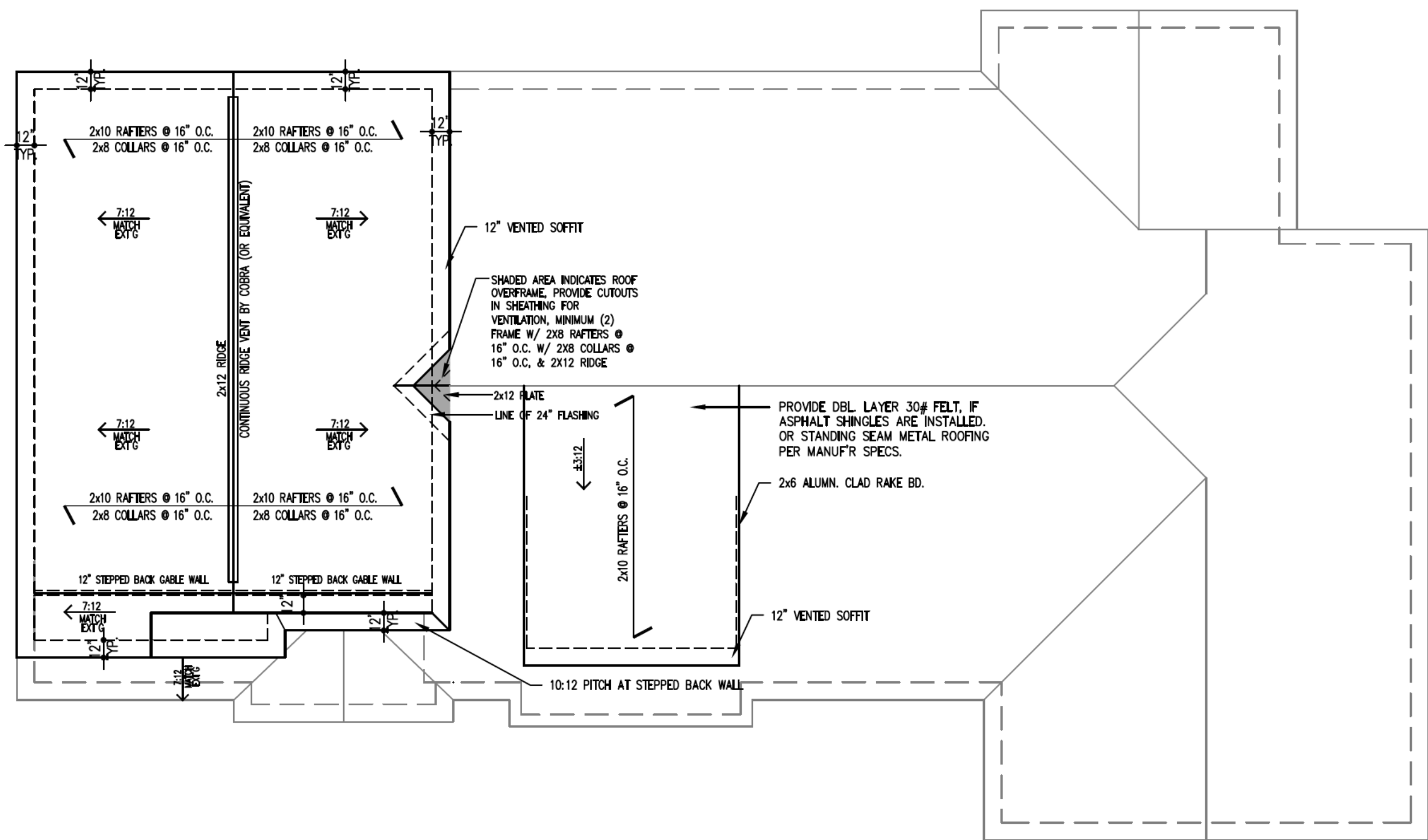
NOTE:
PROVIDE SEAMLESS ALUMINUM
GUTTERS & LEADERS -
COORDINATE W/ ENGINEER'S
GRADING PLAN & SPECS

NOTE:
ALL WINDOWS ARE TO BE MIN. DP40

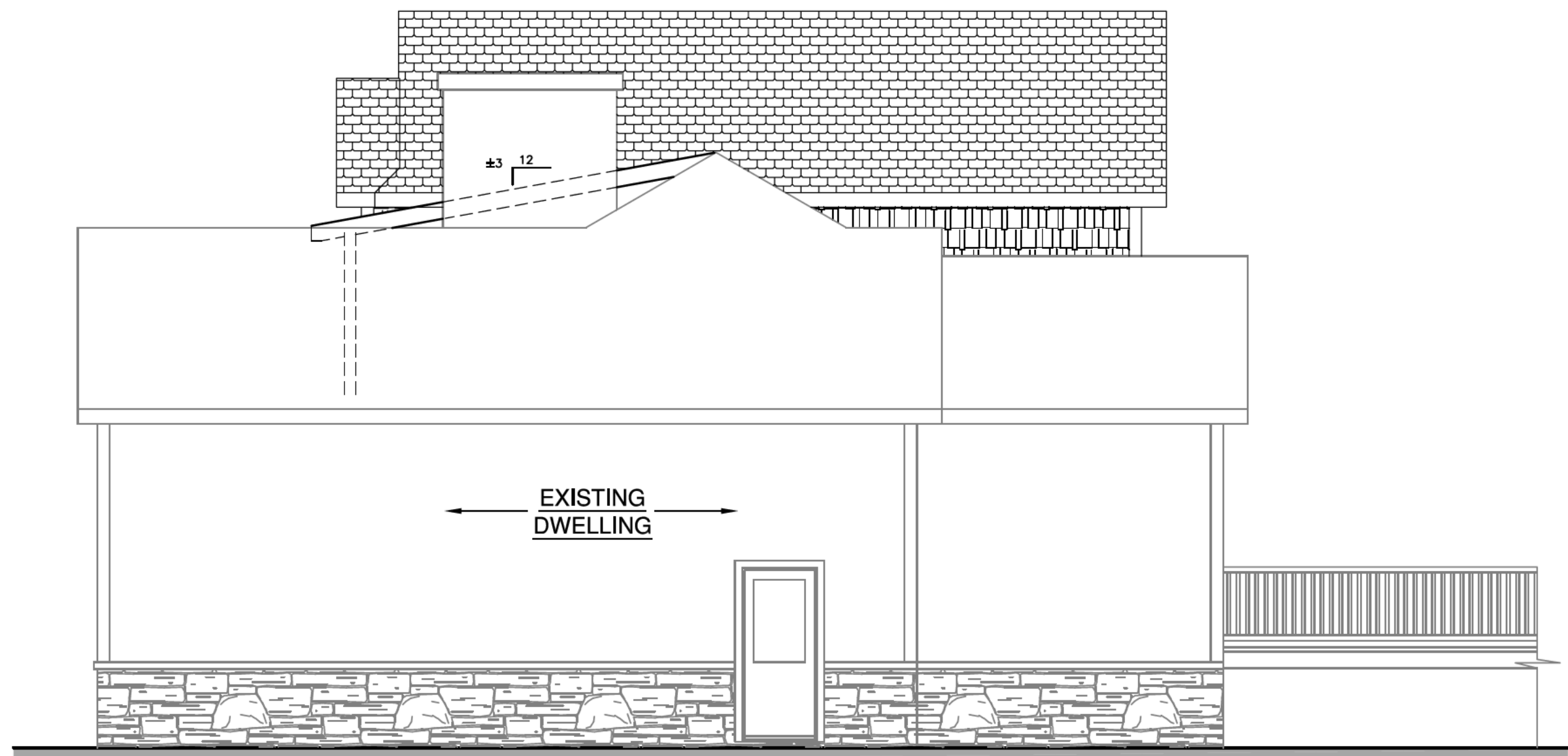
RIDGE VENT NOTE:
PROVIDE RIDGE VENT BY COBRA
OR EQUAL FOR ALL RIDGES,
UNLESS OTHERWISE NOTED



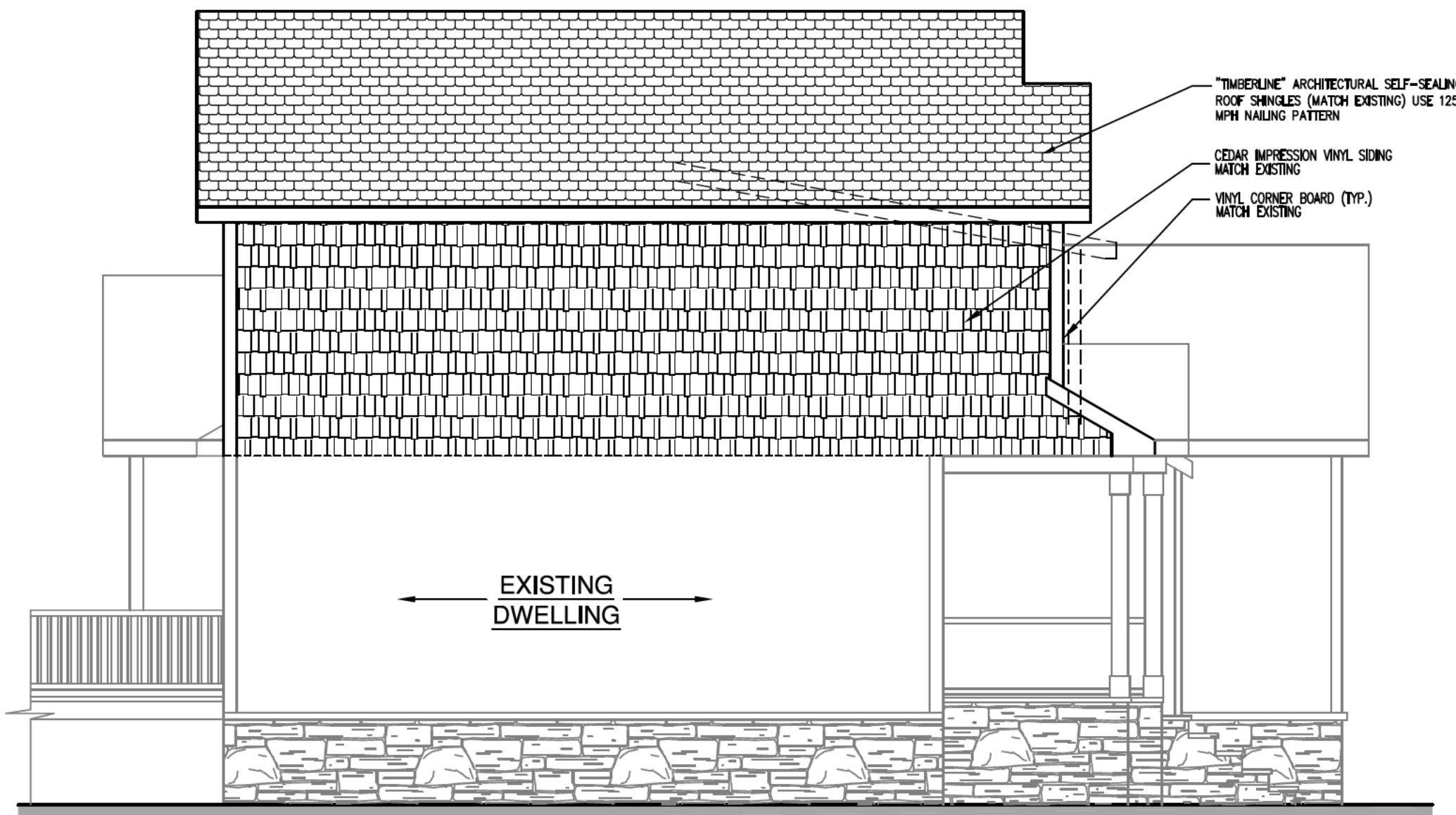
01 FRONT ELEVATION
SCALE 5/16"=1'-0"



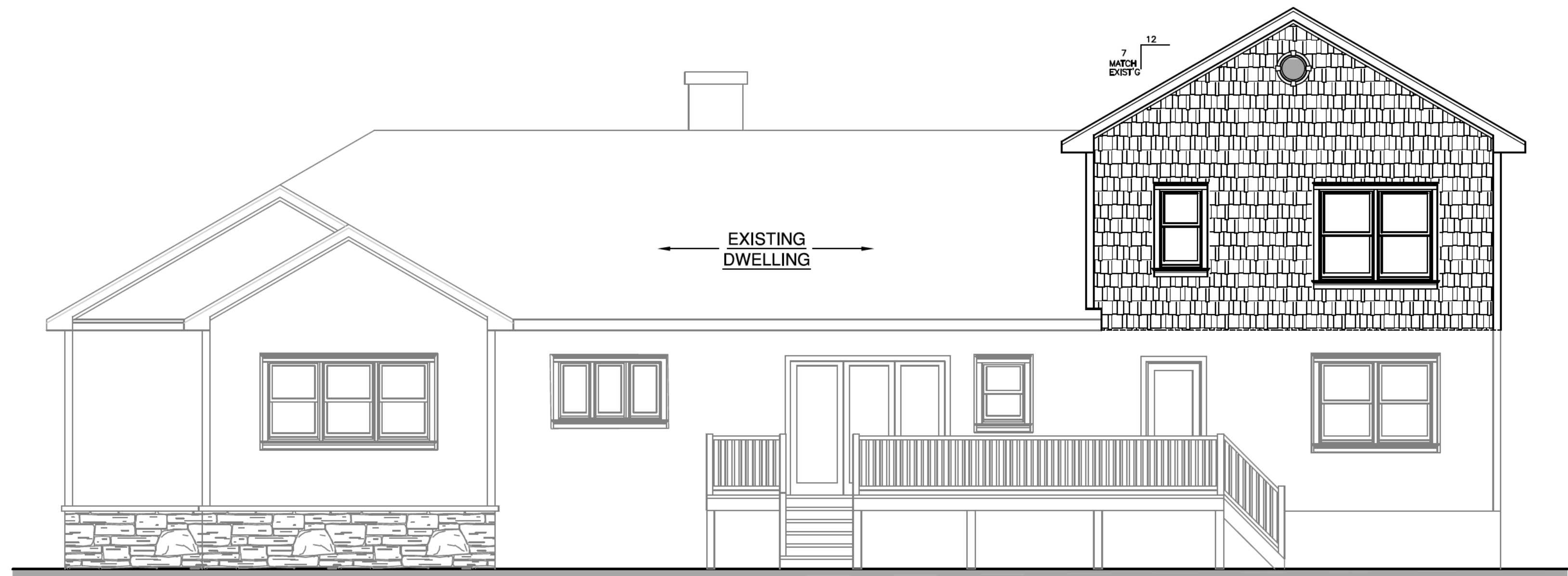
01 ROOF PLAN
SCALE N.T.S.



02 RIGHT SIDE ELEVATION
SCALE 5/16"=1'-0"



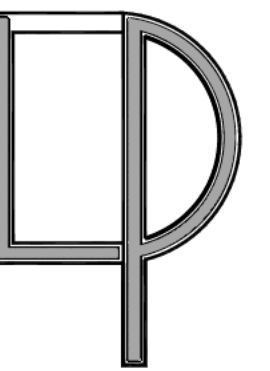
03 LEFT SIDE ELEVATION
SCALE 5/16"=1'-0"



04 REAR ELEVATION
SCALE 5/16"=1'-0"

REVISIONS:		
NO.	DATE	DESCRIPTION
1	12-20-23	VARIANCE UPDATE
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NY LICENSE NO. 030960
PA LICENSE NO. RA405008
EMAIL: DARIOARCHITECTURE@GMAIL.COM

PROPOSED ADDITION AND RENOVATION FOR THE:

POLONSKY RESIDENCE

502 BRANCH PORT AVE.
OCEANPORT NEW JERSEY 07757, MONMOUTH
COUNTY

CONTENT:
◦ EXTERIOR ELEVATION

JOB NUMBER: 23922

DATE: 10-16-2023

DRAWN BY: DP

A5.0

SHEET NUMBER: 6 OF 6



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3066)

9.3

Meeting: 02/27/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3066

PB2023-15 Pierce, Ana

Block 10, Lot 20.03

79 Iroquois Avenue

Proposed construction of a 4' walkway, paver patio, landing and wood burning fireplace in rear seeking variance relief for:

- Maximum impervious coverage of 45.99% where 44.28% exists and 37% is permitted

DFD 5/23/24

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



January 24, 2024

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

79 Iroquois Avenue – Bulk Variance
Block 10, Lot 22.03
Application No. PB2023-15
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0353

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Plot Plan," prepared by Insite Engineering, last revised December 1, 2023, consisting of one (1) sheet.
- Plan entitled "Boundary & Topographic Survey" prepared by Insite Surveying, last revised August 7, 2023, consisting of one (1) sheet.

The subject property is a 13,000 SF (0.30-acre) parcel on the north side of Iroquois Avenue approximately 1,235 feet west of Port Au Peck Avenue. The parcel is located in the R-3 Residential Zone. The lot currently has a 2 story dwelling, asphalt driveway, concrete and brick paver walkways and a paver patio. The Applicant proposes to remove paver walkway and patio and replace it with a reduced size walkway and larger patio, which will have a wood burning fireplace.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below.

A. Variances/Design Waivers

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:

- a. Impervious Coverage – Currently the property has 44.28% impervious coverage whereas the maximum permitted in the zone is 37%. The Applicant proposes to increase the impervious coverage to 45.99%.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. The Applicant shall provide copies of the Drainage Easement documents. There may be a restriction from installing any improvements over the Borough’s easement. A portion of the patio and the fireplace are directly over the Borough’s drainage pipe. If there is no restriction and the improvements are installed, the Borough assumes no liability should they have to repair or replace the pipe and have to remove any of the improvements within the easement.
2. Details for the construction of the fireplace should be provided as the drainage pipe has less than two feet of soil over it.
3. Testimony shall be provided as to how the rear yard directs runoff now and under proposed conditions.

Project No. OPP-0353
January 24 2024
Page 3 | 3



Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design
(DBA Maser Consulting)

A handwritten signature in blue ink, appearing to read "W.H. White, III".

William H.R. White, III, PE, PP, CME, CFM, CPWM
Planning Board Engineer and Planner

WHW/

cc: Ana Pierce (via email)
Doug D. Clelland, PE (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\M-P\Opp\OPP0353\Correspondence\OUT\240119_whw_79_iroquois_ave_review#1.docx

PROPERTY OWNERS WITHIN 200'

OWNER & ADDRESS REPORT				11/21/23 Page 1 of 2	
BLOCK	LOT	QUAL	PROPERTY OWNER	PROPERTY LOCATION	ADD'L LOTS
8	11.01	2	KORN, TIMOTHY & SANDRA 74 IROQUOIS AVE OCEANPORT, N.J.	74 IROQUOIS AVE	
8	11.02	2	KOHLER, AND & LORRAINE 78 IROQUOIS AVE OCEANPORT, N.J.	78 IROQUOIS AVE	
8	11.03	2	DONALD, WILLIAM & DANIELLE M 82 IROQUOIS AVE OCEANPORT, N.J.	82 IROQUOIS AVE	
8	12	2	GIORDANO, ANTHONY III & ELIZABETH M BA 86 IROQUOIS AVE OCEANPORT, N.J.	86 IROQUOIS AVE	
8	17	2	KISE, DANIEL & AMY 85 TECUMSEH AVE OCEANPORT, NJ	85 TECUMSEH AVE	
8	18	2	KOSMELTOW, ANTHONY 79 TECUMSEH AVE OCEANPORT, NJ	79 TECUMSEH AVE	
8	19	2	SULLIVAN, ALEXANDER 75 TECUMSEH AVE OCEANPORT, NJ	75 TECUMSEH AVE	
8	20	2	KYNESMAN, GEORGE J & BEVERLY 67 TECUMSEH AVE OCEANPORT, NJ	67 TECUMSEH AVE	
8	21	2	DE SMITH, NANCY A & COLLEEN E 61 TECUMSEH AVE OCEANPORT, NJ	61 TECUMSEH AVE	
10	11	2	STEINMAN, LEA & ROTOLO, ALEXANDER 98 SAGAMORE AVE OCEANPORT, NJ	98 SAGAMORE AVE	
10	12	2	SICILLIANO, ELIZABETH K 102 SAGAMORE AVE OCEANPORT, NJ	102 SAGAMORE AVE	
10	13.01	2	STURMSTADT, RONALD A & LINDA L 104 SAGAMORE AVE OCEANPORT, NJ	104 SAGAMORE AVE	
10	14.01	2	BORSEN, LAWRENCE B. & DONNA H 118 SAGAMORE AVE OCEANPORT, NJ	118 SAGAMORE AVE	
10	14.02	2	MARUCCI, FRANCIS D III & ENDA N 114 SAGAMORE AVE OCEANPORT, NJ	114 SAGAMORE AVE	
10	20.01	2	BEPTOLO, CHRISTOPHER P & ELIZ B 87 IROQUOIS AVE OCEANPORT, NJ	87 IROQUOIS AVE	
10	20.02	2	BUCH, BRIAN E & CYNTHIA B 83 IROQUOIS AVE OCEANPORT, NJ	83 IROQUOIS AVE	
10	20.04	2	LEHMAN, PETER R & MURKIN W 75 IROQUOIS AVE OCEANPORT, NJ	75 IROQUOIS AVE	
10	20.05	2	WOLF, RANDOLPH M & ANN M 71 IROQUOIS AVE OCEANPORT, NJ	71 IROQUOIS AVE	
12	24.02	2	TIPPERMAN, JEFFREY T & MEGHAN 115 SAGAMORE AVE OCEANPORT, NJ	115 SAGAMORE AVE	
12	25	2	SCIVAKA, PAUL B & JACQUELINE 111 SAGAMORE AVE OCEANPORT, NJ	111 SAGAMORE AVE	
12	26	2	BONDARTINE, JULIA ANI 107 SAGAMORE AVE OCEANPORT, NJ	107 SAGAMORE AVE	
12	27	2	HARTMAN, KATHY LEE & FUSIS, PETER H 105 SAGAMORE AVE OCEANPORT, NJ	105 SAGAMORE AVE	
12	28	2	BARNY, KIM & KORI, STEVEN 99 SAGAMORE AVE OCEANPORT, NJ	99 SAGAMORE AVE	

UTILITY CONTACTS

Two Rivers Water Reclamation Center
1 Highland Avenue
Monmouth Beach, NJ 07750

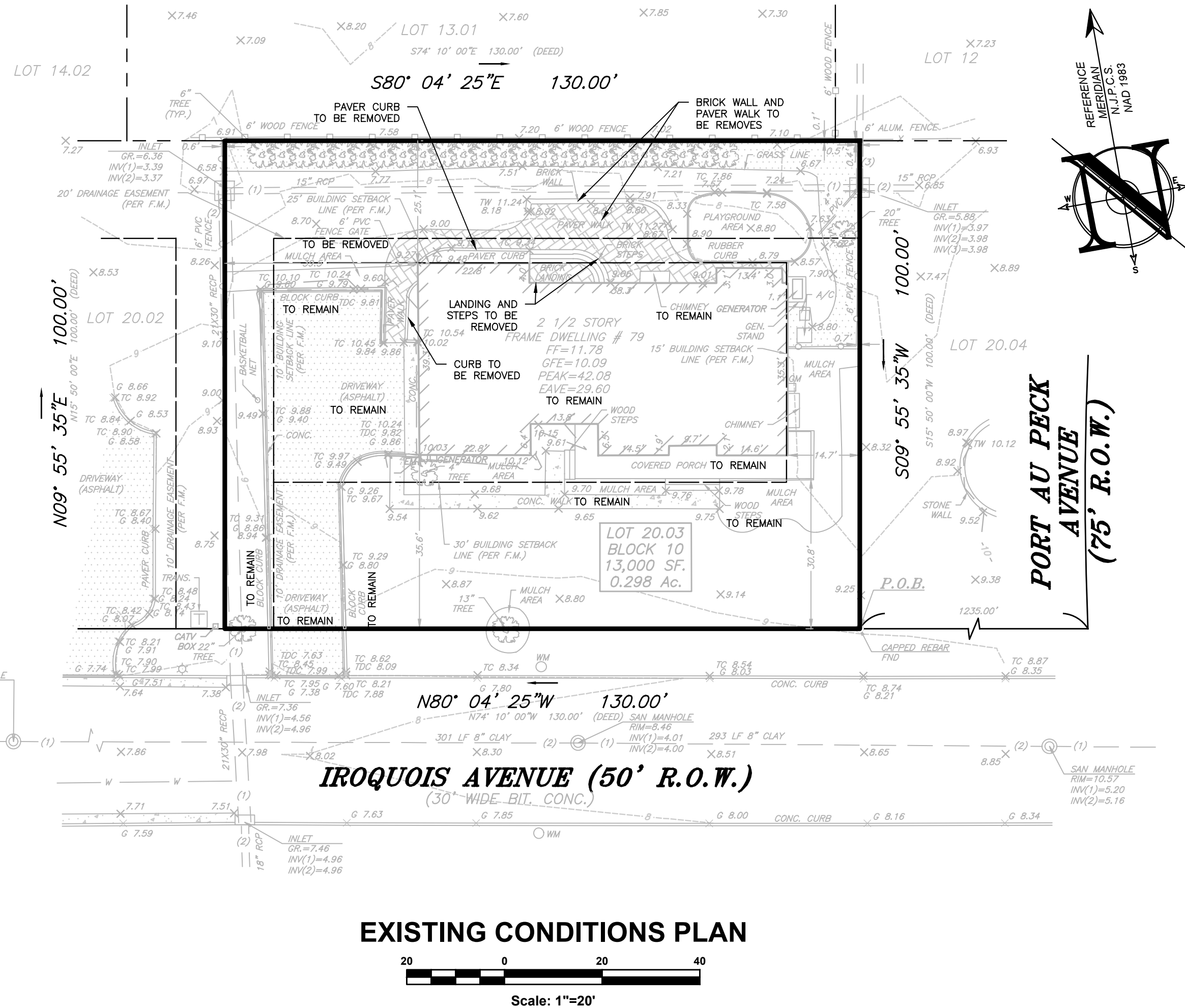
JCP&L Co.
ATTN: Richard Cohen
360 Madison Ave.
Morristown, NJ 07960

Comcast
401 South Street
Eatontown, NJ 07724

NJ American Water Company, Inc
1025 Laurel Oak Road
Voorhees, NJ 08043
Attn: Donna Shive, GIS Supervisor

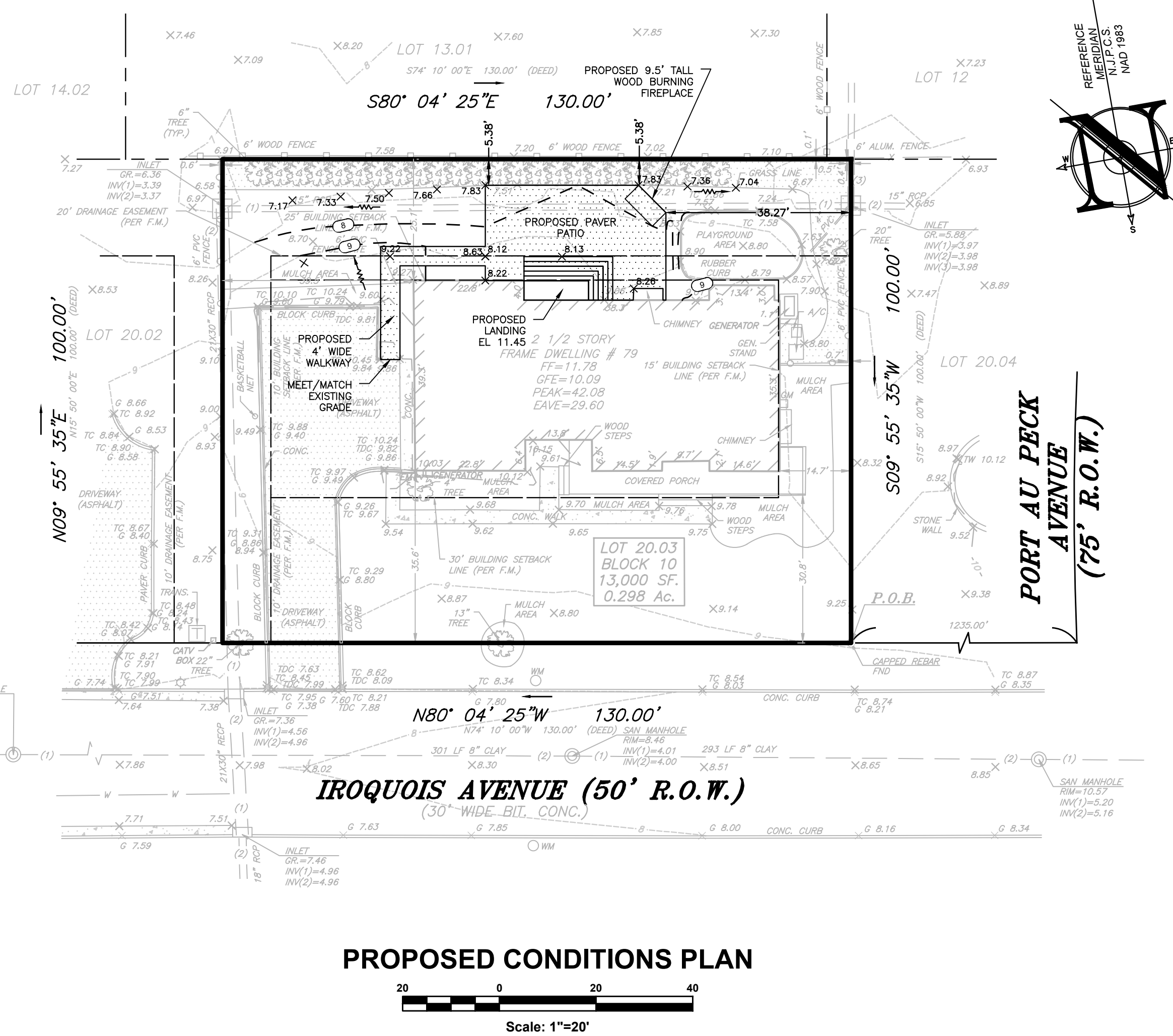
NJ Natural Gas Co.
1415 Wyckoff Rd.
Wall, NJ 07719

Verizon
Attn: Manager of Engineering
5011 Belmar Blvd.
Wall, NJ 07727



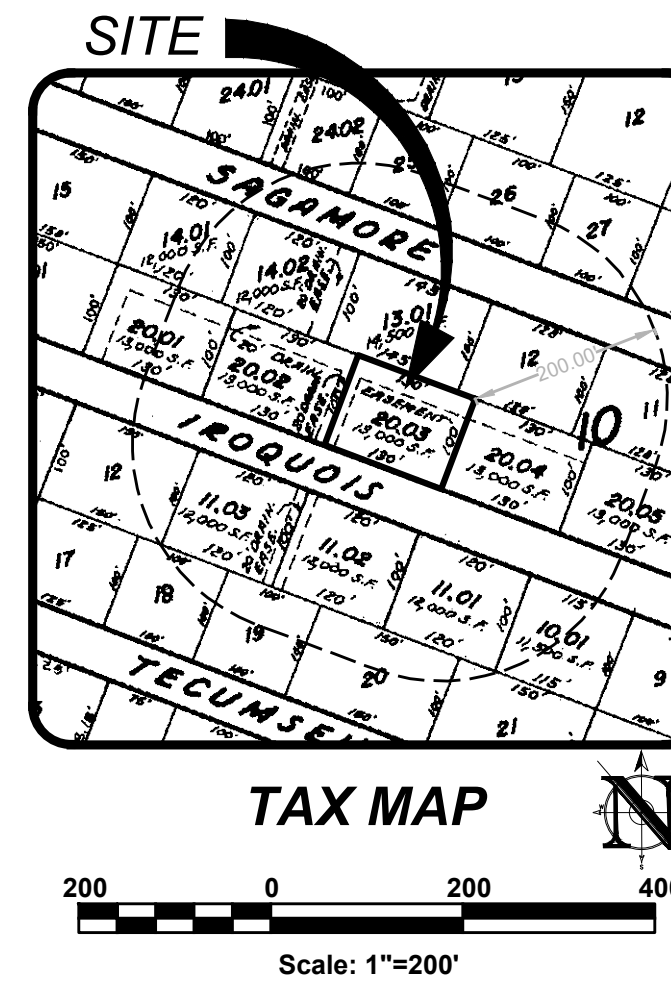
EXISTING CONDITIONS PLAN

Scale: 1"=20'



PROPOSED CONDITIONS PLAN

Scale: 1"=20'



TAX MAP

Scale: 1"=200'



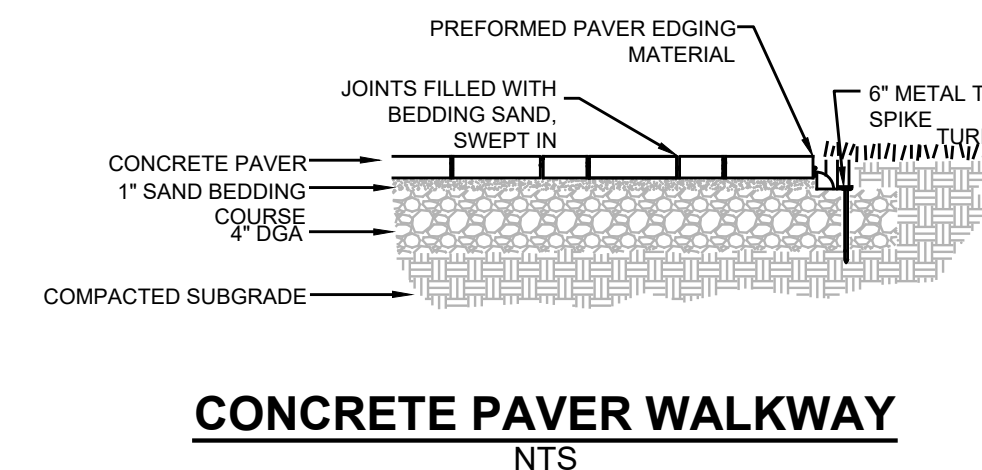
LOCATION MAP

Scale: 1"=1000'

GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP #10; BLOCK 10; LOT 20.03; 79 IROQUOIS AVENUE, MONMOUTH COUNTY, NEW JERSEY
- OWNER / APPLICANT**
PIERCE, ANA
79 IROQUOIS AVENUE
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE MUNICIPALITY (FOR ENGINEERING AND ZONING APPROVAL).
- SURVEY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY OF BLOCK 10, LOT 20.03, 79 IROQUOIS AVENUE," WITH THE LATEST REVISION BEING DATED 08/07/23. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD83 VERTICAL DATUM.
- BASE FLOOD ELEVATION**
SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.
- CONSTRUCTION STAKEOUT**
SPECIAL CARE SHALL BE TAKEN DURING STAKEOUT AND CONSTRUCTION TO ADHERE TO THE LOCATION OF THE PROPOSED STRUCTURE AND SITE IMPROVEMENTS. THE BUILDING TIES ARE TO THE FOUNDATION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- SPECIFICATIONS**
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- LIMIT OF DISTURBANCE**
PRIOR TO THE START OF SITE WORK, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH SNOW FENCING OR OTHER APPROPRIATE MARKERS. SOIL DISTURBANCE IS LESS THAN 5,000 SF, THEREFORE PLAN CERTIFICATION IS FROM THE SOIL CONSERVATION DISTRICT IS NOT REQUIRED.
- RESTORATION**
ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED "IN-KIND" AS NEARLY AS PRACTICAL TO THEIR ORIGINAL STATE. AREAS WHERE SOIL IS LEFT EXPOSED SHALL BE GRADED, RAKED SMOOTH AND SEEDED IMMEDIATELY UPON COMPLETION OF SOIL DISTURBANCE.

LOT COVERAGE CALCULATIONS		
ITEM	EXISTING (SF)	PROPOSED (SF)
DWELLING	2,723.9	NO CHANGE
COVERED PORCH	303.8	NO CHANGE
DRIVEWAY	1,532.4	NO CHANGE
WALKWAY (FRONT)	261.3	NO CHANGE
WALKWAY (REAR)	616.2	164.3
BLOCK CURB	96.6	78.6
RUBBER CURB	17.2	17.2
LANDING	33.7	N/A
STEPS	50.0	53.5
GENERATOR	19.3	NO CHANGE
A/C	13.0	NO CHANGE
PATIO	N/A	660.0
TOTAL	5,756.7	5,978.3

CONCRETE PAVER WALKWAY
NTS

ZONING COMPLIANCE CHART					
R-3 (SINGLE-FAMILY) ZONE					
ACCESSORY STRUCTURE: PERMITTED					
ORD. SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLI
SCHED. II	MIN. LOT AREA (SF)	12,000	13,000	NO CHANGE	YES
SCHED. II	MIN. LOT WIDTH (FT)	120	130.0	NO CHANGE	YES
SCHED. II	MIN. LOT DEPTH (FT)	100	100.0	NO CHANGE	YES
PRINCIPAL BUILDING					
SCHED. II	MIN. FRONT YARD SETBACK (FT)	30	(1) 30.8	NO CHANGE	YES
SCHED. II	MIN. REAR YARD SETBACK (FT)	25	25.1	NO CHANGE	YES
SCHED. II	MIN. SIDE YARD SETBACK				
SCHED. II	ONE SIDE (FT)	10	14.7	NO CHANGE	YES
SCHED. II	BOTH SIDES (FT)	25	54.2	NO CHANGE	YES
SCHED. II	MAX. BUILDING HEIGHT (FT) (FLAT ROOFS)	30	N/A	N/A	-
SCHED. II	MAX. BUILDING HEIGHT (STORIES) (FLAT ROOFS)	2	N/A	N/A	-
SCHED. II	MAX. BUILDING HEIGHT (FT) (ALL OTHER ROOFS)	35	33.6	NO CHANGE	YES
SCHED. II	MAX. BUILDING HEIGHT (STORIES) (ALL OTHER ROOFS)	2.5	2.5	NO CHANGE	YES
SCHED. II	MAX. DWELLINGS PER ACRE	3.7	1.1	NO CHANGE	YES
LOT COVERAGE					
SCHED. II	MAX. IMPERVIOUS COVERAGE (%)	37	(2) 44.28 (N)	45.99 (N)(V)	NO
SCHED. II	MAX. ACCESSORY BUILDING COVERAGE (%)	5	N/A	N/A	-
SCHED. II	MAX. PRINCIPAL BUILDING COVERAGE (%)	25	23.3	NO CHANGE	YES
(N) EXISTING NON-CONFORMITY (I) IMPROVED CONDITION					
(E) EXISTING VARIANCE (X) VARIANCE / NON-CONFORMITY ELIMINATED					
(I) PROPOSED VARIANCE (W) PROPOSED WAIVER					
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE					
(1) IN RESIDENCE DISTRICTS, NO PRINCIPAL BUILDING SHALL BE NEARER TO THE STREET LINE OF ANY STREET THAN THE AVERAGE ALIGNMENT OF THE EXISTING PRINCIPAL BUILDINGS WITHIN 200 FEET OF EACH SIDE OF THE LOT WITHIN THE SAME BLOCK.					
(2) DECKS THAT CONTAIN A MINIMUM OF A 1/8-INCH GAP BETWEEN DECKING BOARDS AND THAT HAVE PERVIOUS BASE MATERIAL UNDER THE DECK SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE. WHEN AN ACCESSORY STRUCTURE IS ATTACHED TO THE PRINCIPAL BUILDING, IT SHALL COMPLY IN ALL RESPECTS WITH THE YARD REQUIREMENTS OF THIS CHAPTER APPLICABLE TO THE PRINCIPAL BUILDING. A DECK IS NOT CONSIDERED AN ACCESSORY STRUCTURE IF IT IS LOCATED WITHIN FIVE FEET OF THE PRINCIPAL BUILDING.					

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

PROJECT INFORMATION

PROJECT NAME:

79 IROQUOIS AVENUE

PROJECT LOCATION:

BLOCK 10, LOT 20.03
79 IROQUOIS AVENUE
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER:

PIERCE, ANA
79 IROQUOIS AVENUE
OCEANPORT, NJ 07757

APPLICANT:

PIERCE, ANA
79 IROQUOIS AVENUE
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

SURVEYOR:

INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(NJ One Call is a service)

ELECTRIC	RED
GAS	YELLOW
COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SENSITIVE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE
Engineering • Surveying • Planning
InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA
DELAWARE, CONNECTICUT, NORTH CAROLINA
COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RASSED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Douglas D. Cieland
DOUGLAS D. CIELAND, PE
PROFESSIONAL ENGINEER
NJ PE 24GE0331000

REVISIONS

Rev.#	Date	Comment
1	12/01/23	ADD 200 FOOT LIST INITIAL RELEASE.
2	10/10/23	DESIGNED BY: DDC
3	10/10/23	DRAWN BY: AMC
4	10/10/23	CHECKED BY: DDC
5	10/10/23	CAD ID: 23-1610-10

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

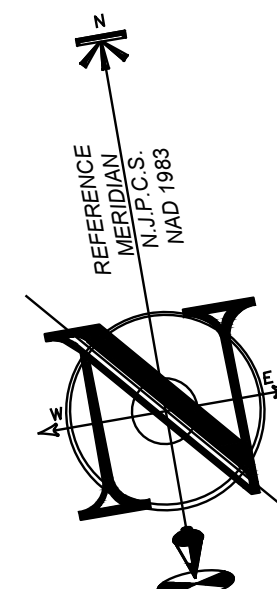
PLOT PLAN

SHEET TITLE:

PLAN

SHEET NO.:

1 OF 1



SHEET NO: 1 of 1

SURVEY NOTES:

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003.C.14 (C45:48-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THE SCOPE OF THIS SURVEY DID NOT INCLUDE DETERMINING THE PRESENCE / ABSENCE OF WETLANDS AT THIS SITE.

SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.

SURVEY MAP REFERENCES:

A MAP ENTITLED, "BOUNDARY SURVEY, LOT 20.02, BLOCK 10, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY," BY INSITE SURVEYING LLC., DATED 04/04/22.

FILED MAP REFERENCES:

A MAP ENTITLED, "FINAL MAJOR SUBDIVISION FINAL PLAT FOR SECTION 2, BLOCK 10 LOTS NO 13, 14 AND 20, BLOCK 8, LOTS 10 AND 11, SITUATED IN THE BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY," FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON 06/16/1993 AS CASE NO. 247-3.

DEED REFERENCES:

DB 92-918 PG 513

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).

2ND of 3 80

SEP 26 2016 J



3,295.40 A

9.3.d

5

Prepared by: George Cieri, Esq.

DEED

This Deed is made on August 16, 2016

**BETWEEN VINCENT N. DeGENNARO, JR. & CATHERINE E. DeGENNARO,
As Tenants in Common, Not as Joint Tenants**

whose address is 79 Iroquois Avenue, Oceanport, NJ 07757 referred to as the Grantor,

AND CHARLES PIERCE & ANNA PIERCE, Husband and Wife

whose post office address is about to be 79 Iroquois Avenue, Oceanport, NJ 07757 referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of **SEVEN HUNDRED SIXTY EIGHT THOUSAND AND 00/100 DOLLARS (\$768,000.00 dollars)**. The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Municipality of Oceanport
Block No. 10 Lot No. 20.03 Account No.

☐ No property tax identification number is available on the date of this deed. (Check box if applicable)

Property. The property consists of the land and all the buildings and structures on the land located in the Borough of Oceanport, County of Monmouth and the State of New Jersey. The legal description is:

See Schedule A attached hereto.

Vincent N. DeGennaro, Jr., and Catherine E. DeGennaro, as Tenants in Common, not as Joint Tenants by the following deeds:

Vincent N. Degennaro and Catherine E. Degannaro, His Wife, by deed from Oceanport Estates, Inc., a Corporation dated October 29, 1993, recorded November 17, 1993, in the Clerk's Office of the County of Monmouth, New Jersey, in Book DB5264 page 67.

Vincent N. DeGennaro, Jr., and Catherine E. DeGennaro, as Tenants in Common, not as Joint Tenants by deed from Vincent N. DeGennaro and Catherine E. DeGennaro, His Wife, dated March 7, 2011, recorded March 30, 2011, in the Clerk's Office of the Clerk's Office of the County of Monmouth, New Jersey, in Book OR-8885 page 31.

REVISED SCHEDULE A

Order No. PTS-16-43592

ALL that certain lot, parcel or tract of land, situate and lying in the Borough of Oceanport, County of Monmouth and State of New Jersey, and being more particularly described as follows:

BEGINNING at a point on the southerly line of Iroquois Avenue, said point being distant 1,235.00 feet westerly from the corner formed by the intersection of the westerly line of Port-Au-Peck Avenue where it intersects with said southerly line of Iroquois Avenue; thence running

1. Along said southerly line of Iroquois Avenue, North 74 degrees 10 minutes 00 seconds West, a distance of 130.00 feet to a point; thence
2. North 15 degrees 50 minutes 00 seconds East, a distance of 100.00 feet to a point; thence
3. South 74 degrees 10 minutes 00 seconds East, a distance of 130.00 feet to a point; thence
4. South 15 degrees 50 minutes 00 seconds West, a distance of 100.00 feet to a point on the aforementioned southerly line of Iroquois Avenue and the **POINT AND PLACE OF BEGINNING**.

BEING known and designated as Lot 20.03 in Block 10 as shown on map entitled "Final Major Subdivision, Final Plat, for Section 2, Lots 13, 14 and 20 Block 10, Lots 10 and 11, Block 8, Borough of Oceanport, Monmouth County, New Jersey" filed in the Monmouth County Clerk's Office on June 16, 1993 on Map Case No. 247-3.

FOR INFORMATIONAL PURPOSES ONLY: Also known as Lot 20.03 in Block 10 on the Borough of Oceanport Tax Map.

The above description is drawn in accordance with a survey made by RICHLAN, LUPO & ASSOCIATES, dated August 8, 2016.



State of New Jersey
SELLER'S RESIDENCY CERTIFICATION/EXEMPTION

GIT/REP-3
(9-2015)

(Please Print or Type)

SELLER'S INFORMATION

Name(s)

VINCENT N. DeGENNARO, JR. and CATHERINE E. DeGENNARO, H/W

Current Street Address

5 ISLAND VIEW WAY, UNIT 31

City, Town, Post Office Box

SEA BRIGHT

State

NJ

Zip Code

07760

PROPERTY INFORMATION

Block(s)

10

Lot(s)

20.03

Qualifier

Street Address

79 IROQUIS AVENUE

City, Town, Post Office Box

OCEANPORT

State

NJ

Zip Code

07757

Seller's Percentage of Ownership

100%

Total Consideration

\$768,000.00

Owner's Share of Consideration

\$768,000.00

Closing Date

8/16/2016

SELLER'S ASSURANCES (Check the Appropriate Box) (Boxes 2 through 14 apply to Residents and Nonresidents)

1. ☒ Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident gross income tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
2. ☐ The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
3. ☐ Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
4. ☐ Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
5. ☐ Seller is not an individual, estate, or trust and is not required to make an estimated gross income tax payment.
6. ☐ The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated income tax payment.
7. ☐ The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey income tax return for the year of the sale and report the recognized gain.
☐ Seller did not receive non-like kind property.
8. ☐ The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
9. ☐ The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
10. ☐ The deed is dated prior to August 1, 2004, and was not previously recorded.
11. ☐ The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
12. ☐ The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
13. ☐ The property transferred is a cemetery plot.
14. ☐ The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.

SELLER'S DECLARATION

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box ☐ I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

8-16-16

Date

8-16-16

Date

Signature

(Seller) Please indicate if Power of Attorney or Attorney In Fact

Signature

(Seller) Please indicate if Power of Attorney or Attorney In Fact

RTF-1 (Rev. 7/14/10)
MUST SUBMIT IN DUPLICATE

STATE OF NEW JERSEY
AFFIDAVIT OF CONSIDERATION FOR USE BY SELLER

(Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006) (N.J.S.A. 46:15-5 et seq.)

BEFORE COMPLETING THIS AFFIDAVIT, PLEASE READ THE INSTRUCTIONS ON THE REVERSE SIDE OF THIS FORM.

STATE OF NEW JERSEY

COUNTY MONMOUTH } SS. County Municipal Code 1338

MUNICIPALITY OF PROPERTY LOCATION OCEANPORT

FOR RECORDER'S USE ONLY

Consideration \$ _____
RTF paid by seller \$ _____
Date _____ By _____

*Use symbol "C" to indicate that fee is exclusively for county use.

(1) PARTY OR LEGAL REPRESENTATIVE (Instructions #3 and #4 on reverse side)

Deponent, VINCENT N. DeGENNARO, JR., being duly sworn according to law upon his/her oath,
(Name)
deposes and says that he/she is the GRANTOR in a deed dated AUGUST 16, 2016 transferring
(Grantor, Legal Representative, Corporate Officer, Officer of Title Company, Lending Institution, etc.)
real property identified as Block number 10 Lot number 20.03 located at
79 IROQUIS AVENUE, OCEANPORT and annexed thereto.
(Street Address, Town)

(2) CONSIDERATION \$ 768,000.00 (Instructions #1 and #5 on reverse side) ☐ no prior mortgage to which property is subject

(3) Property transferred is Class 4A 4B 4C (circle one). If property transferred is Class 4A, calculation in Section 3A below is required.

(3A) REQUIRED CALCULATION OF EQUALIZED VALUATION FOR ALL CLASS 4A (COMMERCIAL) PROPERTY TRANSACTIONS:
(Instructions #5A and #7 on reverse side)

Total Assessed Valuation + Director's Ratio = Equalized Assessed Valuation

\$ _____ + _____ % = \$ _____

If Director's Ratio is less than 100%, the equalized valuation will be an amount greater than the assessed value. If Director's Ratio is equal to or in excess of 100%, the assessed value will be equal to the equalized valuation.

(4) FULL EXEMPTION FROM FEE (Instruction #8 on reverse side)

Deponent states that this deed transaction is fully exempt from the Realty Transfer Fee imposed by C. 49, P.L. 1968, as amended through C. 66, P.L. 2004, for the following reason(s). Mere reference to exemption symbol is insufficient. Explain in detail.

(5) PARTIAL EXEMPTION FROM FEE (Instruction #9 on reverse side)

NOTE: All boxes below apply to grantor(s) only. ALL BOXES IN APPROPRIATE CATEGORY MUST BE CHECKED. Failure to do so will void claim for partial exemption. Deponent claims that this deed transaction is exempt from State portions of the Basic, Supplemental, and General Purpose Fees, as applicable, imposed by C. 176, P.L. 1975, C. 113, P.L. 2004, and C. 66, P.L. 2004 for the following reason(s):

- A. SENIOR CITIZEN Grantor(s) ☒ 62 years of age or over. (Instruction #9 on reverse side for A or B)
B. { BLIND PERSON Grantor(s) ☐ legally blind or,
DISABLED PERSON Grantor(s) ☐ permanently and totally disabled ☐ receiving disability payments ☐ not gainfully employed*
Senior citizens, blind persons, or disabled persons must also meet all of the following criteria:
☒ Owned and occupied by grantor(s) at time of sale. ☒ Resident of State of New Jersey.
☒ One or two-family residential premises. ☒ Owners as joint tenants must all qualify.

*IN CASE OF HUSBAND AND WIFE, PARTNERS IN A CIVIL UNION COUPLE, ONLY ONE GRANTOR NEED QUALIFY IF TENANTS BY THE ENTIRETY.

C. LOW AND MODERATE INCOME HOUSING (Instruction #9 on reverse side)

- ☐ Affordable according to H.U.D. standards. ☐ Reserved for occupancy.
☐ Meets income requirements of region. ☐ Subject to resale controls.

(6) NEW CONSTRUCTION (Instructions #2, #10, #12 on reverse side)

- ☐ Entirely new improvement. ☐ Not previously occupied.
☐ Not previously used for any purpose. ☐ "NEW CONSTRUCTION" printed clearly at top of first page of the deed.

(7) RELATED LEGAL ENTITIES TO LEGAL ENTITIES (Instructions #5, #12, #14 on reverse side)

- ☐ No prior mortgage assumed or to which property is subject at time of sale.
☐ No contributions to capital by either grantor or grantee legal entity.
☐ No stock or money exchanged by or between grantor or grantee legal entities.

(8) Deponent makes this Affidavit to induce county clerk or register of deeds to record the deed and accept the fee submitted herewith in accordance with the provisions of Chapter 49, P.L. 1968, as amended through Chapter 33, P.L. 2006.

Subscribed and sworn to before me
this 16 day of AUGUST 20 16

[Signature]
NOTARY PUBLIC
STATE OF NEW JERSEY
JO ANN PERKOWSKY
My Commission Expires Aug. 15, 2016

[Signature]
Signature of Deponent

Vincent N. DeGennaro, Jr.
Grantor Name

79 Iroquis Avenue Oceanport NJ
Deponent Address

same
Grantor Address at Time of Sale

XXX-XXX- 7 2 1
Last three digits in Grantor's Social Security Number

Name/Company of Settlement Officer

FOR OFFICIAL USE ONLY

Instrument Number _____ County _____
Deed Number _____ Book _____ Page _____
Deed Dated _____ Date Recorded _____

County recording officers shall forward one copy of each RTF-1 form when Section 3A is completed to:

STATE OF NEW JERSEY
PO BOX 251
TRENTON, NJ 08646-0251

ATTENTION: REALTY TRANSFER FEE UNIT

The Director of the Division of Taxation in the Department of the Treasury has prescribed this form as required by law, and it may not be altered or amended without prior approval of the Director. For information on the Realty Transfer Fee or to print a copy of this Affidavit, visit the Division's website at:
www.state.nj.us/treasury/taxation/rtf/localtax.html.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by:

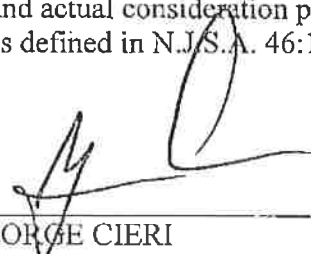
 (Seal)
VINCENT N. DeGENNARO, JR.

 (Seal)
CATHERINE E. DeGENNARO

STATE OF NEW JERSEY, COUNTY OF MONMOUTH SS.:

I CERTIFY that on August 16, 2016, Vincent N. DeGennaro, Jr. and Catherine E. DeGennaro, personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$768,000.00 as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)


GEORGE CIERI
Attorney at Law of NJ

Record & Return to:

RIP
Property Transfer Services, Inc.
1013 Route 88, Suite 2
Pt. Pleasant, New Jersey 08078

CHRISTINE GIORGANO
COUNTY CLERK
MONMOUTH COUNTY, NJ

INSTRUMENT NUMBER

2016096274

RECORDED ON

Oct 03, 2016

1:29:23 PM

BOOK:OR-9189

PAGE:8652

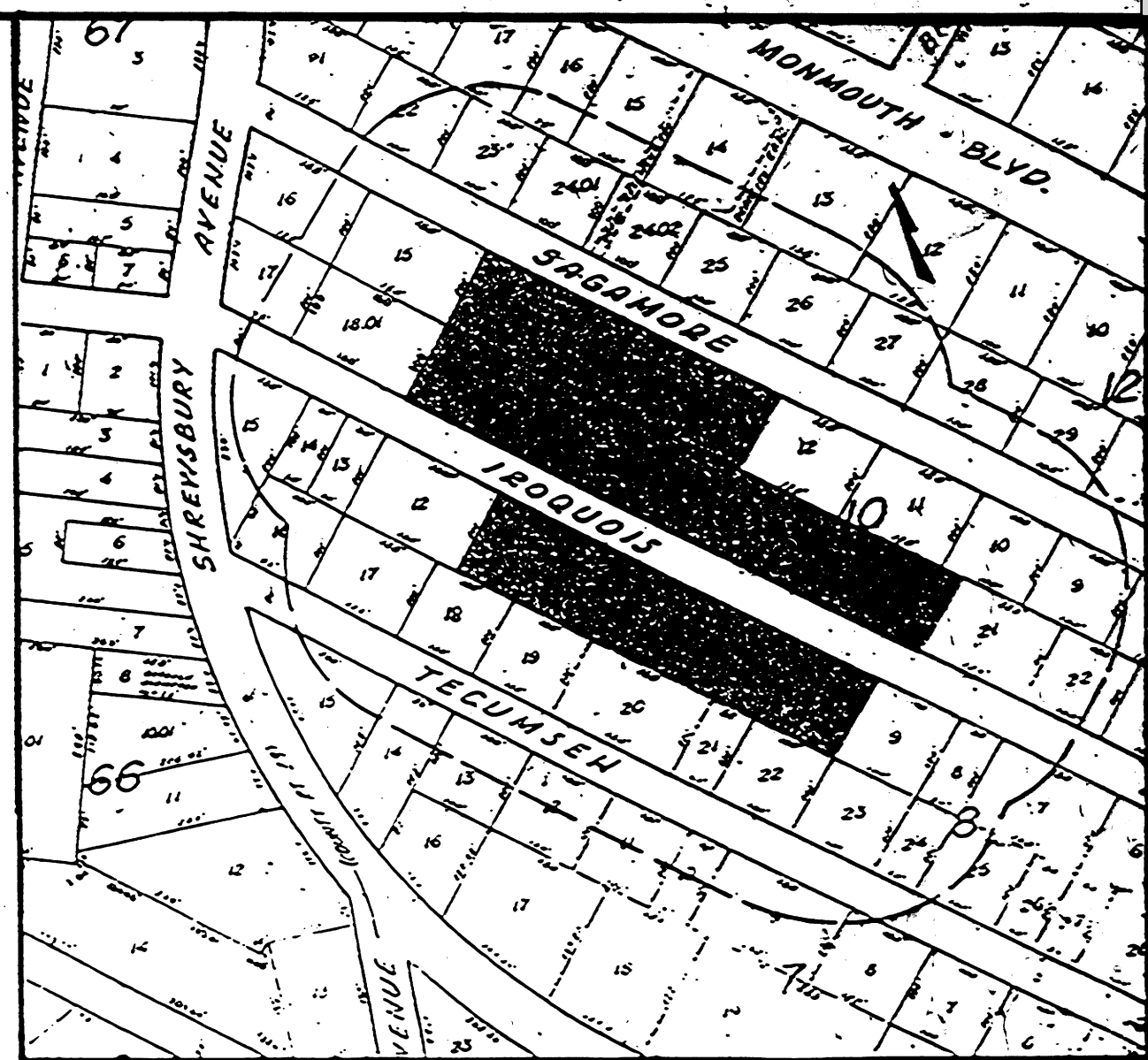
Total Pages: 5

REALTY TRANSFER FEES \$3,295.40

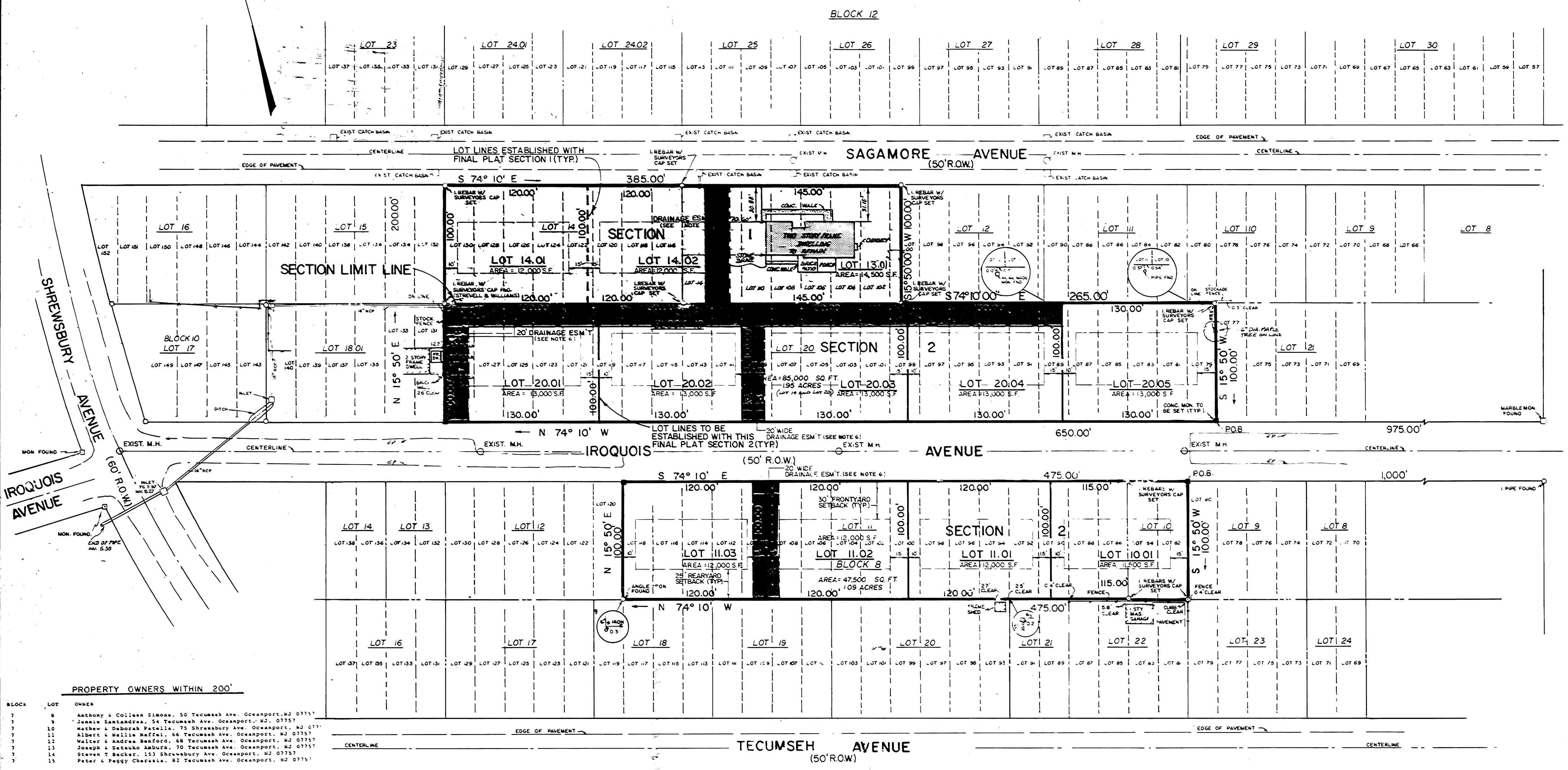
COUNTY RECORDING FEES \$90.00

TOTAL PAID \$3,375.40

FILED
JUN 1 1993
County Clerk



200' RADIUS LOCATION MAP
SCALE 1" = 200'



PROPERTY OWNERS WITHIN 200'

LOT	OWNER
1	Anthony & Colleen Simons, 50 Tecumseh Ave., Oceanport, NJ 07757
2	James Santandrea, 54 Tecumseh Ave., Oceanport, NJ 07757
3	Nicholas & Deborah Paccolla, 75 Shrewsbury Ave., Oceanport, NJ 07757
4	Albert & Melissa MacFarlane, 64 Tecumseh Ave., Oceanport, NJ 07757
5	Walter & Andrea Benford, 68 Tecumseh Ave., Oceanport, NJ 07757
6	Joseph & Catherine Roberts, 70 Tecumseh Ave., Oceanport, NJ 07757
7	Steven T. Becker, 153 Shrewsbury Ave., Oceanport, NJ 07757
8	Peter & Peggy Cherasia, 82 Tecumseh Ave., Oceanport, NJ 07757
9	Julia Langer, 58 Iroquois Ave., Oceanport, NJ 07757
10	Leslie & Nancy Loveland, 62 Iroquois Ave., Oceanport, NJ 07757
11	Leslie & Nancy Loveland, 62 Iroquois Ave., Oceanport, NJ 07757
12	M.S. Caporale, 10100 Highway 35, Middletown, NJ 07940
13	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
14	John & Melinda Beasley, 66 Iroquois Ave., Oceanport, NJ 07757
15	Michael & Lisa Pappa, 188 Iroquois Ave., Oceanport, NJ 07757
16	Ragan & Lucy Anderson, 545 Shrewsbury Ave., Oceanport, NJ 07757
17	Albert Jr. & Lucille Chung, 67 Tecumseh Ave., Oceanport, NJ 07757
18	Investments & Landers Realty Corp., L. Racetrack Rd., E. Brunswick, NJ 08816
19	Carl Bachant, 8 Bray Ave., East Kew-Forest, NJ 07734
20	Conrado & Anna Del Rosado, 220 Adams St., Apt. 28, Hoboken, NJ 07030
21	George & Beverly Wyssman, 67 Tecumseh Ave., Oceanport, NJ 07757
22	Ronald & Linda Stubbington, 61 Tecumseh Ave., Oceanport, NJ 07757
23	Ronald & Linda Stubbington, 61 Tecumseh Ave., Oceanport, NJ 07757
24	John & Ann Marie Crews, 57 Tecumseh Ave., Oceanport, NJ 07757
25	Robert & Theresa Halper, 155A Tecumseh Ave., Oceanport, NJ 07757
26	Richard & Dorothy Chichalek, 49 Tecumseh Ave., Oceanport, NJ 07757
27	Hubert Jr. & Carol Breitenbach, 90 Sagamore Ave., Oceanport, NJ 07757
28	Arne & Christina Shella, 94 Sagamore Ave., Oceanport, NJ 07757
29	Peter & Joan Vaccaro, 133 Washington Dr., Warrington, PA 18974
30	William & Catherine Muscato, 102 Sagamore Ave., Oceanport, NJ 07757
31	Kerry & Donna Dell'Osso, 106 Sagamore Ave., Oceanport, NJ 07757
32	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
33	Alfonso Terzolino, 402 N. 11th St., Newark, NJ 07107
34	Michael & Karen Smith, 130 Sagamore Ave., Oceanport, NJ 07757
35	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
36	Raymond Pinto, Jr., 53 Iroquois Ave., Oceanport, NJ 07757
37	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
38	Anthony & Suzanne Lubliner, 63 Iroquois Ave., Oceanport, NJ 07757
39	David & Linda Ellis, 59 Iroquois Ave., Oceanport, NJ 07757
40	Charles & Gertrude Wolf, 99 Sagamore Ave., Oceanport, NJ 07757
41	Frank & Joan Caporale, 102 Sagamore Ave., Oceanport, NJ 07757
42	George & Linda DeLorenzo, 107 Sagamore Ave., Oceanport, NJ 07757
43	William & Kathryn DeLorenzo, 111 Sagamore Ave., Oceanport, NJ 07757
44	John & Cheryl Van Tol, 115 Sagamore Ave., Oceanport, NJ 07757
45	Scott & Julie Farnsworth, 119 Sagamore Ave., Oceanport, NJ 07757
46	Thomas, Jr. & Linda Reed, 123 Sagamore Ave., Oceanport, NJ 07757
47	Gary & Phyllis Edwards, 125 Sagamore Ave., Oceanport, NJ 07757
48	Nicholas & Patricia Lehotsky, 135 Sagamore Ave., Oceanport, NJ 07757
49	Elaine & John Long, 158 Monmouth Blvd., Oceanport, NJ 07757
50	William, Jr. & Susan Spengeman, 154 Monmouth Blvd., Oceanport, NJ 07757
51	Julius & Jean Alarvini, 159 Monmouth Blvd., Oceanport, NJ 07757
52	Carlson & Barbara Conover, 5 Shrewsbury Dr., Long Branch, NJ 07740
53	Alice O'Brien, 140 Monmouth Blvd., Oceanport, NJ 07757
54	Charles Bruno, 122 Monmouth Blvd., Oceanport, NJ 07757
55	Vito Brocato, 2711 Lurline Ave., Bronx, NY 10469
56	Lawrence Cavallo, 9 Greenlawn Dr., Lodi, NJ 07644
57	Philip Cavallo, 785 Carroll St., Brooklyn, NY 11215
58	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
59	Sally Marzocchi, 35 Sagamore Dr., Eatontown, NJ 07724
60	Sam & Julie Difio, 2219 First Ave., Spring Lake, NJ 07762
61	Richard Gallo, Jr., 572 Shrewsbury Ave., Oceanport, NJ 07757
62	Bartholomew School, P.O. Box 177, Monmouth Beach, NJ 07750
63	County Route 29, Monmouth County Planning Board, Lafayette St., Freehold, NJ 07728

FILED
JUN 1 1993
County Clerk

LEGEND
LOT 14 = EXISTING LOT NUMBER (TYP.)
LOT 14.01 = PROPOSED LOT NUMBER (TYP.)

Case No. 247-3 FILED June 16, 1993
TITLE Oceanport Estates, Inc.
LOCATION Oceanport

INFORMATION BY LOT

LOT	AREA (S.F.)	PERCENTAGE
LOT 14	12,000 S.F.	100%
LOT 14.01	12,000 S.F.	100%
LOT 14.02	12,000 S.F.	100%
LOT 14.03	12,000 S.F.	100%
LOT 14.04	12,000 S.F.	100%
LOT 14.05	12,000 S.F.	100%
LOT 14.06	12,000 S.F.	100%
LOT 14.07	12,000 S.F.	100%
LOT 14.08	12,000 S.F.	100%
LOT 14.09	12,000 S.F.	100%
LOT 14.10	12,000 S.F.	100%
LOT 14.11	12,000 S.F.	100%
LOT 14.12	12,000 S.F.	100%
LOT 14.13	12,000 S.F.	100%
LOT 14.14	12,000 S.F.	100%
LOT 14.15	12,000 S.F.	100%
LOT 14.16	12,000 S.F.	100%
LOT 14.17	12,000 S.F.	100%
LOT 14.18	12,000 S.F.	100%
LOT 14.19	12,000 S.F.	100%
LOT 14.20	12,000 S.F.	100%
LOT 14.21	12,000 S.F.	100%
LOT 14.22	12,000 S.F.	100%
LOT 14.23	12,000 S.F.	100%
LOT 14.24	12,000 S.F.	100%
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LOT 99	12,000 S.F.	100%
LOT 100	12,000 S.F.	100%

MONMOUTH COUNTY PLANNING BOARD
JUN 15 1993
Date
Action
Chairman
Secretary

Case # 247-3 Filed 6-16-1993

MS
MASER SOSINSKI & ASSOCIATES
Engineers ■ Planners ■ Surveyors
Central Mall, Rt. 79 & Tennent Road
P.O. Box 319 Marlboro, N.J. 07746 ■ (201) 591-8100

**FINAL MAJOR SUBDIVISION
FINAL PLAT**
FOR SECTION 2
LOTS 13, 14, AND 20 BLOCK 10
LOTS 10 AND 11, BLOCK 8

BOROUGH OF OCEANPORT MONMOUTH COUNTY NEW JERSEY
SCALE: 1" = 50' DATE: MAY 24, 1993 JOB NO. 86-1074 SHEET No. 1 OF 1
MICHAEL T. ANGELO
N.J. P.L.S. LIC. NO. 14156
DATE SIGNED: 5/24/93

Fireplace with Verona Wall

Gather 'round the fire day or night! Complement your patio with the sleek look of the Fireplace with Verona Wall. Add warmth to your backyard in any season! Contains everything you need to construct this stunning fireplace.

Fire Pits | Fireplaces



Fireplace with Verona Wall

	LENGTH	WIDTH	HEIGHT	LBS/PALLET
A	91"	56"	97"	16,828



INCLUDES:

- 6 Pallets of Verona Wall
- Cast Concrete Fireplace opening surround
- Wood burning fireplace inset with single piece, brushed stainless face, stainless mesh screens with hidden pockets
- Round top cap with mesh screen
- Realistic textured brick liner in natural white, EZ access damper & gas log ready feature
- 4 concrete lintels
- Double wall flue pipe
- Pre-cast concrete medallion

ACCENT OPTIONS:



BLUESTONE



BROWN



GIRONDE*



ADOBE BLEND



BLUESTONE*



CHARCOAL



CHESAPEAKE BLEND*



CRAB ORCHARD BLEND



GOLDEN BROWN BLEND



GRANITE CITY BLEND



GRAPHITE PEARL BLEND*



OCEANIC BLUE*



OYSTER BLEND



SOUTH BAY BLEND

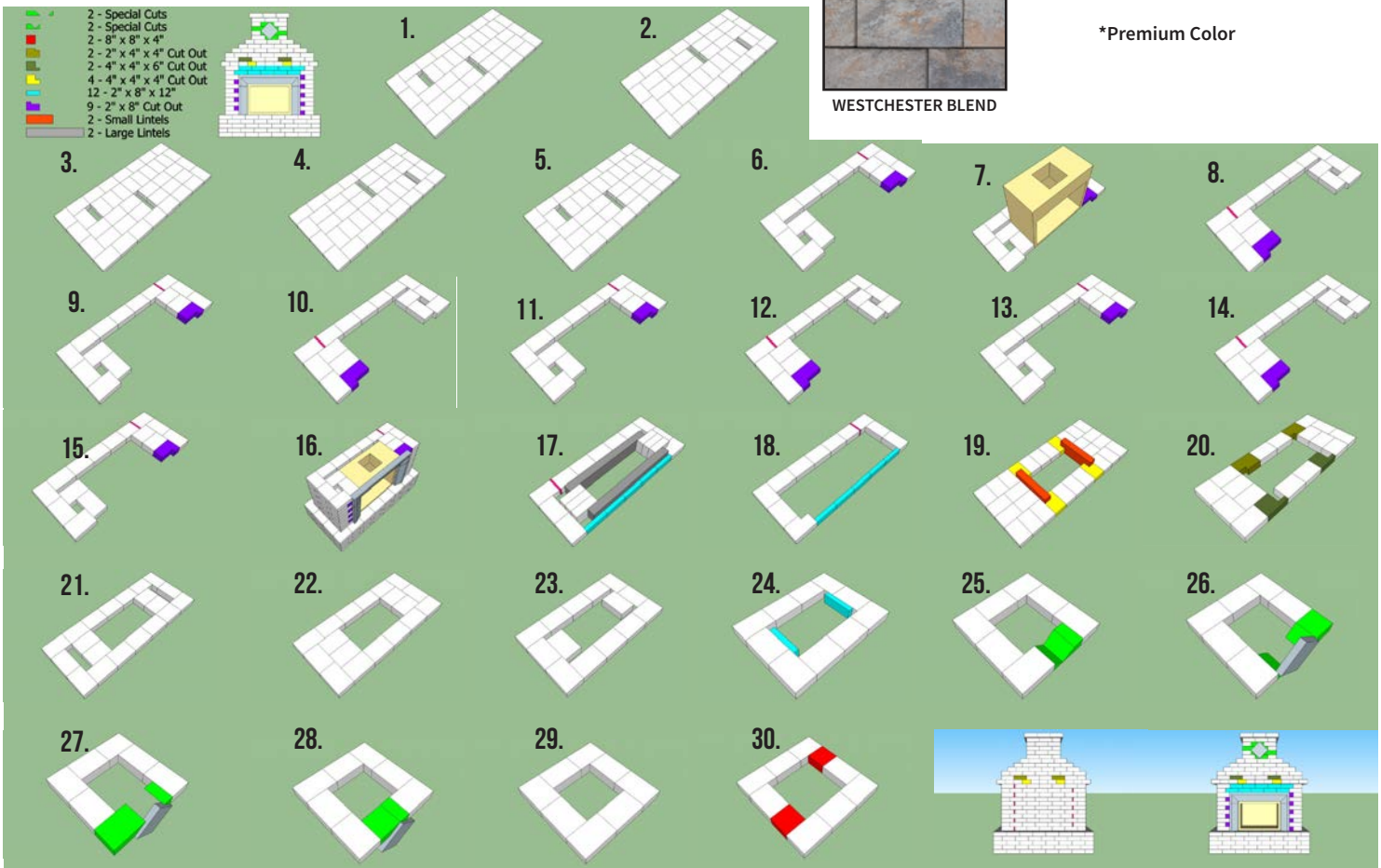


TRAVERTINA*



WESTCHESTER BLEND

*Premium Color



for larger install images, please email info@nicolock.com



Corporate HQ: 612 Muncy Avenue | Lindenhurst | NY | 11757 | 631.669.0700 | nicolock.com





Oceanport Borough
ZONING DEPARTMENT
910 OCEANPORT WAY
OCEANPORT, NJ 07757
(732) 222-0641
JSMITH@OCEANPORTBORO.COM

9.3.g

Application Date: 10/12/2023
Application Number: ZA-23-0189
Permit Number: _____
Project Number: _____

Fee: \$100

Denial of Application

Date: 10/25/2023

To: HOPE MAGUIRE

, NJ

CC: APP EMAIL:HOPE.MAGUIRE@INSITEENG.NET

RE: 79 IROQUOIS AVE
BLOCK: 10 LOT: 20.03 QUAL: ZONE: R-3

DEAR HOPE MAGUIRE,

Proposed paver patio, proposed landing, proposed 9.5ftTall wood burning fireplace in rear, and proposed 4ft wide walkway on side.

Your request is hereby denied based upon the following requirements:

Proposed improvements for rear yard patio, 4' wide walkway, rear landing and 9.5' wood burning fireplace as shown on plan entitled "Plot Plan" prepared by InSite Engineering dated 10/10/2023 does not comply with 390-Schedule II and will require variance relief for:

- Maximum Impervious coverage - 37% permitted, 44.28% existing and 45.99% proposed

ACTION:

Submit an application to the Planning Board for variance relief. Contact the Planning Board Secretary to request application documents at jsmith@oceanportboro.com

Sincerely,

JEANNE SMITH, ZONING OFFICER



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3079)

Meeting: 02/27/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3079

PB2020-21.1 Somerset/Parkers Creek

Block 110.15, Lot 1

Proposed changes to approved roof-top terrace floor plan on the 22 town homes.

HISTORY:

01/09/24 Planning/Zoning Board

Parker's Creek Development

Signal Ave

Block 110.15, Lot 1

EXHIBITS:

A-1

A-2

01/23/24 Planning/Zoning Board

Block 110.15, Lot 1

Proposed changes to elevations/architectural features for waterfront units

Exhibits

A-1 Proposed Elevations, 2 Sheets, dated 3-30-2023, prepared by Pulte Group.

A-2 Elevation Comparison, 14 Sheets, dated 10-21-2021, prepared by Pulte Group

A-3 Architectural Plans prepared by Pulte Group dated September 9, 2022

A-3

A-4

A-5

A-6

A-7

**SOMERSET PULTE LODGING JV, LLC
101 Crawfords Corner Road
Holmdel, New Jersey 07733**

January 18, 2024

VIA EMAIL

Borough of Oceanport
Attn: Jeanne Smith
Clerk and Zoning Official
910 Oceanport Way
Oceanport, NJ 07757

Re: Parkers Creek
Block 110.15, Lot 1, Oceanport, NJ
Planning Board Amended Application – Revision to Roof Terrace

Dear Ms. Smith:

Pursuant to our telephone conversation today with Kevin Kennedy, Esq., I am submitting additional information regarding the application to revise the Roof Terrace Architecture on the twenty-two (22) water-front townhouses located on Driftwood Circle. This information will confirm that the Oceanport Construction Department has approved the Construction Plans and that Certificates of Occupancy have been issued for 67 townhouses to date, with another 25 under construction. I have also enclosed information to describe the elevations as well as information specific to the rooftop terrace changes that the Applicant is requesting. Enclosed please find the following items:

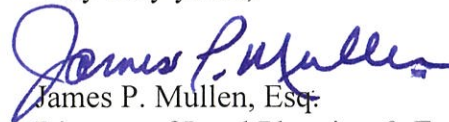
1. One (1) copy of the four (4) cover sheets for the Approved Architectural Plans, which have all been stamped "Borough of Oceanport Building Department Subcode Plan Review Release" with final Approval dates as follows:
 - a. Frankton 6/20/22
 - b. Jetwood 7/17/22
 - c. Fairwood 6/17/22
 - d. Jayton 6/20/22
2. Four (4) copies of Certificates of Occupancy, one for each model referenced above as follows:
 - a. Fairwood issued 10/24/23
 - b. Jayton issued 10/20/23
 - c. Jetwood issued 11/14/23
 - d. Frankton issued 9/28/23

3. One (1) copy of the Architectural Plans prepared by PulteGroup entitled "NEC – Parkers Creek Jayton Way, Waterfront Plans & Elevations (22 sheets)
4. One (1) copy of the 14' x 20' Classic Vinyl Pergola Plans prepared by Myer Hill Consulting dated 7/31/23. (one sheet)
5. Parkers Creek Waterfront Elevations - Color scheme - Material & Manufacturer Specifications.

The roof revision only affects the twenty-two (22) townhouses located on Driftwood Circle adjacent to the Parkers Creek. The height of the improvements on the roof did not change from the approved version. There are no variances requested. I understand that you will schedule this matter to be heard before the Board at its January 23, 2024 meeting since you received this information prior to 5:00pm on January 18, 2024. At that time I will present at least two (2) witnesses who will testify to the information that has been provided in this supplemental submission.

Thank you. Please contact me at (908) 848-2032 or jim.mullen@pultegroup.com with questions.

Very truly yours,



James P. Mullen, Esq.
Director of Land Planning & Entitlements

Enclosures

cc: Kevin Kennedy, Esq (via email w/encl)
Corey Wescoe
Rodney Walsh
Jeff Trahey
Jacquelyn Schaffler, AIA



Oceanport Borough
910 Oceanport Way
Oceanport, NJ 07757

Date Issued 11/14/2023
Control Number 00372-23
Permit Number 2300203
Permit Issue Date 6/19/2023
Certificate Number 2300203

Certificate

Construction Code Division
(Certificate of Occupancy)

Identification

Work Site Location: 7 SUNSET ROAD BUILDING 13 - JETWOOD Block: 110.15 Lot: 1.063 Qual:
MODEL OCEANPORT, NJ 07757
Owner in Fee: SOMERSET PULTE LODGING JV LLC
Owner Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: (908) 456-1074
Contractor: PULTE HOMES OF NJ
Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: 908 456 1074 Fax: 908 552 2451 Federal Emp. Number: 383566768
License Number or Builders Registration Number:

Home Warranty Number: PROF. WARRSNTY SER. CORP. Type of Warranty Plan: ☐ State ☒ Private

Use Group: R-5 Construction Classification:

Maximum Live Load: Maximum Occupancy Load:

Description of Work/Use: TOWNHOUSE - NEW TOWNHOME, BUILDING 13, JETWOOD

Certificate Comments: OWNER: SELDEN T. RUSSELL

☒ Certificate of Occupancy

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☐ Certificate of Approval

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ Certificate of Continued Occupancy

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ Temporary Certificate of Compliance

The following conditions must be met no later than or the owner will be subject to fine or order to vacate: This certificate has an expiration date of:
Conditions to be met:

☐ Certificate of Clearance - Lead Abatement 5:17

This serves notice that based on written certification, lead abatement was performed as per NJACS:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
☐ Partial or limited time period (years); see file

☐ Certificate of Clearance - Asbestos Abatement

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
☐ Partial or limited time period (years); see file

☐ Certificate of Compliance

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ Temporary Certificate of Occupancy

The following conditions must be met no later than; or the owner will be subject to fine or order to vacate: This certificate has an expiration date of:
Conditions to be met:

Construction Official

Date Printed: 11/21/2023

U.C.C. F260 (rev. 08/05)

Fee: \$325.00

Check Number: 0085314274

Collected By: Jessica Fornarotto

Page 1



Oceanport Borough
910 Oceanport Way
Oceanport, NJ 07757

10.1.c

Date Issued 9/28/2023
Control Number 00116-23
Permit Number 2300089
Permit Issue Date 3/22/2023
Certificate Number 2300089

Certificate
Construction Code Division
(Certificate of Occupancy)

Identification

Work Site Location: 14 DRIFTWOOD CIRCLE-BLDG. Block: 110.15 Lot: 1.042 Qual:
9-FRANKTON OCEANPORT, NJ 07757
Owner In Fee: SOMERSET PULTE LODGING JV LLC
Owner Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: 908 456 1074
Contractor: PULTE HOMES OF NJ
Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: 908 456 1074 Fax: 908 552 2451 Federal Emp. Number: 383566768
License Number or Builders Registration Number:

Home Warranty Number: Professional warranty service Type of Warranty Plan: ☒ State ☐ Private

Use Group: R-5 Construction Classification:

Maximum Live Load: Maximum Occupancy Load:

Description of Work/Use: NEW SINGLE FAMILY DWELLING, TOWNHOUSE - NEW TOWNHOUSE -
14 DRIFTWOOD CIRCLE, BLDG.9, FRANKTON

Certificate Comments: Owner: Kevin Cowan

☒ **Certificate of Occupancy**

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☐ **Certificate of Approval**

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ **Certificate of Continued Occupancy**

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ **Temporary Certificate of Compliance**

The following conditions must be met no later than or the owner will be subject to fine or order to vacate: This certificate has an expiration date of:

Conditions to be met:

☐ **Certificate of Clearance - Lead Abatement 5:17**

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

☐ Total removal of lead-based paint hazards in scope of work

☐ Partial or limited time period (years); see file

☐ **Certificate of Clearance - Asbestos Abatement**

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

☐ Total removal of asbestos hazards in scope of work

☐ Partial or limited time period (years); see file

☐ **Certificate of Compliance**

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ **Temporary Certificate of Occupancy**

The following conditions must be met no later than: or the owner will be subject to fine or order to vacate: This certificate has an expiration date of:

Conditions to be met:

Fee: \$328.00
Check Number: 85313618
Collected By: Carolyn Eckart

Construction Official
Date Printed: 9/28/2023

U.C.C. F260 (rev. 08/05)

Page 1

Packet Pg. 68



Oceanport Borough
910 Oceanport Way
Oceanport, NJ 07757

Date Issued 10/20/2023
Control Number 00253-23
Permit Number 2300168
Permit Issue Date 5/23/2023
Certificate Number 2300168

Certificate

Construction Code Division
(Certificate of Occupancy)

Identification

Work Site Location: 27 SIGNAL AVENUE JAYTON MODEL, BLDG 7 OCEANPORT, NJ 07757 Block: 110.15 Lot: 1.032 Qual:
Owner in Fee: SOMERSET PULTE LODGING JV LLC
Owner Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: (908) 456-1074
Contractor: PULTE HOMES OF NJ
Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: 908 456 1074 Fax: 908 552 2451 Federal Emp. Number: 383566768
License Number or Builders Registration Number:
Home Warranty Number: 20202516 Type of Warranty Plan: ☒ State ☐ Private
Use Group: R-5 Construction Classification:
Maximum Live Load: Maximum Occupancy Load:
Description of Work/Use: NEW SINGLE FAMILY DWELLING - NEW TOWNHOME BLDG 7, JAYTON

Certificate Comments: OWNER: Maryam Banafiti

☒ Certificate of Occupancy

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☐ Certificate of Approval

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ Certificate of Continued Occupancy

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ Temporary Certificate of Compliance

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:
Conditions to be met:

☐ Certificate of Clearance - Lead Abatement 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
- ☐ Partial or limited time period (years); see file

☐ Certificate of Clearance - Asbestos Abatement

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
- ☐ Partial or limited time period (years); see file

☐ Certificate of Compliance

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ Temporary Certificate of Occupancy

The following conditions must be met no later than:
or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:
Conditions to be met:

Fee: \$373.00
Check Number: 0085314158
Collected By: Jessica Fornarotto

Construction Official
Date Printed: 10/23/2023

U.C.C. F260 (rev. 08/05)

Page 1



Oceanport Borough
910 Oceanport Way
Oceanport, NJ 07757

Date Issued 10/24/2023
Control Number 00315-23
Permit Number 2300169
Permit Issue Date 5/23/2023
Certificate Number 2300169

Certificate

Construction Code Division
(Certificate of Occupancy)

Identification

Work Site Location: 29 SIGNAL AVENUE BLDG 7, FAIRWOOD Block: 110.15 Lot: 1.033 Qual: OCEANPORT, NJ 07757
Owner in Fee: SOMERSET PULTE LODGING JV LLC
Owner Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: (908) 456-1074
Contractor: PULTE HOMES OF NJ
Address: 101 CRAWFORDS CORNER ROAD HOLMDEL NJ 07733
Telephone: 908 456 1074 Fax: 908 552 2451 Federal Emp. Number: 383566768
License Number or Builders Registration Number:

Home Warranty Number: 20202517 Type of Warranty Plan: ☒ State ☐ Private

Use Group: R-5 Construction Classification:

Maximum Live Load: Maximum Occupancy Load:

Description of Work/Use: NEW SINGLE FAMILY DWELLING, TOWNHOUSE - NEW TOWNHOME, BLDG 7, FAIRWOOD

Certificate Comments: OWNER :MATT CHAVLOVICH

☒ Certificate of Occupancy

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

☐ Certificate of Approval

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

☐ Certificate of Continued Occupancy

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

☐ Temporary Certificate of Compliance

The following conditions must be met no later than or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:
Conditions to be met:

☐ Certificate of Clearance - Lead Abatement 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC5:17 to the following extent.

- ☐ Total removal of lead-based paint hazards in scope of work
- ☐ Partial or limited time period (years); see file

☐ Certificate of Clearance - Asbestos Abatement

This serves notice that based on written certification, asbestos abatement was performed to the following extent.

- ☐ Total removal of asbestos hazards in scope of work
- ☐ Partial or limited time period (years); see file

☐ Certificate of Compliance

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until

☐ Temporary Certificate of Occupancy

The following conditions must be met no later than:
or the owner will be subject to fine or order to vacate:
This certificate has an expiration date of:
Conditions to be met:

Fee: \$354.00
Check Number: 0085314159
Collected By: Jessica Fornarotto

A. FABRICATION AND ASSEMBLY

- 1. UNLESS OTHERWISE NOTED, BUILDING MATERIALS SPECIFIED ON THIS DRAWING ARE SUPPLIED BY AMISH COUNTRY GAZEBOS.
- 2. WOOD MEMBERS ARE PRECUT PRIOR TO SHIPPING AND SOME BUILDING ELEMENTS MAY BE PRE-ASSEMBLED.
- 3. BUILDING MATERIALS (LUMBER, FASTENERS, HARDWARE, ASSEMBLIES) ARE SHIPPED AS A COMPLETE PACKAGE TO THE JOBSITE FOR FINAL ASSEMBLY.

B. BUILDING CODES AND STANDARDS

- 1. THE 2021 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION, INCLUDING ALL CODES AND SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION AND QUALITY CONTROL OF ALL WORK PERFORMED ON THE PROJECT
- 2. ADDITIONAL DESIGN STANDARDS FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW.

C. DESIGN LOADS

- 1. ROOF DEAD LOAD 4 PSF
- 2. ROOF LIVE LOAD 20 PSF
- 3. SNOW LOAD
 - a. Pg (GROUND SNOW) 20 PSF
 - b. Is (SNOW IMPORTANCE FACTOR) 1.0
 - c. Ce (EXPOSURE FACTOR) 1.0
 - d. Ct (THERMAL FACTOR) 1.2
 - e. Pf (FLAT ROOF SNOW LOAD) 16.8 PSF
- 4. WIND LOADS
 - a. WIND SPEED (Vult) 120 MPH
 - b. RISK CATEGORY II
 - c. EXPOSURE CATEGORY C

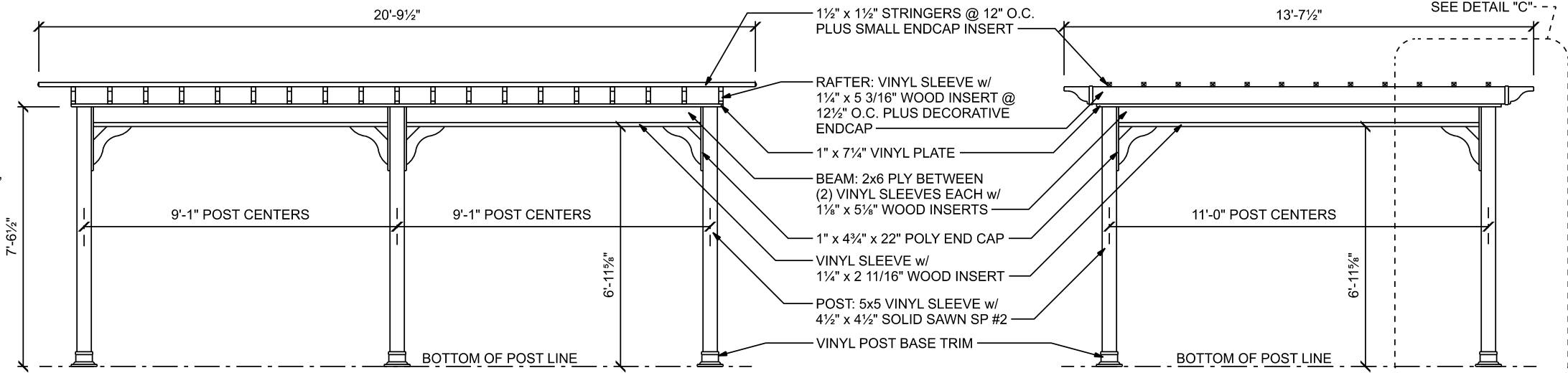
D. FOUNDATION BY OTHERS

- 1. FOUNDATION DESIGNER SHALL ENSURE THE FOUNDATION PROVIDES ADEQUATE EMBEDMENT AND CONCRETE BREAK OUT STRENGTH.
- 2. FOUNDATION DESIGNED BY OTHERS FOR LOADS SHOWN IN THE TABLE BELOW:

Load Type	Maximum Post Reactions (lbs) - ASD			
	Wind (0.6W)	Roof Live	Snow	Dead
Lateral	110	--	--	--
Vertical	480	900	190	260
Uplift (Net)	290	--	--	--

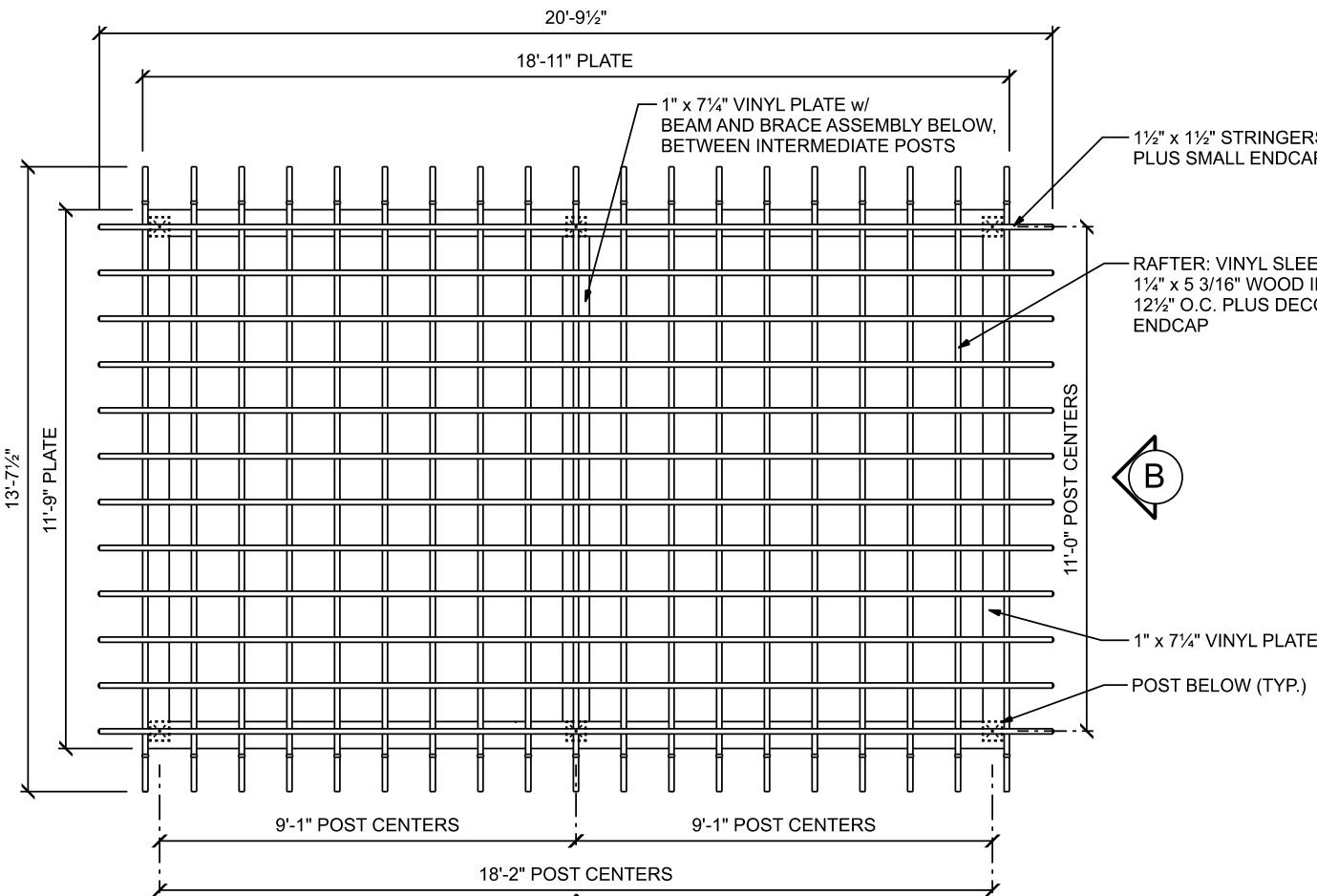
E. WOOD

- 1. DIMENSION LUMBER DESIGNED IN ACCORDANCE WITH 2018 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AND SUPPLEMENT.
- 2. UNLESS NOTED OTHERWISE, DIMENSION LUMBER SHALL BE:
 - a. #1 SOUTHERN PINE
 - b. SURFACED FOR IMPROVED APPEARANCE AS FOLLOWS:
2X4: 1-3/8" X 3-3/8"; 2X6: 1-3/8" X 5-1/4"; 2X8: 1-3/8" X 7"; 2X10: 1-3/8" X 9"
- 3. UNLESS NOTED OTHERWISE, POSTS SHALL BE:
 - a. SOLID SAWN: 4-1/2" X 4-1/2" SOUTHERN PINE #2
- 4. UNLESS NOTED OTHERWISE, LUMBER AND POSTS SHALL BE PRESSURE TREATED AS FOLLOWS:
 - a. LUMBER SHALL BE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH AWPA STANDARD U1 TO THE REQUIREMENTS OF USE CATEGORY 3B (UC3B) OR GREATER.
 - b. ALL TREATED LUMBER SHALL BE KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT.

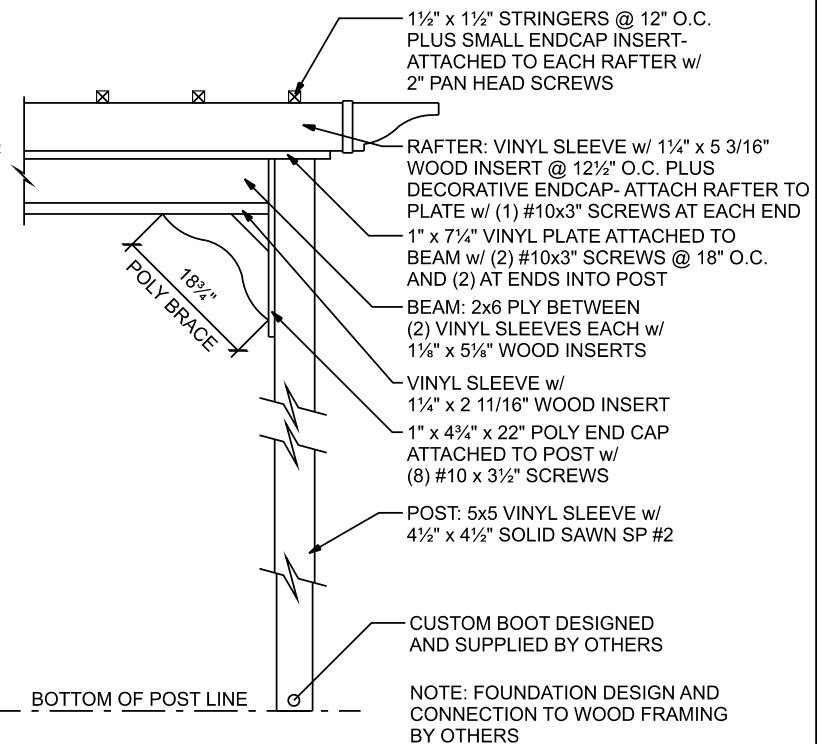


ELEVATION "A"

ELEVATION "B"



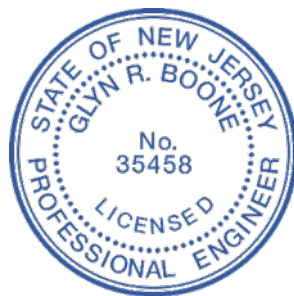
PLAN



DETAIL "C"

SCALE: 1/2" = 1'-0"

SEAL



PLOT DATE Monday, July 31, 2023



Glyn R. Boone, P.E.
Myer Hill Enterprises LLC
444 Myer Ter • Leola, PA 17540
NJ PE# 35458 - NJ COA# 24GA28306600

AMISH COUNTRY GAZEBOS
340 HOSTETTER ROAD
MANHEIM, PA 17545
1-800-700-1777

SITE LOCATION:
20 BARTON AVENUE
OCEANPORT, NJ 07703
MONMOUTH COUNTY
ACG ORDER # 23-8323

14' x 20' CLASSIC VINYL PERGOLA			
DATE	7/31/2023	SCALE	1/4" = 1'-0" U.N.O.
REVISIONS		P.N.	15 - 21
		SHEET NO.	1 OF 1