



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • FEBRUARY 23, 2021

Regular

REMOTE/VIRTUAL

7:00 PM

Clement V. Sommers Municipal Building, 910 Oceanport Way, Oceanport, NJ 07757

I. Call to Order

II. Board Policy

- It is Board Policy that no application will be opened after 9:30 P.M.
- No new testimony will be taken after 10:00 P.M., except at the discretion of the Board.

III. Open Public Meetings Statement

This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 22, 2021 of this virtual/remote meeting and its location, date and time to the Asbury Park Press, Star Ledger and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site. This meeting is also being broadcast on the Borough's Local Public Access Channel, Verizon FiOS Channel 28. Members of the general public can register for meetings from the Borough website at www.oceanportboro.com by scrolling to the bottom of the homepage and clicking "REGISTER for Planning Board Virtual Meetings". Registering allows the general public to view and participate in meetings on their computers, smart phones and tablets. Once registered, members of the general public will be muted upon entry to a meeting. Registration allows a member of the general public to participate during the public portions of a meeting by using one of the following options:

(a) Use the Raise Your Hand Feature in the Go-to-Webinar toolbox to be acknowledged for an opportunity to speak. Once recognized and advised to speak, members of the general public may need to unmute themselves to participate in the meeting.

(b) call the Borough's Public Comments Line at (732)-272-8337. The Public Comments Line is only answered during the livestream broadcast of a meeting when the Chairman has opened the meeting to the public. A caller to the Public Comments Line must provide his or her name and address in order to participate in a meeting. Once this information is provided, callers will either be admitted to speak at the meeting immediately or they will be called back by the Board Secretary at the appropriate or designated time so that they can speak. Speakers participating through the Public Comments Line will be placed on speaker and all comments made will be part of the digital record of the meeting.

The instructions for Public Participation in the Borough's meetings are also available on the Borough's website at www.oceanportboro.com.

IV. Flag Salute

V. Roll Call

VI. Board Business

1. Approval of Minutes - Sept. 8, 2020
2. Report of Pending Applications

VII. Old Business

1. Resolution of Approval - 29 Mohawk Ave
2. Resolution of Approval - Somerset Development/Ft. Monmouth Lodging Parcel

VIII. New Business

1. PB2020-01 Sempkowski, Anthony
74 Cayuga Ave
Block 27, Lot 9
Bulk Variance(s)

2. PB2020-07 Ft Monmouth Business Center (FMBC)

Fort Monmouth Allison Hall Parcel

Block 110, Portion of Lot 1

Signal & Oceanport Avenues

Preliminary & Final Site Plan

IX. Petitions from the Public

X. Adjournment

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**RESOLUTION - PB (ID # 1971)**

Meeting: 02/23/21 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1971

Resolution of Approval - 29 Mohawk Ave

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**RESOLUTION - PB (ID # 1972)**

Meeting: 02/23/21 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1972

Resolution of Approval - Somerset Development/Ft. Monmouth Lodging Parcel

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 1759)**

Meeting: 02/23/21 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1759

PB2020-01 Sempkowski, Anthony

74 Cayuga Ave
Block 27, Lot 9
Bulk Variance(s)



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

8.1.b

Corporate Headquarters
331 Newman Springs Road, Suite 203
Red Bank, NJ 07701
T: 732.383.1950
F: 732.383.1984
www.maserconsulting.com

January 21, 2021

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
315 E. Main Street
Oceanport, NJ 07757

Re: Bulk Variances
74 Cayuga Avenue
Block 27, Lot 9
Borough of Oceanport, Monmouth County, New Jersey
MC Project No. OPP-264

Dear Board Members:

Our office has received the following information in support of the above-referenced Bulk Variance Application:

- Plans entitled “Variance Plan” prepared by Geller Sive & Company dated December 12, 2020, consisting of one (1) sheet;
- Plan entitled “Final As-Built Survey with Topography” prepared by DPK Consulting, LLC, dated January 31, 2020, consisting of one (1) sheet;
- Plans entitled “Tony Sempkowski Residence” prepared by Ronald Kacmarsky Architectural Group, last revised March 2, 2020, consisting of eight (8) sheets.

The subject property is situated in the R-3 – Residential Single-Family Zone District and contains 12,000 SF (0.28 acres) on the south side of Cayuga Avenue approximately 860 feet from the intersection with Port Au Peck Avenue. The original home was damaged by super Storm Sandy. The Applicant is in the process of building a new dwelling.

A planning and engineering review of the Application is provided below.

Variances/Design Waivers

We offer the following comments for the Board’s consideration:

1. Bulk variances are required for the following:
 - a. Rear Yard Setback: 25 feet required, 24.5 feet proposed. A Bulk Variance is required.
 - b. Impervious Coverage: Maximum of 37% permitted, 36% existing, 42.5% proposed. A Bulk Variance is required



- c. Driveway Side Yard Setback: Five (5) feet required from side property line, zero (0) feet is proposed. A Bulk Variance is required.
- d. Retaining wall setback: Ten (10) feet required from all property lines. The as-built survey indicates that the wall encroached into the abutting property. The Applicant proposes to reconstruct the wall on the property line providing zero (0) feet setback. A Bulk Variance is required.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

- **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
 - **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.
2. The property is located in the AE10 flood hazard zone which requires minimum design flood elevation (DFE) of 12.4 feet. Flood Prevention Ordinance Section 229-17B(1)(a) requires “New construction and substantial improvement of any residential structure shall have the lowest floor, including basement together with the attendant utilities and sanitary facilities, elevated at or above” the DFE. The electric meter, AC Condenser unit and generator panel are not compliant and therefore the Applicant has to elevate the utilities or obtain a variance from the requirement. The Applicant shall clarify the elevation of this equipment. Ordinance Section 229-15 (copy attached) provides a procedure for the Planning Board to hear a variance request. The Board is referred to section 229-15B(5) (b). The Applicant has claimed that in order to make the dwelling conform, it would result in exceptional hardship. The Applicant should address the remaining Conditions for Variances outlined in sub-chapter 229-15B.

We would recommend that the Applicant provide photographs of the dwelling and a copy of their Elevation Certificate for the Board to review and obtain a better understanding of the Application.



Jeanne Smith, Planning Board Secretary
MC Project No. OPP-264
January 21, 2021
Page 3 of 3

If the Board chooses to grant the variance, the resolution should include the notice, as required by Ordinance Chapter 229-15B(6), that the cost of flood insurance will be commensurate with the increased risk resulting from the non-compliance.

The Applicant shall provide testimony in support of the variances being requested and/or identified.

General Comments

1. The Architectural plans are not reflective of the structure that was built with respect to the front porch, rear deck and west side deck.
2. The driveway is only 22 feet wide at the side entry garage which is not sufficient for vehicles to make the necessary turning movements into and out of the garage. The industry standard is 28-32 feet. This dimension will be further reduced by the safety rail and fencing that is required.
3. A six (6) foot deep (as measured from the curblin in) apron constructed of concrete, asphalt, pavers, etc. shall be provided for both driveways as required by Ordinance 390-25k(2). Grading shall be provided for the driveway expansion, in excess of the 12% cross slope.
4. Structural calculations are required for the guiderail along the elevated driveway to provide fall-over protection to vehicles. In addition, a pedestrian guardrail is needed for the area where the wall exceeds 30 inches in height.
5. Structural calculations are required for the segmental block wall that demonstrate the wall is designed to withstand the impact load on the guiderail system. Since the wall is already built, a certification from a New Jersey licensed Engineer certifying that the wall is structurally sound and provides the appropriate Factors of Safety is required.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Very truly yours,

MASER CONSULTING INC.

A handwritten signature in blue ink, appearing to read 'W. H. White, III'.

William H.R. White, III, P.E., P.P., C.M.E.
Planning Board Engineer and Planner

WHW/dmm
Attachment
cc: Kevin Kennedy, Esq. (via email)
Walter Toto, Esq. (via email)

r:\general\projects\opp\opp-264\correspondence\out\210121_whw_smith_74_cayuga_avenue.docx

*Borough of Oceanport, NJ**Thursday, August 3, 2017*

Chapter 229. Flood Damage Prevention

Article IV. Administration

§ 229-15. Variance procedure.

A. Appeal Board.

- (1) The Planning Board as established by the Mayor and Council shall hear and decide appeals and requests for variances from the requirements of this chapter.
- (2) The Planning Board shall hear and decide appeals when it is alleged there is an error in any requirement, decision, or determination made by the Construction Official in the enforcement or administration of this chapter.
- (3) Those aggrieved by the decision of the Planning Board or any taxpayer may appeal such decision to the Superior Court, as provided by law.
- (4) In passing upon such applications, the Planning Board, shall consider all technical evaluations, all relevant factors, standards specified in other sections of this chapter, and:
 - (a) The danger that materials may be swept onto other lands to the injury of others;
 - (b) The danger to life and property due to flooding or erosion damage;
 - (c) The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
 - (d) The importance of the services provided by the proposed facility to the community;
 - (e) The necessity to the facility of a waterfront location, where applicable;
 - (f) The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;

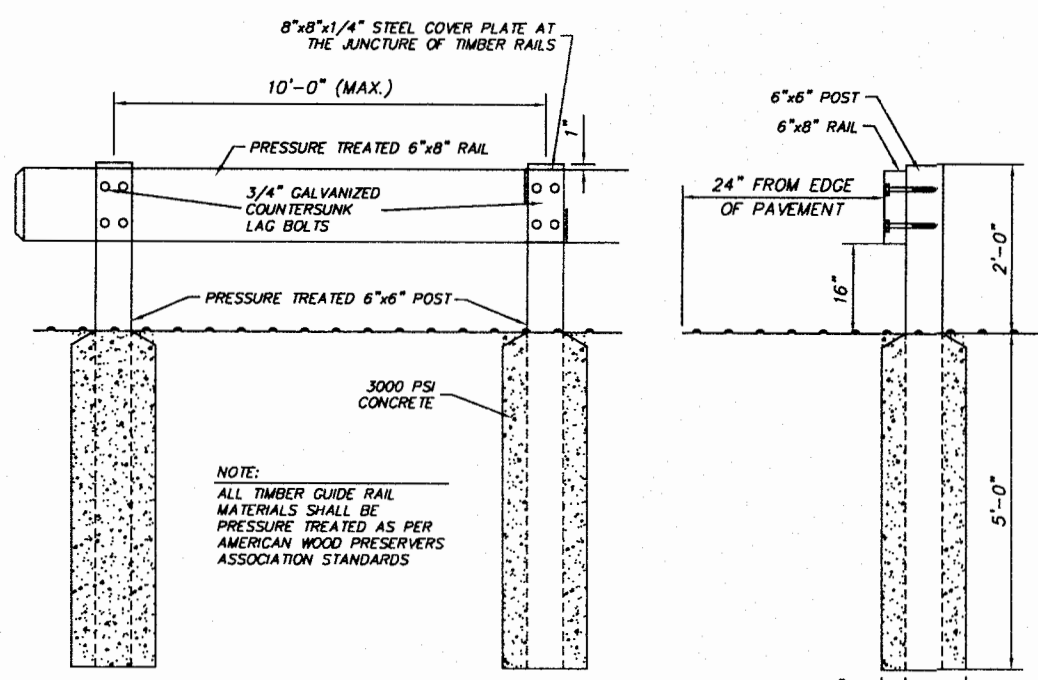
- (g) The compatibility of the proposed use with existing and anticipated development;
 - (h) The relationship of the proposed use to the comprehensive plan and floodplain management program of that area;
 - (i) The safety of access to the property in times of flood for ordinary and emergency vehicles;
 - (j) The expected heights, velocity, duration, rate of rise, and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and
 - (k) The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.
- (5) Upon consideration of the factors of § 229-15A(4) and the purposes of this chapter, the Planning Board may attach such conditions to the granting of variances as it deems necessary to further the purposes of this chapter.
- (6) The Construction Official shall maintain the records of all appeal actions, including technical information, and report any variances to the Federal Insurance Administration upon request.

B. Conditions for variances.

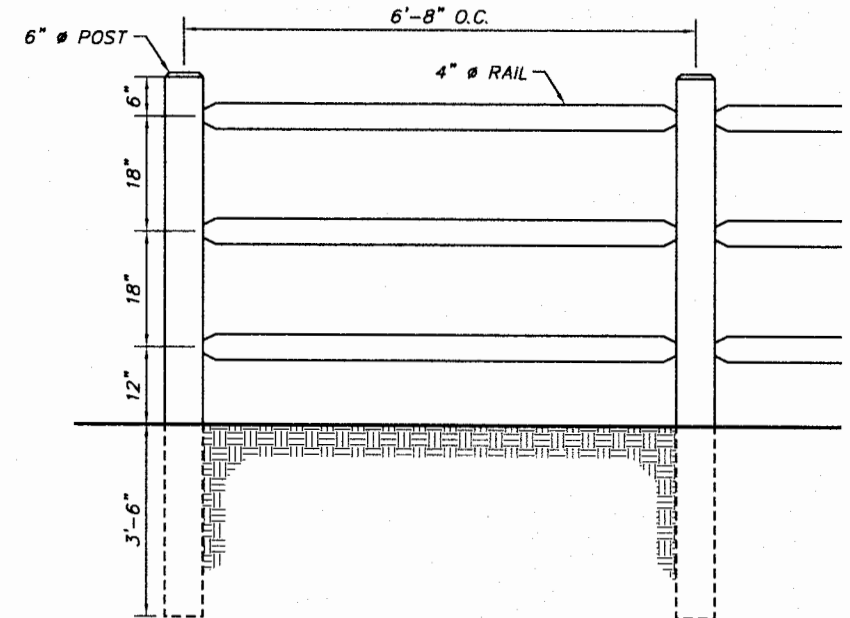
- (1) Generally, variances may be issued for new construction and substantial improvements to be erected on a lot of 1/2 acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing items in § 229-15A(4)(a) through (k) have been fully considered. As the lot size increases beyond the 1/2 acre, the technical justification required for issuing the variance increases.
- (2) Variances may be issued for the repair or rehabilitation of historic structures upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as an historic structure and the variance is the minimum necessary to preserve the historic character and design of the structure.
- (3) Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
- (4) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
- (5) Variances shall only be issued upon:
 - (a) A showing of good and sufficient cause;
 - (b)

A determination that failure to grant the variance would result in exceptional hardship to the applicant; and

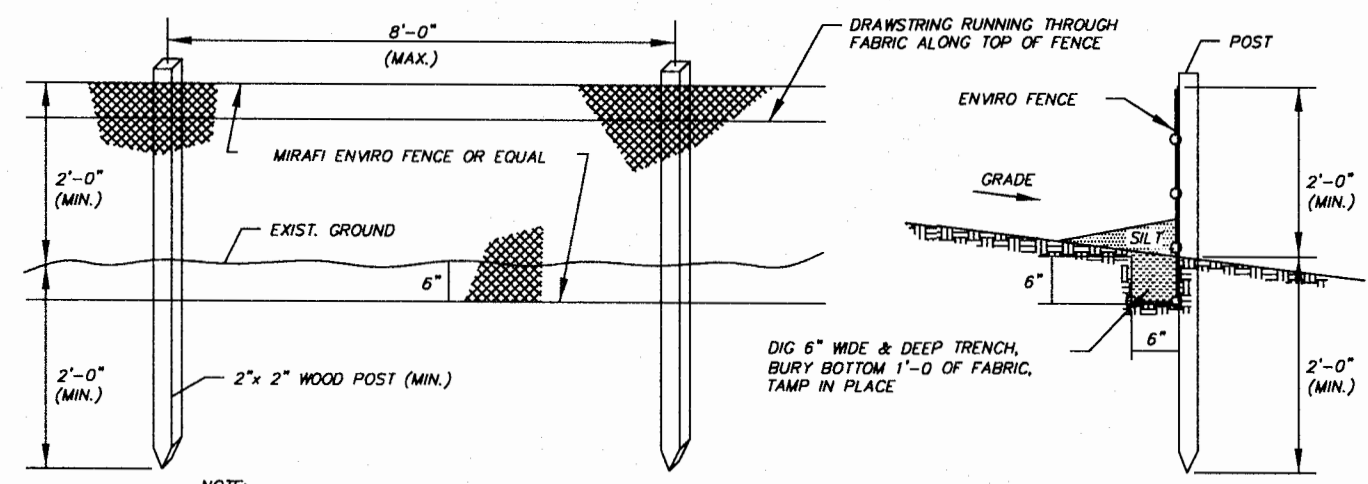
- (c) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified in § 229-15A(4), or conflict with existing local laws or ordinances.
- (6) Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and that the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation.



TIMBER GUIDE RAIL DETAIL
NO SCALE



POST & RAIL FENCE DETAIL
NO SCALE



SILT FENCE DETAIL
NO SCALE

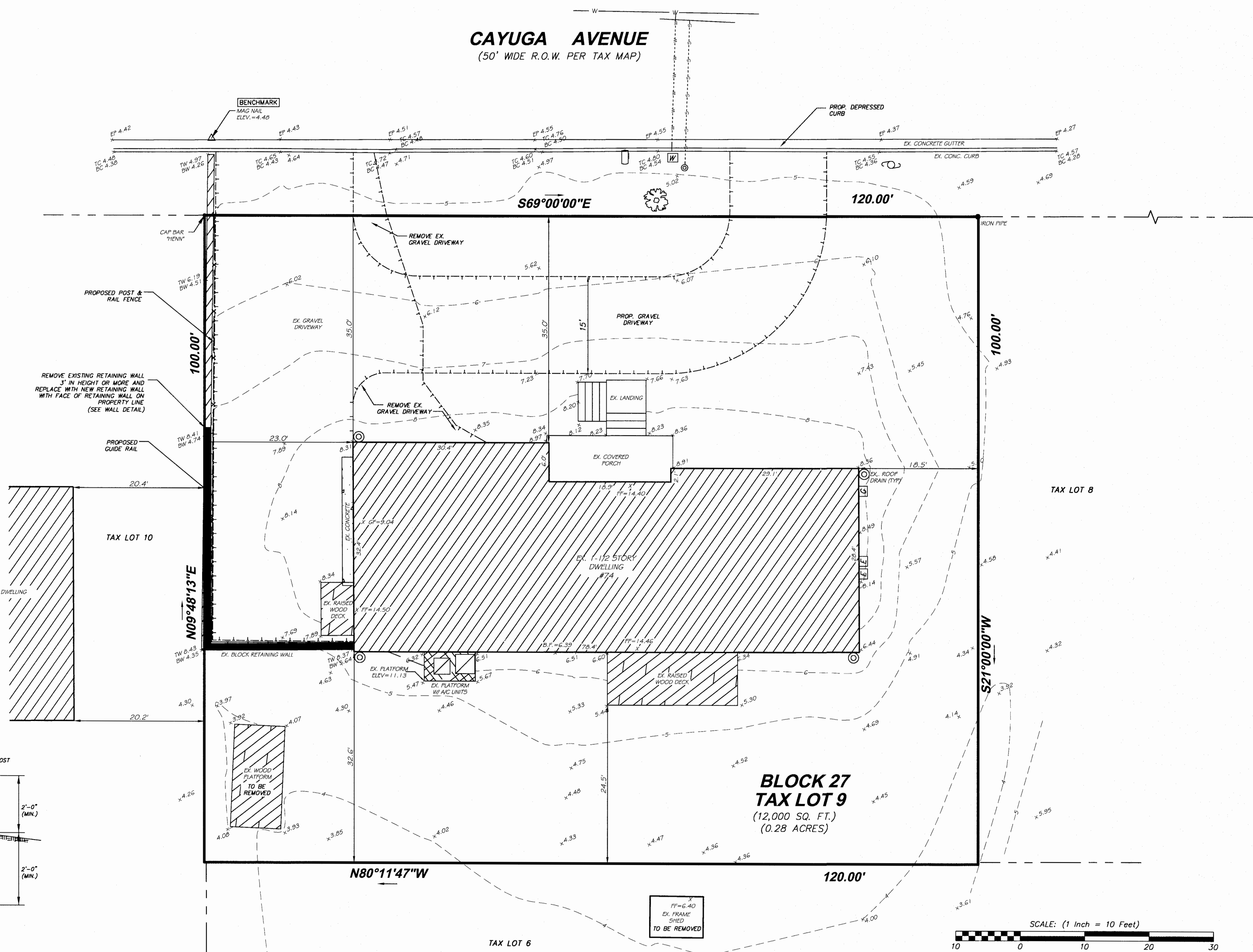
IMPERVIOUS COVERAGE CALCULATIONS

EXISTING IMPERVIOUS	
DWELLING W/ COVERED PORCH	= 2,443 SQUARE FEET
GRAVEL/STONE DRIVEWAY	= 1,788 SQUARE FEET
RETAINING WALL	= 89 SQUARE FEET
TOTAL	= 4,320 SQUARE FEET
PROPOSED IMPERVIOUS	
EX. DWELLING	= 2,443 SQUARE FEET
EX. RETAINING WALL	= 89 SQUARE FEET
PROP. DRIVEWAY	= 2,572 SQUARE FEET
TOTAL	= 5,104 SQUARE FEET

ZONE : RESIDENTIAL ZONE ~ R-3

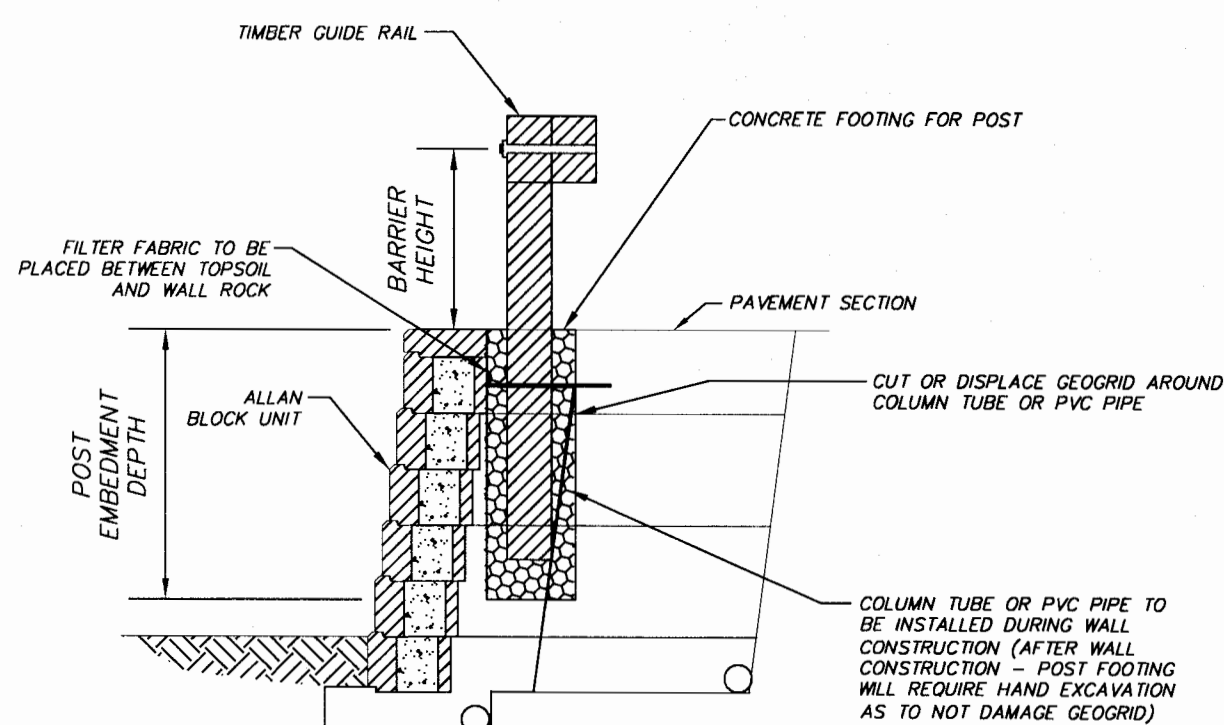
MINIMUMS:	REQUIRED:	PROPOSED:
LOT AREA	12,000 S.F.	12,000 S.F.
LOT WIDTH	120 FT.	120 FT.
LOT DEPTH	100 FT.	100 FT.
PRINCIPAL BUILDING		
FRONT SETBACK	30 FT.	35.00 FT.
REAR SETBACK	25 FT.	24.5 FT. *
SIDE SETBACK	10 FT.	18.5 FT.
COMBINED SIDE SETBACK	25 FT.	41.5 FT.
ACCESSORY BUILDING		
REAR SETBACK	5 FT.	N/A
SIDE SETBACK	10 FT.	N/A
MAXIMUMS:		
PRINCIPAL BUILDING LOT COVERAGE	25%	20.4% ±
ACCESSORY BUILDING LOT COVERAGE	5%	N/A
IMPERVIOUS LOT COVERAGE	37%	42.5% ± **
BUILDING HEIGHT (NON-FLAT ROOF)	35 FT.	< 35 FT.
	2.5 STY.	2 STY.

* EXISTING CONDITION
** VARIANCE REQUESTED

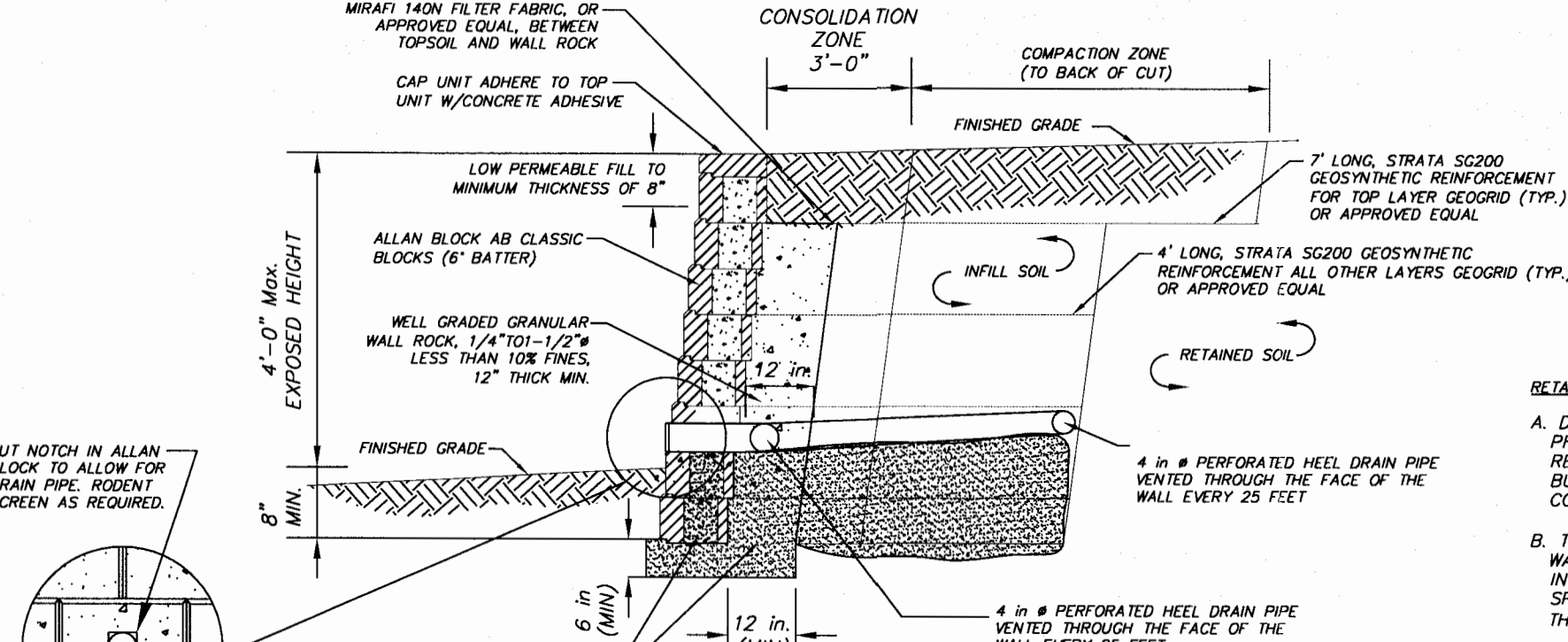


LEGEND

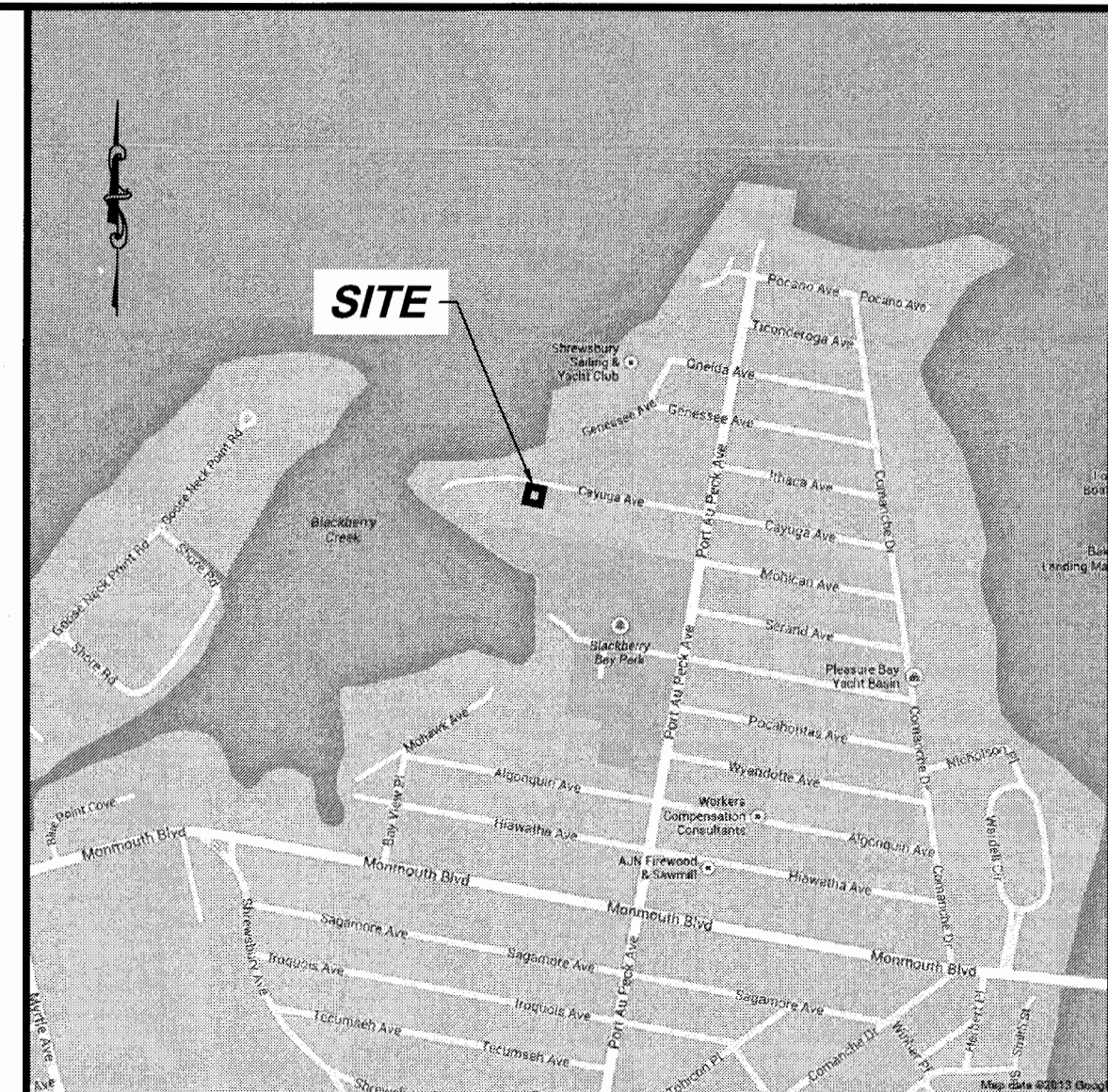
--- 4 --- = EXIST. CONTOUR
4.25 = EXIST. ELEVATION
(T.B.R.) = TO BE REMOVED



RETAINING WALL GUIDE RAIL & SUPPORT POST SECTION DETAIL
NO SCALE



RETAINING WALL SECTION - 4' HIGH MAXIMUM EXPOSED FACE
NO SCALE



LOCATION MAP

SCALE: (1 Inch = 1000 Feet)
1000 0 1000 2000 3000

GENERAL NOTES:

- PROPERTY BEING KNOWN AS BLOCK 27, TAX LOT 9, AS SHOWN ON SHEET 6 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF OCEANPORT. THE PROPERTY CONTAINS APPROXIMATELY 12,000 SQUARE FEET AND IS LOCATED WITHIN THE RESIDENTIAL "R-3" ZONE.
- BOUNDARY, TOPOGRAPHIC AND EXISTING SITE IMPROVEMENT INFORMATION ARE BASED UPON A PLAN ENTITLED "FINAL ASBUILT SURVEY WITH TOPOGRAPHY, TAX LOT 9, BLOCK 27, 74 CAYUGA AVENUE, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY DPK CONSULTING, DATED 01/31/2020, LAST REVISED 07/06/2020. ALL ELEVATIONS ARE IN ACCORDANCE WITH THIS PLAN AND ARE BASED UPON N.A.S.D. 1988 DATUM.
- THE PROPERTY LIES WITHIN THE AE FLOOD HAZARD AREA, WHICH HAS A BASE FLOOD ELEVATION OF 10.0, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 3402500184F, EFFECTIVE DATE JUNE 20, 2018.
- THERE ARE NO VERIFIED FRESHWATER WETLANDS WITHIN THE BOUNDARIES OF THE SITE, AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NJ-GEOWEB SERVICE.
- THE SITE WAS PREVIOUSLY DEVELOPED AND IS CURRENTLY DEVELOPED WITH A SINGLE-FAMILY RESIDENTIAL DWELLING, DRIVEWAY AND ACCESSORY SHEDS.
- PROPOSED IMPROVEMENTS CONSIST OF RECONSTRUCTING THE EXISTING RETAINING WALL AND RECONFIGURING THE DRIVEWAY WITH A U-SHAPE.
- THE EXISTING DWELLING IS SERVED BY THE EXISTING PUBLIC SANITARY SEWER AND POTABLE WATER SERVICES.
- THE PROPOSED RETAINING WALL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1372, STANDARD SPECIFICATIONS FOR SEGMENTAL RETAINING WALL UNITS AND THE MANUFACTURER'S SPECIFICATIONS. ALL SITE MATERIALS AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE ATTACHED NOTES AND DETAILS. THE ALLAN BLOCK CORPORATION COMMERCIAL INSTALLATION MANUAL FOR ALLAN BLOCK RETAINING WALLS AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ANY REQUIRED/INSTALLED FENCING ASSOCIATED WITH THE RETAINING WALL SHALL BE INSTALLED IN ACCORDANCE WITH ALLAN BLOCK SPECIFICATIONS, THE FENCE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION WITH A RETAINING WALL AND THE OCEANPORT BOROUGH REQUIREMENTS.
- THE CONTRACTOR SHALL DETERMINE, IF REQUIRED, IN THE AREA OF THE RETAINING WALL TO PROPERLY CONSTRUCT THE RETAINING WALL, INCLUDING INSTALLING THE WALL'S BASE MATERIAL TO A STABLE, LEVEL FINISH.
- THE SITE IS UNDERLAIN WITH UDORTHENTS-URBAN LAND COMPLEX (Udoub) & ELKTON (EkoAr) SOILS, AS PER THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION NJ-GEOWEB SERVICE. NO SOILS INVESTIGATION HAS BEEN PERFORMED TO CLASSIFY SOIL CHARACTERISTICS OR DETERMINE SEASONAL HIGH GROUNDWATER ELEVATION.
- ALL SITE MATERIALS AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE ENCLOSED DETAILS, THE OCEANPORT BOROUGH DEVELOPMENT ORDINANCE AND THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- THE CONTRACTOR OR LAYOUT PARTY SHALL VERIFY ALL ELEVATIONS AND DIMENSIONS ON THE JOB SITE AND SHALL VERIFY THAT THE PLANS BEING UTILIZED ARE FINAL AND APPROVED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE DONE DUE TO ELEVATIONS AND/OR DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN PROVIDED.
- THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER" UTILITIES NOT SHOWN ON THE PLAN EXIST WITHIN THE AREAS OF PROPOSED IMPROVEMENTS. SHOULD THERE BE "OTHER" UTILITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO ANALYZE ANY POTENTIAL UTILITY CONFLICTS.
- THE CONTRACTOR SHOULD CALL 1-800-272-1000 SEVEN (7) DAYS PRIOR TO EXCAVATION FOR FIELD MARK OUT OF UNDERGROUND UTILITIES.
- PRIOR TO STARTING SITE CLEARING/CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE ALL REQUIRED PERMITS/APPROVALS HAVE BEEN OBTAINED. ALL SITE WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND THE REQUIREMENTS AND STANDARDS OF THE PERMITTING AUTHORITY.
- THIS PLAN IS FOR VARIANCE RELIEF ONLY, AND SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

**VARIANCE PLAN
TAX LOT 9 BLOCK 27**

74 CAYUGA AVENUE
BOROUGH OF OCEANPORT
MONMOUTH COUNTY, NEW JERSEY

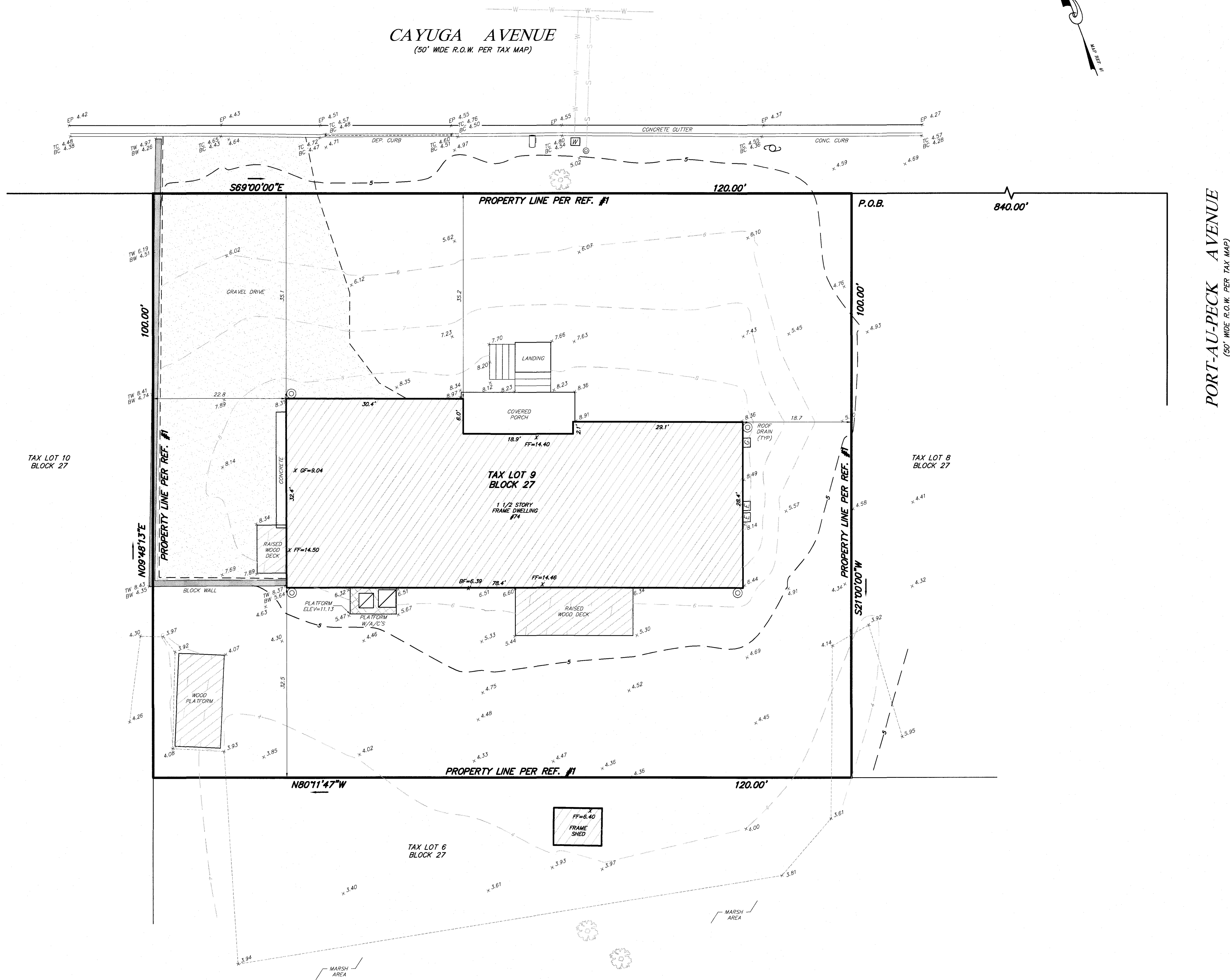
VARIANCE PLAN

Geller Sive & Company Consulting Engineers & Planners
Civil • Site • Transportation
Traffic • Municipal

Office Location: 958 Adelphia Road, Adelphia, NJ 07710
Mailing Address: PO Box 249, Adelphia, NJ 07710
Phone: 732-625-7919
www.gellersive.com

Certificate of Authorization No. 24CA28105200
ROBERT D. SIVE N.J. Professional Engineer No. 43816
DATE: 12/11/2020

DRAWN BY:	DESIGNED BY:	CHECKED BY:	DATE:	SCALE:	SHEET:	JOB NUMBER:
RS	RS	GC	12/11/2020	1" = 10'	1 OF 1	2484



PORT-AU-PECK AVENUE
(50' WIDE R.O.W. PER TAX MAP)

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

FINAL ASBUILT SURVEY W/ TOPOGRAPHY TAX LOT 9 BLOCK 27 74 CAYUGA AVENUE BOROUGH OF OCEANPORT MONMOUTH COUNTY NEW JERSEY	
DRAWING FILE: 20-8708LS00	1
PROJECT NUMBER: 20-8708	1
& SHEET	REV. 0

**Planning/Zoning Combined Board**

315 E. Main Street
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 1858)**

Meeting: 02/23/21 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 1858

PB2020-07 Ft Monmouth Business Center (FMBC)

Fort Monmouth Allison Hall Parcel
Block 110, Portion of Lot 1
Signal & Oceanport Avenues
Preliminary & Final Site Plan