



BOROUGH OF OCEANPORT

PLANNING/ZONING BOARD

AGENDA • JANUARY 9, 2024

Reorganization

Clement V. Sommers Municipal Building

7:00 PM

910 Oceanport Way, Oceanport, NJ 07757

I. Call to Order

II. Open Public Meetings Statement

This meeting complies with the Open Public Meetings Act by adequate and electronic notification with publication on December 14, 2023 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.

III. Flag Salute

IV. Oaths of Office

1. Christopher Widdis, Class I (Mayor's Designee)
2. Patricia Cooper, Class IV, unexpired term
3. Robert Kleiberg, Alternate #2

V. Roll Call

VI. Election of Chairman

VII. Election of Vice-Chairman

VIII. Appointment of Board Secretary

IX. Board Policy

- It is Board Policy that no application will be opened after 10:00 P.M.
- No new testimony will be taken after 10:30 P.M., except at the discretion of the Board.

X. Board Business

PR-24-1 PR-24-01 Resolution Approving 2024 Annual Meeting Schedule

2. Resolution appointing Board Attorney

PR-24-3 PR-24-03 Resolution Appointing a Board Engineer/Planner

XI. Old Business

PR-24-4 PR-24-04 Recommendations - Mayor&Council__FMERA Plan Amendment #20

2. PB2022-20 Manvan LLC - Request for Extension of Approval PR-22-32

190-192 Monmouth Blvd

Block 65, Lots 40 & 41

Minor Subdivision with Variances

PR-24-5 Extension of Approval for PR-22-32

4. PB2020-21.1 Somerset Developers/Parkers Creek- Lodging Parcel

XII. New Business

1. PB2023-14 Giordano, Joseph

Block 124, Lot 2

44 Springfield Avenue

Proposed expansion of non-conforming structure

DFD 4/10/24

XIII. Petitions from the Public

XIV. Adjournment



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB 24-1

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 2970

RESOLUTION APPROVING ANNUAL MEETING SCHEDULE January 9, 2024

WHEREAS, the Open Public Meetings Act requires that all public bodies at the time of their annual organization meetings or within 7 days thereof, shall post, mail to newspapers and give notice to certain persons the schedule of meetings for the year 2024.

NOW, THEREFORE, BE IT RESOLVED that the Oceanport Planning/Zoning Combined Board for the 2024 calendar year will conduct the following meetings for the purpose of conducting Board business for 2024. Meetings are generally held on the second and fourth Tuesday of each month, except as otherwise noted below, in the Clement V. Sommers Municipal Building, 910 Oceanport Way, Oceanport, NJ 07757. All meetings will begin at 7:00 p.m. A Workshop Session will be held at 6:30 p.m. prior to a Regular Meeting as the Board deems it necessary. Official action may be taken.

January	9 th	23 rd
February	13 th	27 th
March	12 th	26 th
April	9 th	23 rd
May	14 th	28 th
June	11 th	25 th
July*	9 th	
August*	13 th	
September	10 th	24 th
October	8 th	22 nd
November*	26 th	
December*	10 th	

*Summer schedule is in effect with one meeting in July and August and due to holidays, November and December have one meeting scheduled.

BE IT FURTHER RESOLVED that the Board Secretary is hereby directed to file a copy of the schedule with the municipal clerk, post and maintain posted a copy of the schedule in the place designated for the posting of notices and forward a copy of same to The Two River Times and the Asbury Park Press.

BE IT FURTHER RESOLVED that this resolution and the schedule contained herein may be amended from time to time provided the terms of the Act are fully followed.



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB (ID # 2971)

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 2971

RESOLUTION OF THE OCEANPORT PLANNING BOARD APPOINTMENT OF BOARD ATTORNEY FOR CY2024

WHEREAS, the Borough of Oceanport Planning Board is in need of professional legal services to be rendered to the Planning Board as Board Attorney on an as needed basis;

WHEREAS, Kevin Kennedy, Esq., 165 Highway 35, Middletown, NJ 07701 has served as the Board Attorney and the Board desires to continue to retain Mr. Kennedy for said professional legal services for calendar year 2024; and

WHEREAS, the law firm of Kevin Kennedy, Esq., 165 Highway 35, Middletown, NJ 07701. is qualified, ready, willing and able to provide said services; and

WHEREAS, this contract constitutes a "Professional Service" contract under the provisions of the Local Public Contracts Law because the service is a recognized profession, licensed and regulated by the State of New Jersey, and therefore, may be awarded without competitive bidding pursuant to N.J.S.A. 40A:11-5(1)(a)(I), et. seq.; and

WHEREAS, the law firm of Kevin Kennedy, Esq. has filed a Business Entity Disclosure and Political Contributions form,

NOW THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Oceanport, County of Monmouth, State of New Jersey that:

1. Kevin E. Kennedy, Esq be and is hereby appointed as Board Attorney for CY2024.
2. The Chairman and Board Secretary are hereby authorized to execute a contract on behalf of the Borough of Oceanport Planning Board with Kevin E. Kennedy, Esq for legal services for a monthly meetings retainer of \$500.00 per month for Board meetings and subject to the terms of the proposal submitted subject to adoption of the 2024 municipal budget.
3. That the contract shall also provide for an open-ended contract for services performed in regards to land development applications contingent upon the availability of funds in the Developer's Escrow and municipal budget with no firm quantities being guaranteed. Funds will be certified and encumbered by individual purchase order prior to each request for service.



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB 24-3

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3082

RESOLUTION OF THE OCEANPORT PLANNING BOARD APPOINTMENT OF BOARD ENGINEER/PLANNER FOR CY2024

WHEREAS, the Borough of Oceanport Planning Board is in need of professional engineering and planner services to be rendered to the Planning Board as Board Engineer/Planner on an as needed basis and the Board desires to reappoint **William White of Colliers Engineering & Design, 101 Crawfords Corner Road Suite 3400, Holmdel, New Jersey 07733**; and

WHEREAS, William White, P.E., P.P. of Colliers Engineering & Design is qualified, ready, willing and able to provide said services; and

WHEREAS, this contract constitutes a "Professional Service" contract under the provisions of the Local Public Contracts Law because the service is a recognized profession, licensed and regulated by the State of New Jersey, and therefore, may be awarded without competitive bidding pursuant to N.J.S.A. 40A:11-1, et seq.; and

WHEREAS, the Borough has determined that the value of the services will exceed \$17,500.00 and desires to make the appointment by means of a non-fair and open contract pursuant to the provisions of N.J.S.A. 19:44A-20.B; and

WHEREAS, Colliers Engineering & Design, Colliers Engineering & Design, 101 Crawfords Corner Road Suite 3400, Holmdel, New Jersey 07733 has completed and submitted a Business Entity Disclosure Certification and Political Disclosure pursuant with P.L. 2023, c.20; and

NOW, THEREFORE, BE IT RESOLVED, by the Planning Board of the Borough of Oceanport as follows:

1. William White of Colliers Engineering & Design be and is hereby appointed as Board Engineer/Planner for CY2024.
2. The Chairman and Board Secretary are hereby authorized to execute a contract on behalf of the Borough of Oceanport Planning Board with William White of Colliers Engineering & Design for engineering services pursuant with their proposal and rate sheet for 2024.
3. That the contract provides for an open-ended contract for services performed in regards to land development applications contingent upon the availability of funds in the Developer's Escrow and municipal budget with no firm quantities being guaranteed. Funds will be certified and encumbered by individual purchase order prior to each request for service.

BE IT FURTHER RESOLVED that the Business Disclosure Entity Certification and Political Contribution Disclosure Form be placed on file with said contract.

BE IT FURTHER RESOLVED that a summary of the above shall be published in accordance with the law in an official newspaper of the Borough.



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB 24-4

11.1

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3084

PR-24-04 Recommendations - Mayor&Council__FMERA Plan Amendment #20

RESOLUTION**BOROUGH OF OCEANPORT PLANNING BOARD
FORT MONMOUTH REUSE AND REDEVELOPMENT PLAN
PROPOSED PLAN AMENDMENT #20**

WHEREAS, the Oceanport Planning Board is a duly organized Land Use Board, organized and existing in accordance with the Rules and Regulations of the State of New Jersey and the Borough of Oceanport; and

WHEREAS, there exists within the geographical confines of the Borough of Oceanport a portion of the complex which previously hosted the former Fort Monmouth military base; and

WHEREAS, with the closure of Fort Monmouth, the Fort Monmouth Economic Revitalization Authority (FMERA) was, essentially, created to help establish the general process for appropriate redevelopment of the various parcels located within the former military site; and

WHEREAS, in furtherance thereof, a process was established whereby each of the 3 Fort Monmouth host communities have a process to review Fort Monmouth Redevelopment Plans, and / or amendments thereto; and

WHEREAS, Agents of FMERA recently requested that the Borough of Oceanport review and comment upon proposed Plan Amendment #20; and

WHEREAS, in due course, the Borough Council of the Borough of Oceanport forwarded the matter to the Oceanport Planning Board, so that the Planning Board could officially review the proposed Redevelopment Plan Amendment; and

WHEREAS, the Oceanport Planning Board officially reviewed the proposed Plan Amendment #20 at its scheduled meeting of November 28, 2023; and

WHEREAS, at the said Hearing, sworn testimony was presented by William H. R. White, III, P.E., P.P., CME, the Planning Board Engineer/Planner; and

WHEREAS, at the said Hearing, the following item was officially marked into the Record as Evidence:

PR-24-04

01-09-24

- Proposed Amendment #20 to the Fort Monmouth Reuse and Redevelopment Plan, dated November 2023, introduced into Evidence as B-1;

WHEREAS, the Board Members reviewed, in detail, proposed Plan Amendment #20;
and

WHEREAS, the Board Members were advised that proposed Amendment #20 essentially contemplates that approximately 292 acres of the plan area known as the mega parcel would be developed as a state-of-the-art motion picture, television, and broadcast studio campus, including the creation of innovative and efficient film space which will support the needs of the arts and entertainment community, and create new economic opportunities for the Borough of Oceanport and the surrounding communities; and

WHEREAS, the discussion was officially opened to the members of the public so that they too, could ask questions and / or comments in connection with the proposed discussion;
and

WHEREAS, at the said Hearing, public questions / comments were presented by the following:

Louis Fernandez

WHEREAS, during the public discussion, Board Members expressed a number of questions, comments, statements, questions, and/or concerns regarding proposed Amendment #20, and the impact the same will have on the Borough of Oceanport, and the surrounding communities; and

WHEREAS, the Board questions, comments, statements, and / or concerns are set forth on the attached list, which is attached hereto and incorporated herein at length;

NOW, THEREFORE, BE IT RESOLVED by the Members of the Oceanport Planning Board as follows:

1. That for the reasons set for during the public Hearing, a majority of the Board finds that proposed Amendment #20 is consistent with the Borough of Oceanport Master Plan.

2. That notwithstanding the aforesaid consistency determination, there are a number of questions / comments / concerns (as set forth on the attached list) which should be further reviewed / addressed by the FMERA representatives.
3. That the Planning Board hereby memorializes the aforesaid written comments / concerns / statements (as set forth on the attached list) and respectfully requests that the Borough of Oceanport petition the FMERA Board so as to obtain additional information / responses to the aforesaid questions / comments / concerns documented herein.
4. That the Borough of Oceanport Planning Board respectfully requests the right to supplement the within Resolution after any further review / modification of the proposed plan amendment.
5. That the Oceanport Planning Board remains committed to assisting FMERA and related agencies in the pursuit of appropriate development / redevelopment of the former Fort Monmouth site.
6. That a certified true copy of the within Resolution shall be forwarded to the Mayor & Council of the Borough of Oceanport for inclusion with their response to the Fort Monmouth Economic Revitalization Authority.

PR-24-04

01-09-24

This resolution memorializes an action taken at the regular meeting of the Oceanport Planning Board held on November 28, 2023 on roll call that evening by the following vote:

Offered by: _____

Seconded by: _____

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Cooper	()	()	()	()	()
Foster	()	()	()	()	()
Tvrdik	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Widdis, L.	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Calver (Alt #1)	()	()	()	()	()
Kleiberg (Alt#2)	()	()	()	()	()

This resolution was offered by _____, seconded by _____, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Cooper	()	()	()	()	()
Foster	()	()	()	()	()
Tvrdik	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Widdis, L.	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Calver (Alt #1)	()	()	()	()	()
Kleiberg (Alt#2)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of January 9, 2024.

Jeanne Smith, Secretary

KEK/cmp

S:\KevinKennedyLaw\Municipal\Oceanport Planning Board\Ft. Monmouth Reuse & Development Plan (Amendment #20)\Resolution.doc

**OCEANPORT PLANNING BOARD
FORT MONMOUTH REUSE AND REDEVELOPMENT PLAN
PROPOSED PLAN AMENDMENT #20**

**PLANNING BOARD LIST OF COMMENTS / QUESTIONS / CONCERNS /
ENDORSEMENTS / OBJECTIONS**

The Planning Board discussed at length the proposed Plan Amendment #20 and the majority of members found the plan amendment was consistent with the Master Plan. Board members did note that given the scope of the proposed development, as envisioned in Amendment #20, that the 45-day review period is inadequate for the magnitude of Plan Amendment #20. It is recommended that a Committee (including members of the Oceanport Planning Board) should be established to review the Zoning Regulations (including Amendment #20) in greater detail. However, the overall consensus of the Board was positive and optimistic with this future development project in partnership with the developer, FMERA and host communities.

*NOTE: The following is a list of the questions / comments / concerns submitted / reviewed / referenced / discussed at the November 28, 2023 meeting of the Oceanport Planning Board. All questions / comments / concerns / statements herein were not necessarily endorsed by all members of the Planning Board. Rather, as indicated, the within represents an extensive list of all questions / comments / concerns / endorsements / objections as noted by individual members of the Planning Board.

Affordable Housing

- There was a concern that the development site appropriately address the existing Borough of Oceanport Affordable Housing obligations as they pertain to the Fort Monmouth properties. The Board recognizes that Plan Amendment #20 addresses affordable housing developments planned for Development Zones 11 and 12.

Animal Boarding

- The document seemed to suggest that animal boarding would be permitted on the mega-parcel. There was a question as to the specific details associated with the same – including types of animals permitted, types of facilities, noise prevention measures, preservation of quality of life issues, disposition of animal waste, etc.

Arts and Entertainment

- There was recognition that the proposed development will appropriately support / encourage the art and entertainment community.

Architectural Details

- There was a concern that the architectural style for the proposed development should be consistent with the surrounding community and use architectural details that compliment

the Seashore and historic Fort Monmouth styles, consistent with other structures in the Borough of Oceanport.

- There was a concern regarding the overall aesthetic appeal associated with any proposed buildings and it is recommended that language be added to address the development as a whole with continuity.

Buffering

- It was strongly recommended that the development site in the 400 area should provide the same type of buffering and mature landscaping as well as height restrictions along Hazen Avenue similar to that which buffers the railroad.

Bulk Regulations

- There was a concern that the details envisioned in Plan Amendment #20 have been designed to maximize any potential development at the site.

Construction Impact

- A circulation plan should be developed that guides the impacts / closure of any streets in the area (during what is envisioned to be a long construction process) and coordination with local traffic authorities.
- There was a concern regarding the nature / extent of construction vehicles, and where the same will be located / placed / stored, etc.
- There was a concern that efforts be taken to ensure that the construction does, in fact, bring and generate good quality jobs for local residents.

Developer's Agreement

- There was significant discussion related to the overall construction impact associated with the development envisioned in Plan Amendment #20. It is strongly recommended that the Borough pursue a Developers Agreement that addresses project phasing, construction hours, construction timeframe for project phases, attempts to minimize impacts to the surrounding neighborhoods by restricting truck and equipment traffic to certain roadways.

Destination Point

- There was recognition that the development of the mega-parcel (as envisioned in Amendment #20) would render the area as a well-known destination point.

Excitement

- There was recognition of the excitement that a Netflix-inspired development could generate within the Borough of Oceanport and surrounding communities.

- There was recognition as to the benefits associated with an influx of individuals who would visit the Borough of Oceanport, patronize area restaurants, patronize area establishments, and the like.
- There was recognition of the beneficial impact development of the site will have on area businesses.

Height

Amendment #20 envisions building heights upwards of 90' tall. The proposed height requirement zones provide for setbacks based on heights of 50', 80' and 90' heights. Most developments in the Borough only provide for a 35' height limitation and concern was expressed that there has been no formal analysis (for comparison purposes) of the heights of other buildings.

- The Borough of Oceanport measures height from the crown of the primary road – whereas Amendment #20 appears to envision measuring building heights from the natural grade. It is recommended that FMERA considers revising the measurement of height calculated to be consistent with the Borough's code. This will potentially eliminate enforcement issues. It is also recommended that consideration be given to establishing the primary road for all sites utilizing Route 537/ Avenue of Memories as the primary.
- Consideration should be given for specific sites that will seek grade changes greater than 3 feet.
- Plan Amendment #20 indicates that there will be roof-top towers, dishes, digital equipment, utilities. It is recommended that maximum height for the zone be inclusive of all rooftop structures/accessories and take consideration to limit illumination features associated with the proposed roof-top amenities and maintain appropriate shielding.

Heliport / Helipad

- It is recommended that this facility follow current guidelines and practices in the host communities with consideration given to the prohibit/limit any flying over residential areas.

Job Generation / Economic Development

- There was recognition of the job generation / economic development associated with development of the mega-parcel, in accordance with Amendment #20.
- There was recognition that the proposed development (as envisioned in Amendment #20) will position the former Ft. Monmouth site as a regional hub for a dynamic industry, which will attract and maintain other businesses / uses.
- There was recognition that the proposed development can bolster the economy and create more and better jobs for local / area residents.

- There was recognition that the development as envisioned in Amendment #20 will promote a stronger and fairer economy for the Borough of Oceanport and the surrounding communities.
- There was also a concern that for a variety of reasons (including Developer in-house regulations and employment arrangements), the development might not necessarily generate the lasting jobs which are otherwise suggested.

Landscaping

- There was a concern that more specific landscaping details be presented / identified in the proposed Plan Amendment.
- There was a concern that there should be more landscaping and more buffering proposed (than not referenced in Amendment #20).
- There was a concern that the Plan Amendment language be modified and clarified to require any Developer to plant mature landscaping at the site.

Lighting

- There was a concern regarding illumination levels.
- There was a concern about apparent lack of light poles associated with the mega parcel.
- There was a concern that lighting levels should be reduced, to 50% levels at night time.

Lot Coverage

- There was a concern that in some areas, the allowable Lot Coverage approaches 85%. As Oceanport and the Fort Monmouth properties are river communities it is strongly recommended that lot coverage of 85% be limited so as not to adversely impact / implicate stormwater management runoff issues. It is also recommended that Lot Coverage overall for the mega parcel should not exceed 70%.

Mobile Facilities / Trailers

- There was a concern for more specific details pertaining to mobile facilities and trailers which may be located on the development site.

Municipal Services

- There was a concern that there has been no official or unofficial study / analysis as to how the proposed development would impact, or otherwise affect the Borough's Police Department, Fire Department, Public Safety Offices, as well as other First Responders. It is recommended that the proposed regulations be more formally reviewed and vetted with the Oceanport Emergency and First Responders.

Noise

- It is recommended that any noise to be generated from the Ft. Monmouth site should comply with the Borough's Prevailing Noise Regulations.

Parade Grounds

- It is recommended that language be expanded to provide clarity on the restrictions of the parade grounds and any limits for hosting special events.

Parking

- There was a concern that some of the parking ratios utilized do not appropriately count employees, etc., that proposed parking ratios mirror that of the host municipality and the need for thorough and complete parking analysis reports for the site plan phase.

Production Vehicles

- It is recommended that the regulations identify the need for specific information relative to the type of production vehicles which may be on site during the site plan phase – including the location of the same, where the same will be stored, how the same will be shielded / landscaped, etc. There was also a request for confirmation that no vehicular body work will be performed on site.

Radio Towers / Cell Towers, etc.

- There was a concern that Amendment #20 would allow / permit cell towers, radio towers, satellite dishes, etc. and the impact such cell towers, radio towers, satellite dishes, radio waves, etc. would have, or could have, on the surrounding community.

Residential Borders

- There was a concern about the impact the development can have on the surrounding residential communities (including the 400 District of the former Ft. Monmouth site). It is recommended that consideration be given to impacts on the quality of life for surrounding residents.

Scope of Project

- There was a concern that with such an all extensive development (as envisioned / allowed under Plan Amendment #20), development would essentially result in the creation of a self-sustaining City within the physical / geographical confines of the Borough of Oceanport.

- There was a concern that with all that will be permitted to be developed under Plan Amendment #20 the proposed Netflix-related development could essentially operate totally independent from the rest of the Borough of Oceanport.

Security Wall

- There was a concern regarding the perimeter of the security wall, and details associated therewith and the approximately 25 ft. Setback associated with any proposed security / perimeter wall.
- There was a concern regarding the materials which would be utilized for the security wall – would the same be concrete, pre-cast concrete, etc. There was a concern that the security wall would have a massive / monolithic appearance / façade.
- There was a concern regarding the maintenance of the security wall.
- There was a concern that Plan Amendment #20 should be modified to prevent the installation of any signs on / over the proposed perimeter wall.

Signage

- All sign and banner details should be specifically reviewed / approved by the Zoning Officer and should be consistent with the local host municipality's ordinances.

Sound Stages

- There was a concern that any sound stage operate in accordance with the Borough's Prevailing Municipal Regulations (which allow sound to be generated between 10:00 a.m. and 8:00 p.m. on weekdays and between 9:00 a.m. and 6:00 p.m. on weekends).

Special Events

- It is recommended that all special events will need to comply with Prevailing Borough of Oceanport Regulations.

Stormwater Management Regulations

- It is recommended that language include guidance that the developer shall comply with all stormwater management regulations.

Train Station

- There was a concern for more details pertaining to potential train station relocation / improvements. There was a question as to whether there was going to be any rail improvements associated with the proposed development.

Traffic

- It is recommended that sound planning requires the review and approval of a comprehensive Traffic Impact Report. There is concern that the Development envisioned in Plan Amendment #20 would create / place heavy traffic demands both on the former Ft. Monmouth site and the area surrounding the former Ft. Monmouth site.
- There was a concern that the existing infrastructure limitations may impact the ability of the site to comfortably / safely accommodate various traffic / vehicular / pedestrian / public safety concerns, thereby further underscoring the need to successfully review / approve a professional and comprehensive Traffic Report.
- It is recommended that individual Traffic Circulation Plans should be submitted, reviewed, and approved for any individual development within the subject parcel.

Trails

- It is suggested that the Ft. Monmouth Redevelopment Plan specifically identifies the importance of the Complex having a Complex-wide natural trail throughout the site at the expense of the developer and ensure that the natural trail is appropriately installed / maintained.
- Maintain walkability and bicycling in the community.

Vision

- There was recognition that development of the mega-parcel (as envisioned in Amendment #20) could fulfill the redevelopment vision of the former Ft. Monmouth site.



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3068)

11.2

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3068

Manvan LLC

Block 65, Lots 40 & 41
190-192 Monmouth Blvd.
Request for Extension of Approval

COMMENTS - Current Meeting:

190-192 Monmouth Blvd
Block 65, Lots 40 & 41
Minor Subdivision with Variances

APPLICATION ADDENDUM

MANVAN LLC
190-192 MONMOUTH BOULEVARD
BLOCK 65, LOTS 40 & 41
REQUEST FOR EXTENSION OF APPROVAL

The Applicant, Manvan LLC, obtained Minor Subdivision Approval with related variances in relation to the above property on October 11, 2022 with a resolution adopted on October 25, 2022. A copy of the Resolution of Approval is attached hereto as Exhibit A. The Applicant has been diligently pursuing all other agency approvals and encountered unforeseen difficulties and delays from the existing tenants in the property that caused unnecessary delays. The Applicant, on November 16, 2023 finally obtained the Conditional Final Approval from the Monmouth County Planning Board. Attached is a copy of the Approval Letter and Bond Estimate from the Monmouth County Planning Board.

Pursuant to N.J.S.A. 40A:55D-47(f), the Applicant respectfully requests that the Oceanport Planning Board grant a one (1) year extension to the Applicant to finalize the approval and record a Subdivision Deed. We do not expect to take that long but simply want to ensure no further extension is necessary in the future. The Applicant is prepared to proceed immediately to secure all final approvals.

Applicant respectfully requests that the Planning Board grant the requested extension of the approval it granted.

RESOLUTION

**BOROUGH OF OCEANPORT PLANNING BOARD
APPROVAL OF THE APPLICATION OF MANVAN, LLC
190-192 MONMOUTH BOULEVARD, BLOCK 65, LOTS 40 AND 41
APPROVED OCTOBER 11, 2022
MEMORIALIZED OCTOBER 25, 2022**

INTRODUCTION

WHEREAS, Agents of Manvan, LLC have made Application to the Oceanport Planning Board for the property designated as Block 65, Lots 40 and 41, commonly known as 190-192 Monmouth Boulevard, Oceanport, New Jersey, within the Borough's R-3 Zone, for the following: Minor Subdivision approval (lot line adjustment) and Bulk Variance approval; and

PUBLIC HEARING

WHEREAS, the Board held a Public Hearing on October 11, 2022, Applicant's representatives having filed proper Proof of Service and Publication in accordance with Statutory and Ordinance Requirements; and

EVIDENCE / EXHIBITS

WHEREAS, at the said Hearing, the Board reviewed, considered, and analyzed the following:

- *Development Application, introduced into Evidence as A-1;*
- *Minor Subdivision Plan, prepared by Shore Point Engineering, dated June 4, 2022, consisting of 1 sheet, introduced into Evidence as A-2;*
- *Boundary and Topographic Survey, prepared by DPK Consulting, LLC, dated April 5, 2022, consisting of 1 sheet, introduced into Evidence as A-3;*
- *Review Memorandum from Colliers Engineering & Design, dated September 7, 2022, introduced into Evidence as A-4;*
- *Affidavit of Service; and*
- *Affidavit of Publication.*

WITNESSES

WHEREAS, sworn testimony in support of the Application was presented by the following:

- Paul Van Dyke, Member of Manvan, LLC;
- Kevin Shelby, Engineer;
- Nicholas Grabiano, Professional Planner;
- Mark R. Aikins, Esq. appearing

WHEREAS, William H.R. White, III, P.E., P.P., CME, the Board Engineer, was also sworn with regard to any testimony and information he would provide in connection with the subject Application; and

**TESTIMONY AND OTHER EVIDENCE PRESENTED ON BEHALF OF THE APPLICANT'S
REPRESENTATIVES**

WHEREAS, testimony and other evidence presented by the Applicant's representatives revealed the following:

- The Applicant is the Owner of the subject property.
- The subject involves two separate/adjacent lots.
- As indicated, the subject Application involves 2 Lots; namely, Block 65 existing Lot 40 and existing Lot 41. (Per the testimony presented, the two existing lots have not merged.)
- Details pertaining to the 2 existing Lots include the following:

	Existing Lot 40	Existing Lot 41
Size of Lot:	15,568 SF	7,775 SF
Lot features:	Corner Lot	Interior Lot
Existing structures:	Single-family home, detached garage, and sunroom.	Single-family home, and pool house.
Pool details:	There is an existing pool at the site, which straddles the boundary line of Lot 40 and Lot 41.	There is an existing pool at the site, which straddles the boundary line of Lot 40 and Lot 41.

- The Applicant's representatives propose to effectuate the following:
 - Demolition of the existing structures on the 2 sites;
 - Lot Line Adjustment between the 2 existing lots; and

- Construction of a single family home on each newly configured lot.
- Single-family use is a permitted use in the subject Zone.
- As indicated, the Applicant's representatives are proposing to reconfigure the existing lots through a minor subdivision. With the proposed reconfiguration there will be two new lots; namely, proposed Lot 40.01 and proposed Lot 40.02.
- Details pertaining to the proposed newly configured Lots include the following:

PROPOSED LOT 40.01

Minimum required Lot Area: 12,000 SF
Proposed Lot Area: 11,422 SF

PROPOSED LOT 40.02

Minimum required Lot Area: 12,000 SF
Proposed Lot Area: 11,318 SF

- The Applicant's representatives anticipate perfecting the Subdivision via plat filing.
- The Subdivision will be perfected in accordance with New Jersey Law.

VARIANCES

WHEREAS, the Application as presented requires approval for the following Variances;

and

LOT AREA: 12,000 SF required; whereas 11,422 SF proposed for Lot 40.01 and 11,318 SF proposed for Lot 40.02;

LOT WIDTH: Minimum 120 Ft required; whereas 75.8 ft proposed for proposed lot 40.01 and 75 ft proposed for proposed lot 40.02.

PUBLIC COMMENTS

WHEREAS, the public comments, questions, statements or objections associated with the subject Application were presented by the following:

- Michael MacStudy

FINDINGS OF FACT

NOW, THEREFORE, BE IT RESOLVED, by the members of the Oceanport Planning Board, after having considered the aforementioned Application, plans, evidence, and testimony, that the Application is hereby **granted / approved with conditions**.

In support of its decision, the Oceanport Planning Board makes the following Findings of Fact and Conclusions of Law:

1. The Oceanport Planning Board has proper jurisdiction to hear the within matter.
2. The subject property is located at 190-192 Monmouth Boulevard, Oceanport, New Jersey, within the Borough's R-3 Zone.
3. The two subject properties contain 15,568 SF and 7,775 SF respectively.
4. Existing Lot 40 is a corner lot located at the southeast corner of Foggia Way and Monmouth Boulevard. Existing Lot 41 is immediately adjacent to Lot 40 (to the east).
5. As indicated, the subject site (i.e. both existing lots combined) currently contains 23,343 SF.
6. The Applicant's representatives propose to demolish the existing structures and to subdivide the property (i.e. a Lot Line Adjustment) into 2 newly configured Lots; namely, proposed Lot 40.01 and proposed Lot 40.02. (It is anticipated that a new single family home will be constructed on each lot.)
7. Such a proposal requires Minor Subdivision Approval and bulk Variance Approval.
8. The Oceanport Planning Board has the lawful authority and jurisdiction to grant the requested relief.
9. With regard to the application and the requested relief, the Board notes and finds the following:
 - Currently, one lot measures 15,568 SF and the other lot measures 7,775 SF (whereas 12,000 SF is otherwise required in the zone).

- In conjunction with the above point, one lot exceeds the 12,000 SF minimum, while the other lot is significantly undersized.
- As a result of the within approval, one lot will measure 11,422 SF and the other lot will measure 11,318 SF.
- As referenced, one of the existing lots is quite substandard, from a lot area standpoint.
- As a result of the within approval, the very undersized lot will become significantly more conforming.
- Though the Board would prefer to have two lots which both satisfy the prevailing lot area requirements, the Board recognizes that the said two lots already exist and are allowed to continue to exist.
- Currently, there are two existing lots, and with the within approval, there will continue to be two lots (although the lots will be more appropriately balanced).
- The lot line adjustment approved herein (with the new lot areas as referenced above) constitutes a better overall design layout/alternative than that which currently exists.
- The reconfigured lot sizes approved herein will allow each new single family home to have an appropriate amount of adequate light, air, and open space.
- In 2022, modern design principles recognize the value of having new homes which have a sufficient amount of air, space, and light.
- Under the circumstances, the newly configured lot arrangement approved herein (with a new single family home to be constructed on each lot) will result in a more aesthetically pleasing appearance.

- The improved aesthetics associated with the within approval will be beneficial for the site, the neighborhood, and the Borough as a whole.
- Under the circumstances, the newly configured lot arrangement approved herein is better than that which currently exists.
- Under the circumstances, the newly configured lot arrangement approved herein is more appropriate than that which currently exists
- Under the circumstances, the newly configured lot arrangement approved herein is more practical and functional than that which currently exists
- There are a number of existing non-conformities which exist; and approval will eliminate many of the same.
- Approval of the within application will result in the currently encroaching green house (on/over the boundary line with existing lot 38) to be removed/eliminated.
- Currently, there is an existing pool which straddles the boundary line of the two lots. Approval of the within application will result in the removal of the said pool, and thereby the elimination of the existing pool encroachment.
- There is significant municipal benefits associated with the elimination of existing boundary encroachments.
- The homes to be constructed in accordance with the within approval will meet all prevailing building setback requirements.
- As a condition of the within approval, sidewalks and curbs will be installed, and such installation shall promote the interests of the neighborhood and the entire municipality.
- The new curbing and sidewalks required hereunder will improve the overall safety at and around the site.

- The lot widths, though non-conforming, are directly related to the size of the existing lots.
- There does not appear to be any immediate available/adjacent land which would allow the proposed lot widths to be increased.
- Though non-conforming, the lot widths approved herein are more appropriate than that which currently exists.
- There was, essentially, no known public opposition associated with the within approval.
- Subject to the conditions contained herein, and subject to any necessary submission waivers, the Application as presented and modified satisfies the minor subdivision requirements of the Borough of Oceanport.
- The requested variance relief can be granted without causing substantial detriment to the public good.

10. Based upon the above, and subject to the conditions contained herein, the Board is of the unanimous opinion that the Application can be granted without causing substantial detriment to the public good.

CONDITIONS

During the course of the Hearing, the Board has requested, and the Applicant has agreed, to comply with the following conditions:

- a. The Applicant shall comply with all promises, commitments, and representations made at or during the Public Hearing process.
- b. The Applicant's representatives shall comply with the terms and conditions of the Colliers Engineering & Design Review Memorandum, dated September 7, 2022 (A-4).
- c. The Applicant's representatives shall obtain any necessary Demolition Permits as the Borough of Oceanport may require.
- d. The Subdivision shall not be perfected until such time as the existing structures on the site have been demolished / removed (including the existing greenhouse which encroaches on adjacent Lot 38).

- e. In the event the Subdivision is to be perfected via Deed, the Subdivision Deed (including the Legal Descriptions) shall be reviewed and approved by the Board Attorney and Board Engineer.
- f. The Applicant shall attempt, in good faith to negotiate and record a temporary construction/access easement with the owner of adjacent lot 42 (so that Lot 42 representatives shall have reasonable access to lot 42 for necessary construction/repairs, etc. on Lot 42). The Applicant shall not charge Lot 42 representatives for such an easement. The said easement may also provide that once the existing structure on Lot 42 no longer exists, the said easement may terminate. The Planning Board shall have no involvement in the negotiation of such an easement, or the terms and conditions associated therewith. Moreover, the Applicant and the affected owner are encouraged to have all aspects of the arrangement reviewed and approved by their own legal and engineering representatives. Out of an abundance of caution, the Applicant shall release, defend, indemnify, and hold the Borough of Oceanport, the Oceanport Planning Board, and their respective agents, representatives, employees, and professionals harmless from and against any and all losses/damages/judgements (including reasonable attorney fees) associated with the said easement/arrangement. The within obligation shall be a continuing obligation, but, unless otherwise agreed by the Planning Board, if the Applicant's representatives have demonstrated and documented good faith efforts in the said regard, and the Applicant and neighbor are not able to come to mutually acceptable terms, then, in that event, the failure of the said condition to be satisfied shall not prevent the issuance of zoning, building, or construction permits.
- g. The Foggia Way Right of Way is only 43 ft wide. Per the discussion at the Public Hearing, the Plans shall be revised so as to portray and confirm a 4 ft. right-of-way dedication to the Borough of Oceanport, which shall be acceptable to and officially accepted by the Borough of Oceanport.
- h. The Plans shall be revised so as to portray and confirm that there shall be a 50 ft. wide right-of-way for Foggia Way.
- i. The Plans shall be revised so as to portray and confirm that Foggia Way shall be a 24 ft. wide road, with sufficient buffering for plantings (the details of which shall be acceptable to the board engineer.)
- j. The Plans shall be revised so as to portray and confirm that curbing shall be placed along Foggia Way.
- k. The Applicant shall contribute its fair share for necessary utility connections/extensions/improvements.
- l. The Applicant shall obtain any necessary Road Opening Permits.
- m. The Applicant shall comply with the Prevailing Provisions of the Borough's Shade Tree Ordinance along Foggia Way and Monmouth Boulevard.

- n. In light of the property dedication, the Applicant's representatives shall revise the Plans so as to reflect that Lot 40.01 shall have a Lot area of 11,422 SF and Lot 40.02 shall have a Lot area of 11,318 SF.
- o. The Plans shall be revised so as to portray and confirm that the Applicant shall arrange for the sidewalks to be extended along Monmouth Boulevard (in front of proposed Lot 40.01 and proposed Lot 40.02). The said sidewalk can be placed on one side of the street or the other, subject to the ultimate review and approval of the Board Engineer.
- p. The Plans shall be revised so as to portray and confirm that the Applicant shall install black Jerith 54" fencing, which is 50% open (or the equivalent).
- q. The Plans shall be revised so as to portray and confirm the installation of a recharge system (in a manner approved by the Board Engineer).
- r. The Plans shall be revised so as to portray and confirm that there shall be a 2nd frontage/2nd entrance for the house on the corner lot (on Monmouth Boulevard).
- s. The Applicant shall arrange for all plans and maps to be updated so as to portray the correct name of 'Foggia Way" (i.e. Maple Place has been changed to Foggia Way.)
- t. The Plans shall be modified so as to portray that the air conditioner(s) and generator shall be located in a zoning compliant location.
- u. The Plans shall be revised so as to confirm that the subject road shall be wide enough to comfortably and safely accommodate the municipal fire trucks.
- v. The Applicant shall be required to repair the existing roadways, in accordance with the terms and conditions of the board engineer review memorandum (A-4).
- w. The Applicant shall confirm that the linear road openings shall be coordinated, in a manner approved by the board engineer.
- x. The Applicant shall obtain any necessary approval from the County of Monmouth, and any agency thereof.
- y. The Plans shall be revised so as to include the installation of a dry-well system (the details of which shall be reviewed and approved by the board engineer.) Additionally, the to-be installed dry well shall be installed and maintained in accordance with prevailing manufacturing standards, as well as other best practice procedures.
- z. Grading and drainage details shall be reviewed and approved by the board engineer.

- aa. The Applicant shall comply with Prevailing FEMA Regulations.
- bb. The Applicant shall revise the Plans so as to portray and confirm the installation of sidewalks along Monmouth Boulevard.
- cc. The Applicant shall cause the Plans to be revised so as to portray and confirm that the runoff shall be directed to Monmouth Boulevard and towards Foggia Way (i.e. the Plans shall be revised so as to confirm the absence of any runoff onto the adjacent properties).
- dd. The within approval shall be subject to the review and approval of the Municipal Fire Official.
- ee. Prior to the issuance of any Building / Construction Permits, the Applicant (or successor Applicants / Owners) shall submit grading, drainage, plot, and utility plans (and drainage calculations) to the Board Engineer, for his review and approval.
- ff. The Applicant, or any successor Applicant / Owner, shall comply with all Prevailing Rules, Regulations, Installation and Hook-Up Requirements of the Municipal Utility Authorities.
- gg. Prior to the issuance of any Building Permit, the Applicant, or any successor Applicant / Owner, shall submit detailed Plans / Elevations / Grading & Drainage Details – and the said documents shall be reviewed / approved by the Board Engineer / Zoning Officer (as well as any other applicable municipal officials).
- hh. The subdivision shall be perfected in accordance with Requirements of New Jersey Law (and within the timeframe set forth in New Jersey Law.)
- ii. The Applicant shall review the proposed Block / Lot designations with the Municipal Tax Assessor so as to confirm the acceptability of the same.
- jj. The Applicant (or any successor Applicants) shall comply with all applicable Affordable Housing Rules / Regulations / Ordinances / Contributions / Directives as may be required by the Borough of Oceanport, the State of New Jersey, C.O.A.H., the Court System, or any other Agency having jurisdiction over the matter.
- kk. The Applicant shall comply with all terms and conditions of the Review Memoranda, if any, issued by the Board Engineer, Borough Engineer, Construction Office, the Municipal Project Assistant, the Department of Public Works, the Bureau of Fire Prevention and Investigation, and / or other agents of the Borough.
- ll. The Applicant shall obtain any and all approvals (or Letters of No Interest) from applicable outside agencies - including, but not limited to, the Department of Environmental Protection, the Monmouth County Planning Board, and the Freehold Soil Conservation District.

mm. The Applicant shall, in conjunction with appropriate Borough Ordinances, pay all appropriate / required fees and taxes.

BE IT FURTHER RESOLVED, that all representations made under oath by the Applicant's representatives and / or agents thereof, shall be deemed conditions of the approval granted herein, and any mis-representations or actions by the Applicant's representatives contrary to the representations made before the Board shall be deemed a violation of the within approval.

BE IT FURTHER RESOLVED, that the Application is granted only in conjunction with the conditions noted above - and but for the existence of the same, the within Application would not be approved.

BE IT FURTHER RESOLVED, that the granting of the within Application is expressly made subject to and dependent upon the Applicant's compliance with all other appropriate Rules, Regulations, and/or Ordinances of the Borough of Oceanport, County of Monmouth, and State of New Jersey.

BE IT FURTHER RESOLVED, that the action of the Board in approving the within Application shall not relieve the Applicant of responsibility for any damage caused by the subject project, nor does the Planning Board of the Borough of Oceanport, the Borough of Oceanport, or its agents / representatives accept any responsibility for the perfection of the Minor Subdivision Approval.

SUMMARY OF VARIANCES GRANTED

LOT AREA: 12,000 SF required; whereas 11,422 SF approved for Lot 40.01 and 11,318 SF approved for Lot 40.02;

LOT WIDTH: 120 ft required; whereas 75.8 ft approved for Proposed Lot 40.01 and 75 ft approved for Proposed Lot 40.02

PR-22-32
10-25-22

This resolution memorializes an action taken at the regular meeting of the Oceanport Planning Board held on October 11, 2022 on roll call that evening by the following vote:

Offered by: Ms. Cooper

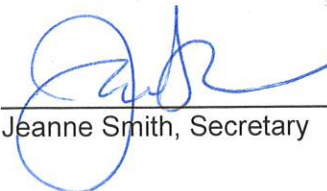
Seconded by: Mr. Tvrdik

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	(☒)	()	()	()	()
Kahle	(☒)	()	()	()	()
Cooper	(☒)	()	()	()	()
Foster	()	()	()	(☒)	()
Tvrdik	(☒)	()	()	()	()
Widdis, C.	(☒)	()	()	()	()
Kleiberg	()	()	()	(☒)	()
Davis	(☒)	()	()	()	()
Dailey	(☒)	()	()	()	()
Widdis, L. (Alt. #1)	(☒)	()	()	()	()
Vacant (Alt. #2)	()	()	()	()	()

This resolution was offered by Mr. Kahle, seconded by Mr. Tvrdik, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Cooper	()	()	()	()	()
Foster	()	()	()	()	()
Tvrdik	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Kleiberg	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Widdis, L. (Alt. #1)	()	()	()	()	()
Vacant (Alt. #2)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of October 25, 2022.


Jeanne Smith, Secretary

KEK/dmp
Z:\KevinKennedyLaw\Municipal\Oceanport Planning Board\Manvan, LLC (minor subdivision - bulk variance)\Resolution.docx



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

RESOLUTION - PB 24-5

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Resolutions
Prepared By: Jeanne Smith
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3083

11.3

Extension of Approval for PR-22-32

PR-24-05

01-09-24

**RESOLUTION EXTENDING APPROVAL PERIOD FOR PR-22-32
OCEANPORT PLANNING BOARD
MONMOUTH COUNTY
MANVAN, LLC
190-192 MONMOUTH BLVD
BLOCK 65, LOTS 40 & 41**

EXTENSION OF RESOLUTION FOR MINOR SUBDIVISION AND BULK VARIANCE

WHEREAS, the applicant, ManVan, LLC had received Minor Subdivision – Lot Line Adjustment with Bulk Variance Relief for Lot Area and Lot Width by the Planning Board of the Borough of Oceanport for the property set forth above; and,

WHEREAS, the Board adopted a Resolution of Approval on October 25, 2022; and,

WHEREAS, pursuant to N.J.S.A. 40A:55-D-47(f), said approval expired on May 3, 2023; and

WHEREAS, the applicant, through no lack of diligence on its part, has not been able to complete the conditions of the approval, more specifically as indicated by written letter of the Applicant's representative dated December 5, 2023, and has not been able to commence the implementation of the approvals; and,

WHEREAS, the zoning requirements in the area which is the subject of the approvals have not been altered or changed and the Master Plan of the Borough has not changed since the grant of the approvals herein;

NOW, THEREFORE, BE IT RESOLVED by the PLANNING BOARD of the BOROUGH OF OCEANPORT that the applicant's request for an extension of the Resolution to enable the applicant to complete the conditions of the approval, perfect the subdivision by deed and commence construction is extended for a period of one year from the original expiration date through to May 3, 2024.

This resolution was offered by _____, seconded by _____, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson	()	()	()	()	()
Kahle	()	()	()	()	()
Cooper	()	()	()	()	()
Foster	()	()	()	()	()
Tvrdik	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Widdis, L	()	()	()	()	()
Davis	()	()	()	()	()
Dailey	()	()	()	()	()
Calver (Alt. #1)	()	()	()	()	()
Kleiberg (Alt. #2)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of January 9, 2024.

Jeanne Smith, Secretary



Planning/Zoning Combined Board

PO Box 370
Oceanport, NJ 07757

SCHEDULED

PLANNING BOARD APPLICATION (ID # 3079)

11.4

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3079

PB2020-21.1 Somerst/Parkers Creek

Block 110.15, Lot 1

Proposed changes to approved roof-top terrace floor plan on the 22 town homes.

General Notes

- BOUNDARY LINES ARE SHOWN PER MAP ENTITLED "BOUNDARY SURVEY, BLOCK 110, LOT 4, FORMERLY BLOCK 110 PART OF LOT 1, FORT MONMOUTH MAIN POST LODGING AREA PARCEL, BOROUGH OF EATONVILLE, MONMOUTH COUNTY, NEW JERSEY," PREPARED BY LANGAN, DATED MAY 15, 2018 AND LAST REVISED 1/03/19. DEWBERRY ENGINEERS HAS NOT VERIFIED THE INFORMATION AND DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY EXIST.
- EXISTING SITE FEATURES AND TOPOGRAPHY ARE SHOWN PER A MAP ENTITLED "PARTIAL TOPOGRAPHIC & UTILITY SURVEY, FORT MONMOUTH, ALLEN AVENUE, PORTION OF LOT 1, BLOCK 110, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, STATE OF NEW JERSEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 10-29-2019 AND LAST REVISED 10-30-2018.
- HORIZONTAL DATUM: NAD83. VERTICAL DATUM IS IN FEET: NAVD88.
- A PORTION OF THIS SITE LIES WITHIN A FLOOD HAZARD AREA. CERTAIN AREAS IN FLOOD HAZARD AREAS ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-3606 FOR MORE INFORMATION PRIOR TO CONSTRUCTION ON-SITE. BASED ON THE PRELIMINARY FEMA FIRM PANEL 34025 C0183 H, MAP REVISED JUNE 20, 2018. THE FEMA 100 YEAR FLOOD HAZARD ELEVATION IS APPROXIMATELY EL. 8 NAVD88.
- THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) FLOOD HAZARD AREA WAS CALCULATED BASED ON METHOD 2 AS STATED IN NJAC 7:13.3.4(d). BASED ON METHOD 2 AND FEMA FIRM PANEL 34025 C0183 H, THE NJDEP FLOOD HAZARD AREA IS EQUAL TO THE FLOOD HAZARD AREA AS STATED BY FEMA, WHICH IS EL. 8 NAVD88.
- THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS IS APPROXIMATE AND IS BASED ON AVAILABLE DATA. SUBSURFACE CONDITIONS AND LOCATIONS ARE NOT CERTIFIED. THE CONTRACTOR SHALL ASSESS AVAILABLE DATA AND SHALL INSPECT ALL FIELD CONDITIONS AND COORDINATE WITH ALL UTILITY COMPANIES, FEMRA AND THE OWNER PRIOR TO ANY EXCAVATION. ACTUAL CONFIGURATIONS MUST BE FIELD-VERIFIED VIA UTILITY COMPANY MARK-OUTS AND TEST PITS IF NEEDED. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AND NJ ONE CALL (1-800-272-1000) FOR FIELD MARK-OUTS.
- CONSTRUCTION STANDARDS: ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, FEDERAL, AND MANUFACTURER STANDARDS.
- ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED UNDERGROUND UNLESS OTHERWISE DENOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND SHALL REPAIR OR CAUSE TO BE REPAIRED ANY DAMAGE TO EXISTING UTILITIES AS A RESULT OF HIS ACTIVITY. ALL WORK MUST BE COORDINATED WITH THE UTILITY COMPANIES AS ALL UTILITIES MUST BE MAINTAINED DURING CONSTRUCTION.
- ANY EXISTING ELEMENTS THAT MAY BE DISTURBED DURING CONSTRUCTION (I.E. BENCHES, FLOWER POTS, SHRUBS, FENCES, TRASH RECEPTACLES, ETC.), NOT OTHERWISE COVERED IN THE CONTRACT DOCUMENTS, MUST BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER.
- ALL OPEN EXCAVATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED AT THE END OF EACH WORK DAY. REMOVAL OF ALL FILL MATERIALS SHALL BE DONE IN ACCORDANCE WITH PROCTOR DENSITY (ASTM D-1557). THE SUB-BASE TO BE COMPACTED & PROOF-ROLLED UNDER THE OWNER'S SUPERVISION. EXCAVATION OF ANY UNSUITABLE MATERIALS TO BE AT THE DIRECTION OF THE OWNER'S ON-SITE FIELD ENGINEER OR SUPERVISOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LEGAL DISPOSAL OF ALL EXCESS MATERIALS EXCAVATED (AS UNCLASSIFIED).
- SPECIFICATIONS TO GOVERN THIS CONTRACT AND CONSTRUCTION SHALL BE THE 2007 NDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS SUPPLEMENTS AND ADDED TO HEREIN.
- REMOVED BITUMINOUS AND CONCRETE PAVEMENTS SHALL BE RECYCLED ON SITE BASED ON APPROVAL OF PROJECT ENVIRONMENTAL PROFESSIONAL OR TRANSPORTED TO AN APPROVED RECYCLING CENTER AND THE TONNAGE CERTIFIED TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE WORK AREA IN A CLEAN AND SAFE CONDITION AT ALL TIMES. THE WORK AREAS SHALL BE SWEEP CLEAN AND WATERED DOWN AT THE END OF EACH WORK DAY. DUST SHALL BE SUPPRESSED TO THE SATISFACTION OF THE ENGINEER. CONTRACTOR SHALL MAINTAIN EXISTING SITE DRAINAGE PATTERNS THROUGHOUT THE CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PERIMETER 6 FOOT-HIGH CHAIN LINK CONSTRUCTION FENCING AND ACCESS GATED TO MAINTAIN SITE SECURITY AND LIMIT ACCESS TO AUTHORIZED PERSONNEL.
- THIS SITE IS SUBJECT TO REVIEW AND APPROVAL BY THE FOLLOWING AGENCIES:
 - BOROUGH OF OCEANPORT PLANNING BOARD
 - MONMOUTH COUNTY PLANNING BOARD
 - FREEMAN SOIL CONSERVATION DISTRICT
 - NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION
 - FORT MONMOUTH ECONOMIC REDEVELOPMENT AGENCY
- THESE PLANS HAVE BEEN PREPARED FOR PRELIMINARY AND FINAL SITE PLAN APPROVALS FROM THE BOROUGH. A FUTURE APPLICATION WILL BE MADE TO THE COUNTY PLANNING, COUNTY SOD, NJDEP, AND OTHER APPLICABLE AGENCIES. THE NJDEP, SOD, ETC. SHALL NOT BE CONSIDERED CONSTRUCTION DOCUMENTS WITHOUT THE CONSENT OF THE UNDERGROUND.
- THE PROPOSED WATER SYSTEM IS SUBJECT TO REVIEW BY THE LOCAL AUTHORITY TO CONFIRM POINT OF CONNECTION(S), LOCATION/TYPE OF FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
- PROPOSED BUILDING SERVICES (SIZE & LOCATIONS) TO BE CONFIRMED WITH FINAL BUILDING DESIGN PLANS.
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO NJAC 5:23-2.21(e) OF THE NJ UNIFORM CONSTRUCTION CODE & CFR 1926.32(f) (OSHA COMPETENT PERSON).
- SOLID WASTE AND RECYCLING FOR THE TWO (2) MULTI-FAMILY BUILDINGS WILL BE LOCATED WITHIN THE LOADING DOCK OF EACH INDIVIDUAL BUILDING FOR PICKUP. SOLID WASTE AND RECYCLING FOR THE TOWNHOUSE UNITS WILL BE PROVIDED VIA INDIVIDUAL WASTE AND RECYCLING BINS THAT WILL BE ROLLED OUT TO THE REAR ALLEYS FOR PICKUP.
- TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHOULD BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST FOUR (4) INCHES OF TOPSOIL COVER TO ALL AREAS OF THE SITE. NO TOPSOIL SHOULD BE REMOVED FROM THE SUBJECT PROPERTY OR USED AS SPOIL WITHOUT THE PERMISSION OF THE BOROUGH. ALL IMPORT, EXPORT OR REUSE OF ANY SOIL OR OTHER MATERIAL SUBJECT TO REVIEW AND APPROVAL OF PROJECT ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING STORMWATER FLOWS ENTERING THE PROJECT LIMITS DURING ALL PHASES OF CONSTRUCTION.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- EXISTING UTILITIES AND VARIED PIPING LOCATIONS AND ELEVATIONS SHOWN ON THE DRAWING ARE APPROXIMATE AND ARE INTENDED ONLY TO NOTE EXISTENCE OF SUCH UTILITIES AND PIPING IN THE AREA. PRIOR TO CONSTRUCTION, BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL VERIFY UTILITY, DUCTBANK AND PIPING LOCATIONS AND ELEVATIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- JOBAL COMCAST, NEW JERSEY NATURAL GAS, VERIZON, NEW JERSEY AMERICAN WATER AND TWO RIVERS WATER RECLAMATION AUTHORITY FACILITIES MAY BE LOCATED WITHIN THE PROJECT LIMITS. AS A RESULT OF THIS PROJECT, THESE UTILITIES WILL BE REQUIRED TO BE PROTECTED, REMOVED, REPLACED OR RELOCATED. CONTRACTOR IS TO COORDINATE ALL WORK WITH THE APPROPRIATE UTILITY COMPANY.
- ALL SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 0.3% UNLESS OTHERWISE NOTED.
- IN ACCORDANCE WITH BOROUGH OF OCEANPORT REQUIREMENTS, THE LOWEST FLOOR OF ANY RESIDENTIAL STRUCTURE, UNLESS USED SOLELY FOR THE PARKING OF VEHICLES, SHALL BE ELEVATED AT OR ABOVE BASE FLOOD ELEVATION PLUS TWO FEET, NAVD ELEVATION 8+2=10.
- WATERTIGHT SANITARY SEWER MANHOLE COVERS SHALL BE PROVIDED FOR ALL LOCATIONS WITH A RIM ELEVATION OF LESS THAN NAVD88 EL. 10.
- EXISTING ROADWAYS SHALL BE MILLED AND OVERLAYED WITH 2" OF ASPHALT, SUBJECT TO VERIFICATION THE PAVEMENT BASE AND SUBBASE MEET OR EXCEED RSIS STANDARDS.
- ON-SITE UTILITIES, EXCEPT AS NOTED ON THE UTILITY PLAN, SHALL BE CUT AND CAPPED AT THE PROJECT LIMITS AND REMOVED WITHIN THE SITE BOUNDARY.
- ALL EXISTING STRUCTURES, EXCEPT AS NOTED, SHALL BE DEMOLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- IN ALL CASES WHERE EXISTING UTILITIES ARE TO BE CONNECTED TO PROPOSED NEW INFRASTRUCTURE, THE EXISTING LOCATION AND ELEVATION SHALL BE FIELD VERIFIED VIA TEST PIT PRIOR TO DESIGN AND FABRICATION OF STRUCTURES (I.E. MANHOLES AND INLETS). ANY DISCREPANCIES BETWEEN ASSUMED DATA ON THE DESIGN PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

FORT MONMOUTH ECONOMIC REDEVELOPMENT AREA (FMERA) ZONE: HORSENECK CENTER

SOMERSET FORT MONMOUTH BLOCK 110 - LOT 1 (PORTION)	REQUIRED	EXISTING	PROPOSED OVERALL TRACT	BLOCK 110.15 LOT 1	BLOCK 110.16 LOT 1	BLOCK 110.19 LOT 1
MIN. LOT SIZE	N/A	669,612 SF 15.37 AC.	669,612 SF 15.37 AC.	565,756 SF 12.99 AC.	49,818 SF 1.14 AC.	54,038 SF 1.24 AC.
MIN. NEW BUILDING SETBACKS						
- FRONT YARD	5'	77.1'	12'	N/A	N/A	N/A
- SIDE YARD	5'	12.7'	44.5'	N/A	N/A	N/A
- REAR YARD (BLDG. TO DRIVE AISLE)	18'	N/A	20'	N/A	N/A	N/A
MAX. TRACT DENSITY	12 UNITS/ACRE	N/A	12 UNITS/ACRE	N/A	N/A	N/A
- MAX. TOTAL UNITS	180	N/A	180	144	20	16
- MAX MARKET RATE UNITS	144	N/A	144	144	0	0
MAX. LOT COVERAGE	75%	52.5%	71.5%	72.0%	81.2%*	57.4%
MAX. BUILDING HEIGHT	4 STORIES	3 STORIES	3 STORIES	3 STORIES	44'	44'

NOTE: BLOCK AND LOT NUMBER WERE PROVIDED BY THE OCEANPORT TAX ASSESSOR

(**) VARIANCE NEEDED
N/C DENOTES NO CHANGE
N/A DENOTES NOT APPLICABLE

PARKING SUMMARY

	REQUIRED	PROPOSED
BLOCK 110.15 LOT 1	144 - 3/4 BEDROOM UNITS - 2.4 SPACES/UNIT = 346	144 UNITS * 3.5 SPACES/UNIT (GARAGE + D/W) = 504 ON-STREET PARKING = 78 OFFSTREET PARKING = 7
TOTAL	346 SPACES	580 SPACES
GUEST	144 * 0.5 SPACES/UNIT = 72	78 SPACES
ADA	8 SPACES	15 SPACES
ADA VAN	1 SPACE PER 6 ADA SPACE = 2 VAN SPACES	2 VAN SPACES
BLOCK 110.16 LOT 1	13 - 2 BEDROOM UNITS - 2.0 SPACES/UNIT = 26 7 - 1 BEDROOM UNITS - 1.8 SPACES/UNIT = 13	OFFSTREET PARKING = 43
TOTAL	39 SPACES	43 SPACES
GUEST	20 * 0.5 SPACES/UNIT = 10	43 SPACES
ADA	2 SPACES	4 SPACES
ADA VAN	1 SPACE PER 6 ADA SPACE = 1 VAN SPACE	2 VAN SPACES
BLOCK 110.19 LOT 1	16 - 1 BEDROOM UNITS - 1.8 SPACES/UNIT = 29	OFFSTREET PARKING = 29
TOTAL	29 SPACES	29 SPACES
GUEST	16 * 0.5 SPACES/UNIT = 8	29 SPACES
ADA	2 SPACES	2 SPACES (INCLUDING 1 VAN SPACE)
ADA VAN	1 SPACE PER 6 ADA SPACE = 1 VAN SPACE	1 VAN SPACE
CARTY AVE.		11 ON-STREET PARKING SPACES

NOTE 1: ADA AND VAN SPACES CALCULATED USING 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
NOTE 2: THE TOTAL PARKING REQUIREMENT INCLUDES PROVISIONS FOR GUEST PARKING

PROPOSED LEGEND

- CURB
- DEPRESSED/FLUSH CURB (AS NOTED)
- EDGE OF PAVEMENT
- STRIPED PEDESTRIAN CROSSWALKS
- SIGN
- PARKING ROW TOTALS
- HANDICAP RAMP
- HANDICAP PARKING STALL
- STORM PIPE
- "B" INLET
- "E" INLET
- STORM MANHOLE OUTLET STRUCTURE
- ADS
- HEADWALL
- SANITARY SEWER
- SANITARY MANHOLE
- WATER LINE
- HYDRANT W/WATER VALVE
- DOOR LOCATION
- DECORATIVE PAVEMENT
- PROPOSED UNIT ADDRESS NUMBER

BLOCK 110.15, LOT 1
AREA = 565,756 S.F./12.99 AC.

ON-SITE RSIS COMPLIANCE (N.J.A.C. §5:21)

STANDARD	ROADWAYS A AND B	SIGNAL AVENUE
STREET TYPE [TABLE 4.2]	RESIDENTIAL NEIGHBORHOOD	RESIDENTIAL NEIGHBORHOOD
TRAVELED WAY WIDTH (MINIMUM) [TABLE 4.3]	16 FEET	16 FEET
PARKING LANE WIDTH [TABLE 4.3] (*)	7 FT/LANE	7 FT/LANE
CENTERLINE RADIUS (MINIMUM) [TABLE 4.6]	100 FEET	40 FEET (DE)
CURB RADIUS (MINIMUM) [TABLE 4.6]	25 FEET	25 FEET
TANGENT LENGTH B/W CURVES [TABLE 4.6]	50 FEET	N/A
PARKING AISLE WIDTH (MINIMUM) [TABLE 4.5]	24 FEET	N/A
DISTANCE BETWEEN ROADWAY INTERSECTION CENTERLINE	150 FEET	N/A

(*) = EXCLUDES ON STREET ADA SPACES WHICH ARE 8' WIDE
(DE) = EXISTING NONCONFORMITY
N/A = DENIMINUS EXCEPTION
N/A = NOT APPLICABLE

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF THE BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY, SHEET #1.
- MAP ENTITLED "LODGING AREA SEWER, BOROUGH OF OCEANPORT, FORT MONMOUTH, MONMOUTH COUNTY, NJ," PREPARED BY FORT MONMOUTH ECONOMIC REVITALIZATION AUTHORITY, DATED 06-05-2018.
- MAP ENTITLED "LODGING AREA WATER, BOROUGH OF OCEANPORT, FORT MONMOUTH, MONMOUTH COUNTY, NJ," PREPARED BY FORT MONMOUTH ECONOMIC REVITALIZATION AUTHORITY, DATED 06-05-2018.
- MAP ENTITLED "DIRECTORATE OF PUBLIC WORKS, FORT MONMOUTH, NEW JERSEY, AN ARMY COMMUNITY OF EXCELLENCE, MAIN FORT SANITARY & STORM, MAP F."

FINAL FOR SEWER DESIGN: 06/04/2021



Dewberry Engineers Inc.
600 PARSIPPANY ROAD
SUITE 301
PARSIPPANY, NJ 07054
973.739.9400 Phone
973.739.9710 Fax
Certificate of Authorization #24CA29047600

PRELIMINARY & FINAL MAJOR SITE PLAN
FOR
PARKERS CREEK
BLOCK 110 PORTION OF LOT 1
BOROUGH OF OCEANPORT
MONMOUTH COUNTY, NEW JERSEY

SEAL

Mario Iannelli, P.E.
New Jersey Professional Engineer License No. GE41749

SCALE: 1" = 40'

GRAPHIC SCALE

NO.	DATE	BY	DESCRIPTION
17	08/25/2022	MJD	PH2 GRADING UPDATES
16	06/30/2022	QFS	REV. PER FIELD CHANGES
15	02/18/2022	QFS	COORDINATION REVISIONS
14	02/04/2022	QFS	ADMIN. REVISIONS
13	11/30/2021	QFS	COORDINATION REVISIONS
12	09/28/2021	QFS	RESOLUTION COMPLIANCE
11	07/23/2021	QFS	RESOLUTION COMPLIANCE
10	06/04/2021	QFS	NJDEP TMA SUBMISSION
9	05/21/2021	QFS	REV. PER NJDEP
8	04/30/2021	QFS	PER RESOLUTION COMPLIANCE
7	04/23/2021	QFS	REV. PER TRMRA COMMENTS
6	04/09/2021	QFS	REV. PER TRMRA COMMENTS
5	04/02/2021	QFS	NJAW SUBMISSION
4	03/30/2021	QFS	TRMRA/SCD REVISION
3	07/09/2020	QFS	SITE PLAN SUBMISSION
2	02/28/2020	QFS	REVISE LAYOUT & SUBDIVISION
1	02/13/2020	QFS	REVISE LAYOUT

REVISIONS

DRAWN BY: CFS/ED/JAZ

APPROVED BY: MI

CHECKED BY: CFS/ATR/MI

DATE: 11/15/2019

TITLE

OVERALL
SITE PLAN

PROJECT NO. 50110642

C-102

SHEET NO.



PREVIOUSLY APPROVED
JAYTON/JETWOOD
FRONT ELEVATIONS



REVISED
JAYTON/JETWOOD
FRONT ELEVATIONS



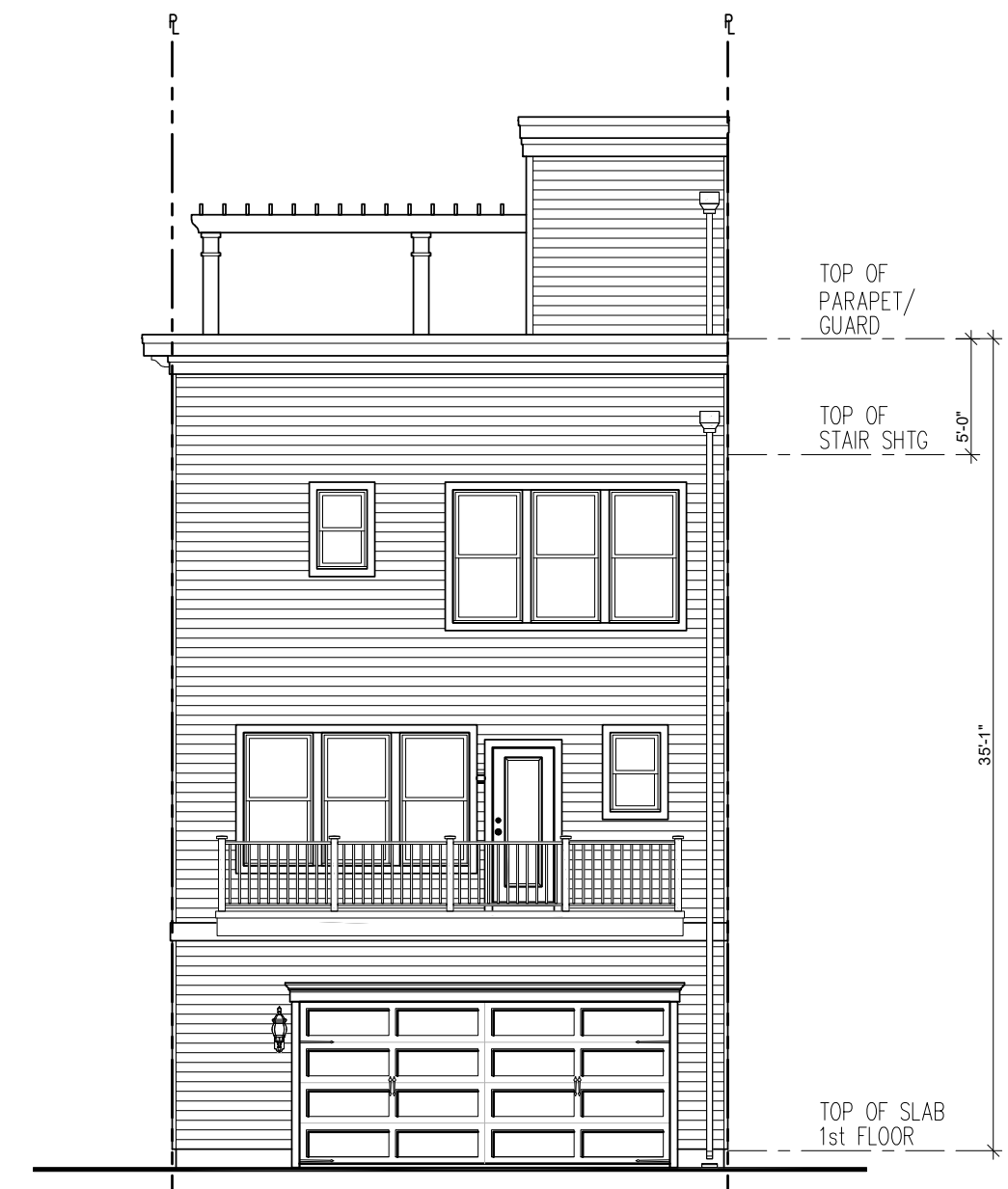
SCALE: 1/8" = 1'-0"
DATE: 3/30/2023



PREVIOUSLY APPROVED
JAYTON/JETWOOD
HIGH VISIBILITY SIDE ELEVATION



PREVIOUSLY APPROVED
JAYTON/JETWOOD
SIDE ELEVATION



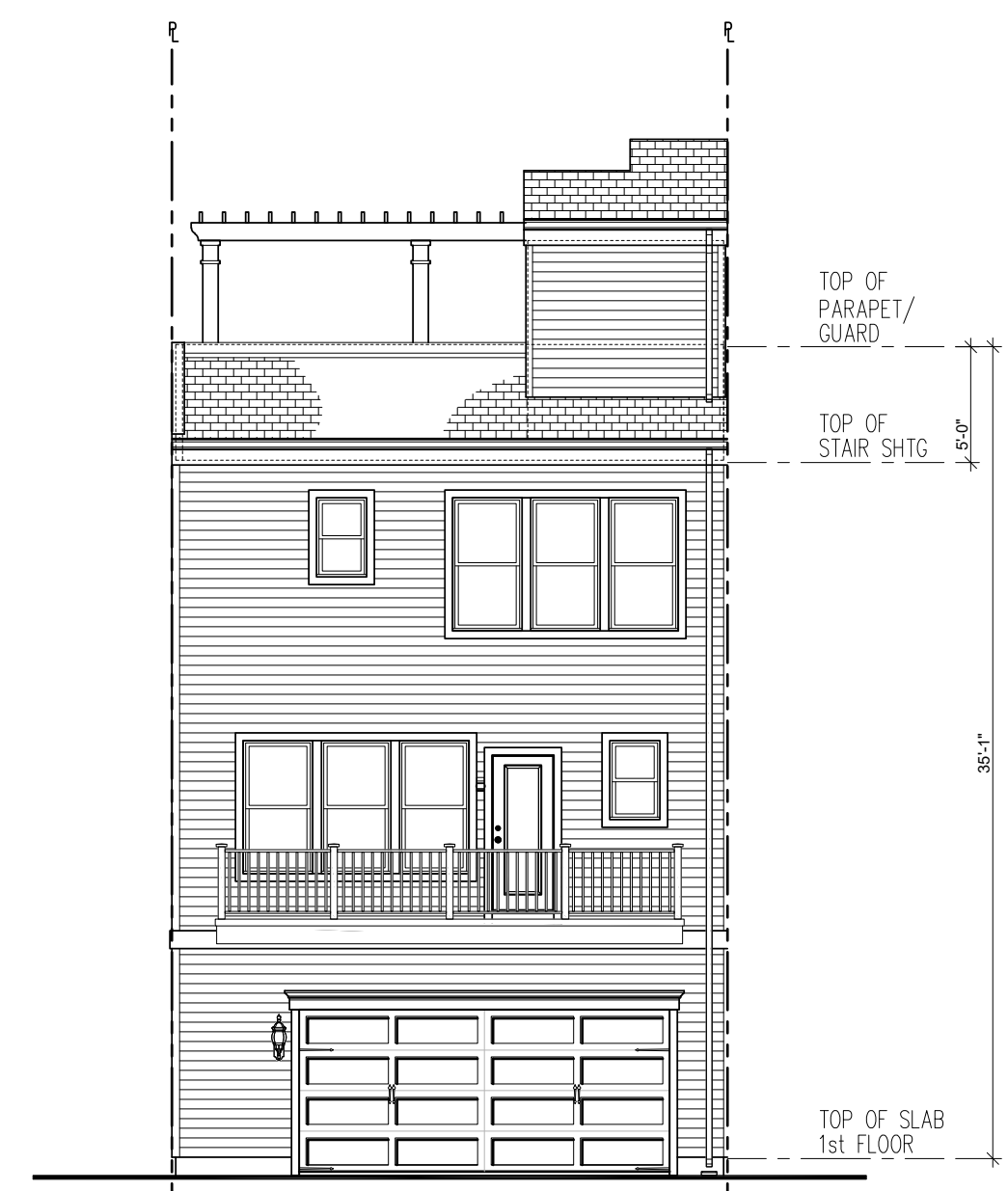
PREVIOUSLY APPROVED
JAYTON/JETWOOD
REAR ELEVATION



REVISED
JAYTON/JETWOOD
HIGH VISIBILITY SIDE ELEVATION



REVISED
JAYTON/JETWOOD
SIDE ELEVATION



REVISED
JAYTON/JETWOOD
REAR ELEVATION

Parkers Creek Proposed Elevations

Somerset Pulte Lodging JV, LLC



For Representative Purposes only

Summary of Architectural Enhancements

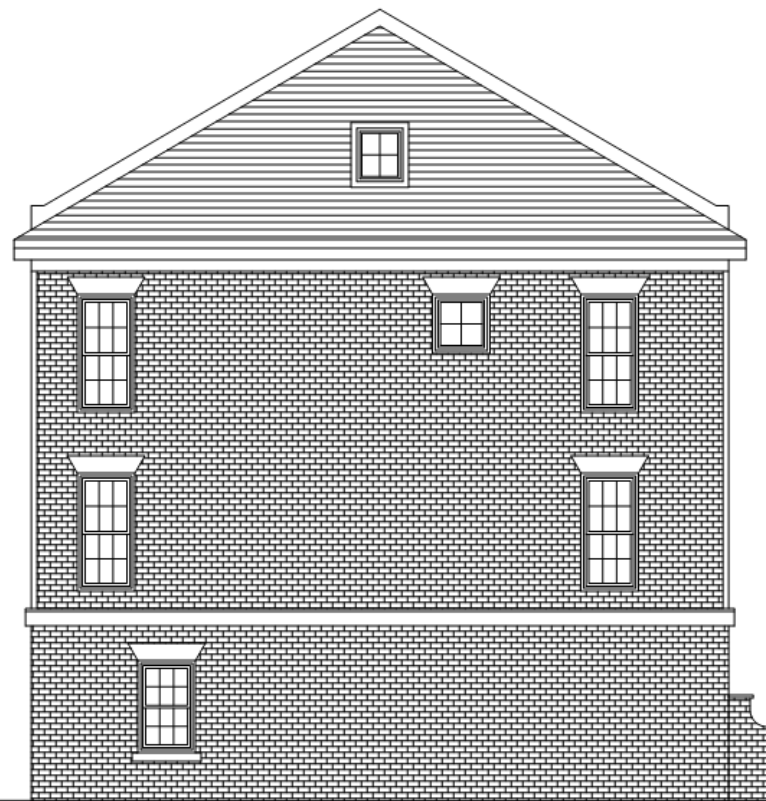
- Added windows on front and rear elevations and relocated to align with floor plan layout
- Added covered entrances
- Added standing seam metal roof accents
- Added trellis/ pergola at roof deck
- Upgraded garage doors
- Added dormers



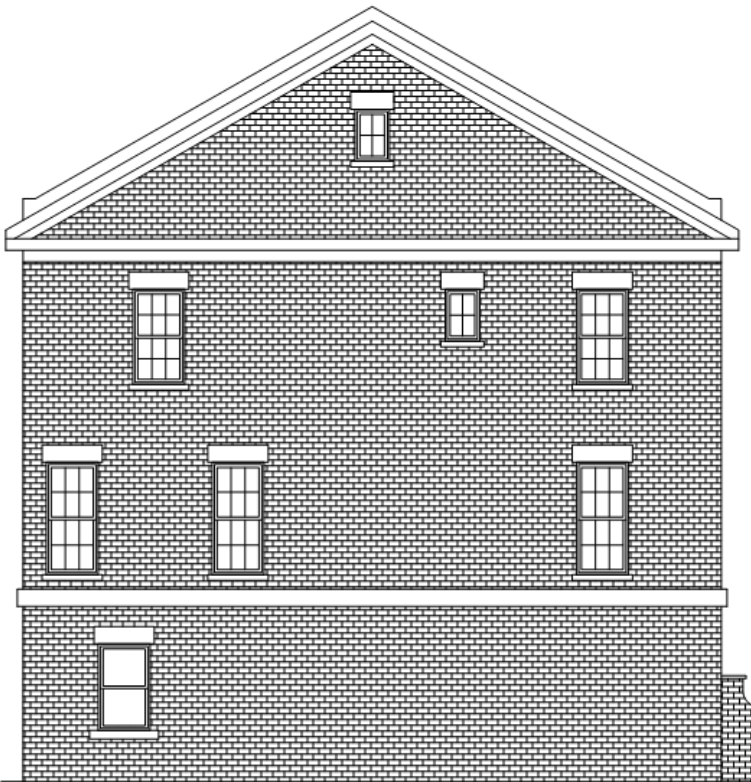
20' Townhomes Front Elevations: Previously Approved

20' Townhomes Front Elevations: Proposed

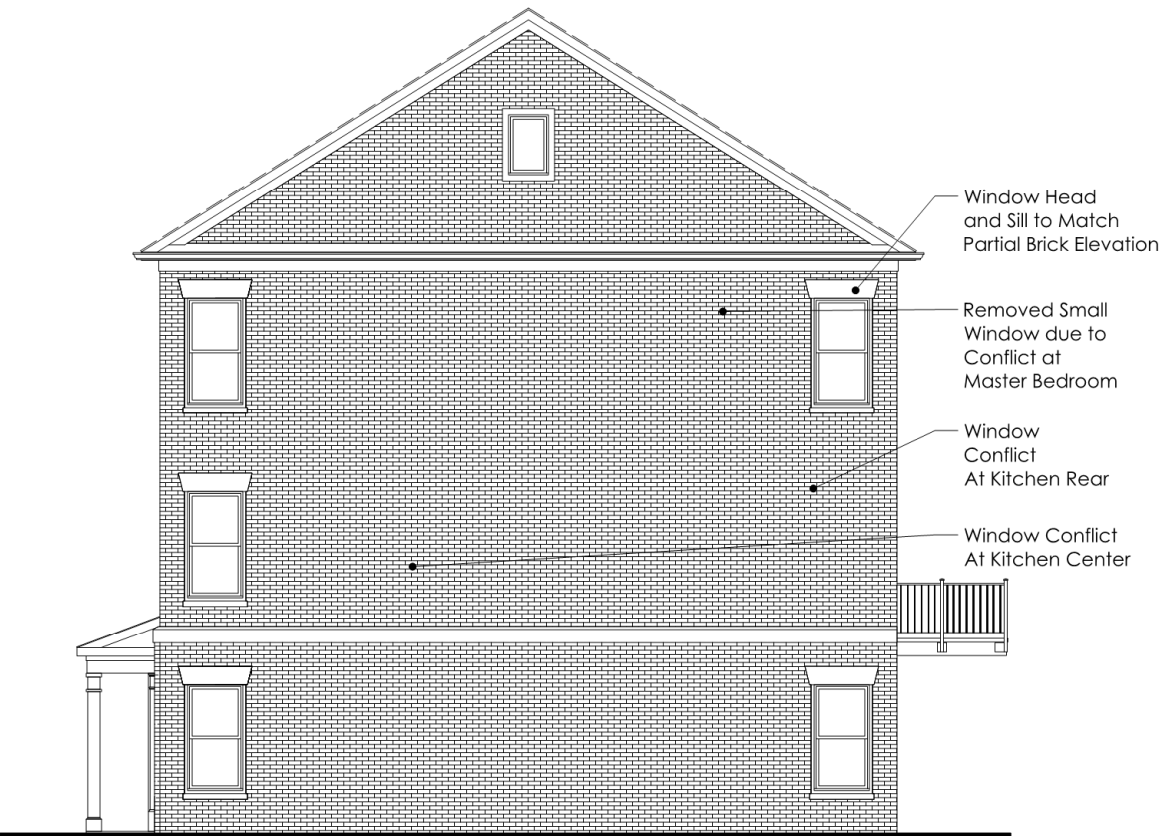
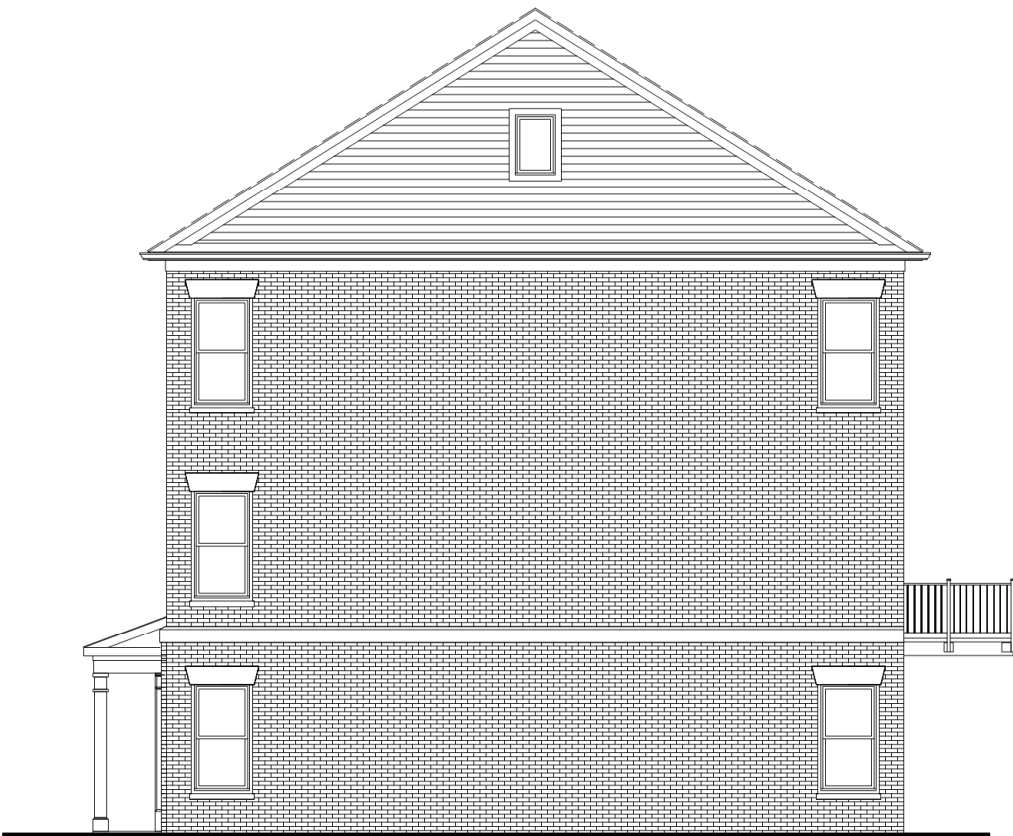




20' Townhomes Side Elevations: Previously Approved



20' Townhomes Side Elevations: Proposed

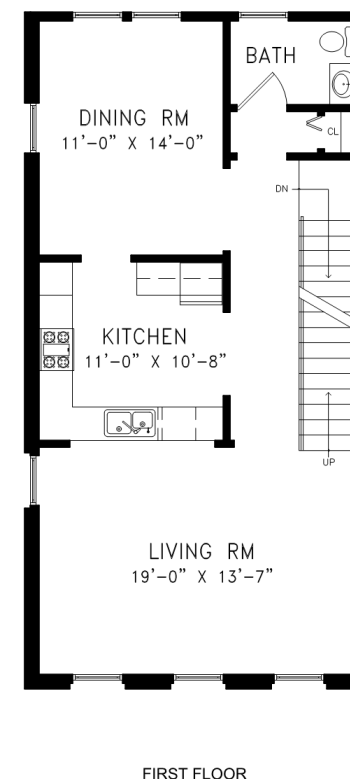
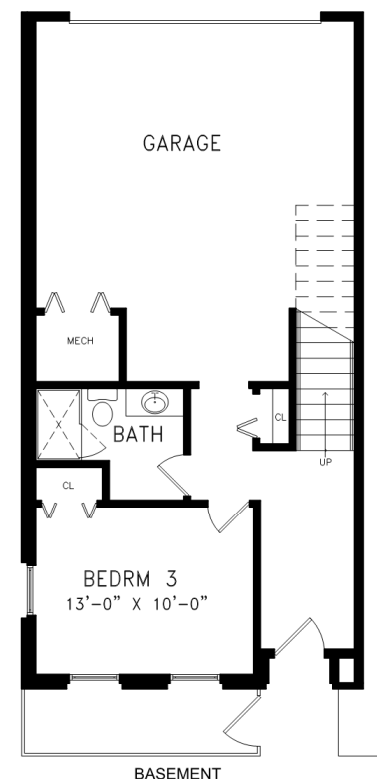




20' Townhomes Rear Elevations: Previously Approved

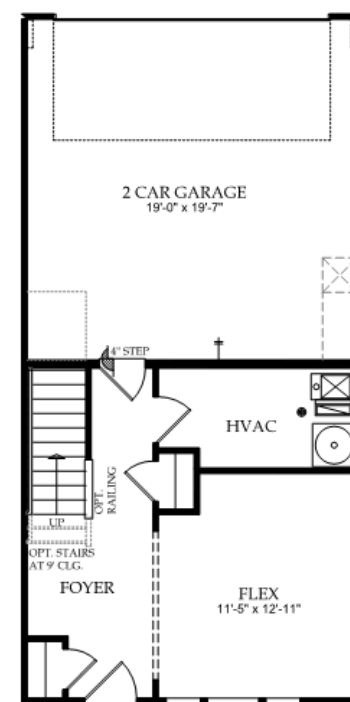
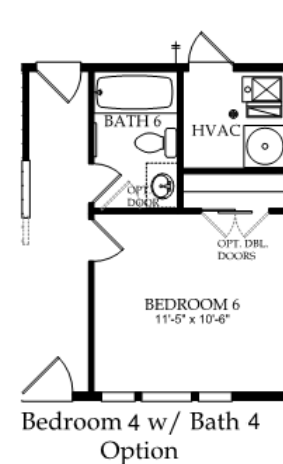
20' Townhomes Rear Elevations: Proposed



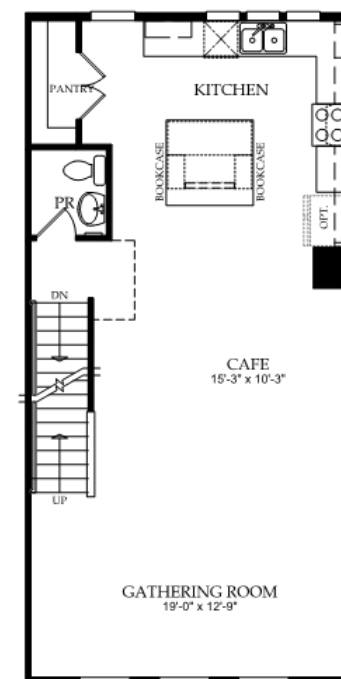


20' Townhomes Floor Plans: Previously Approved

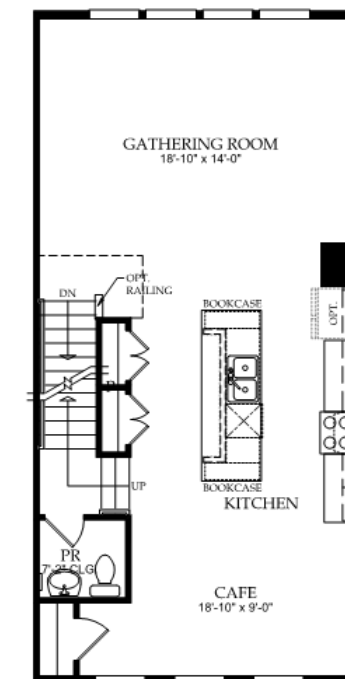
20' Townhomes Floor Plans: Proposed



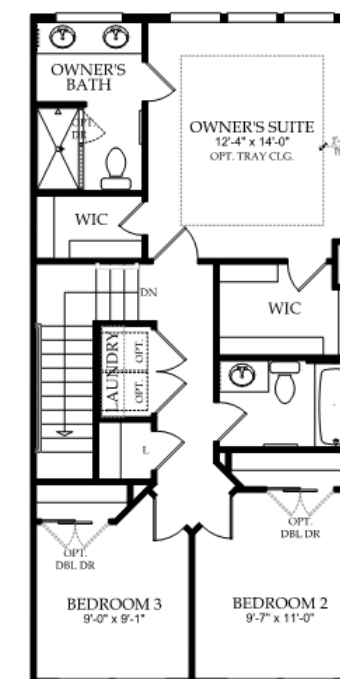
First Floor



Second Floor



Second Floor





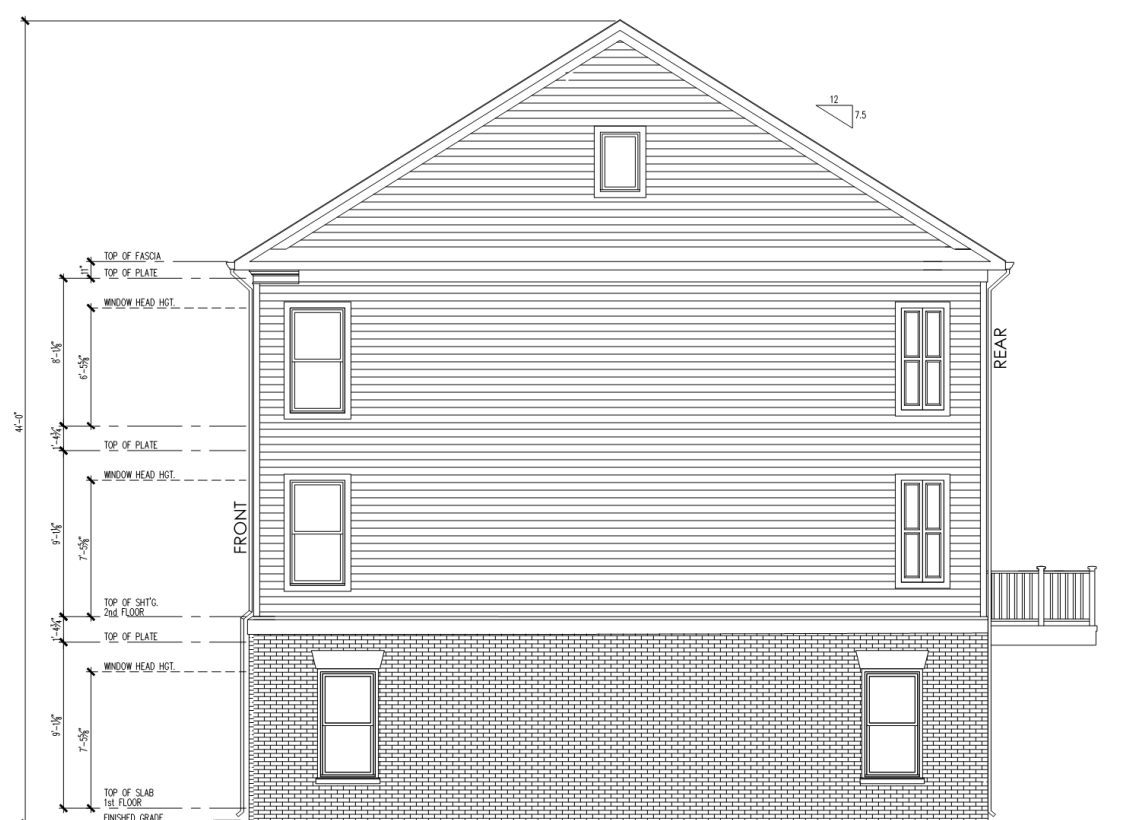
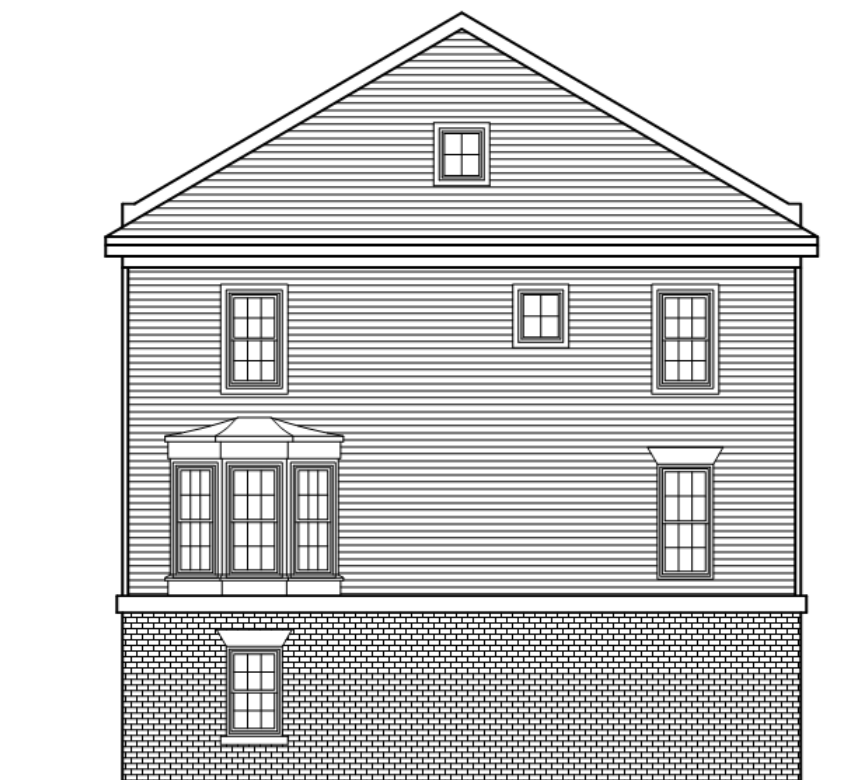
24' Townhomes Front Elevations: Previously Approved

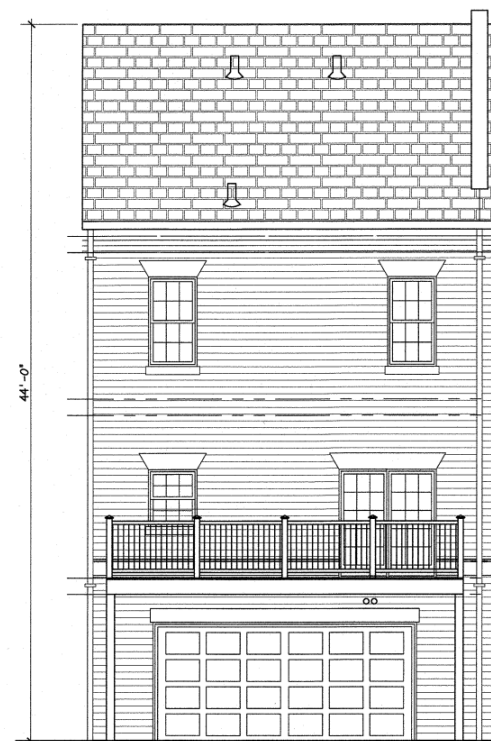
24' Townhomes Front Elevations: Proposed



24' Townhomes Side Elevations: Previously Approved

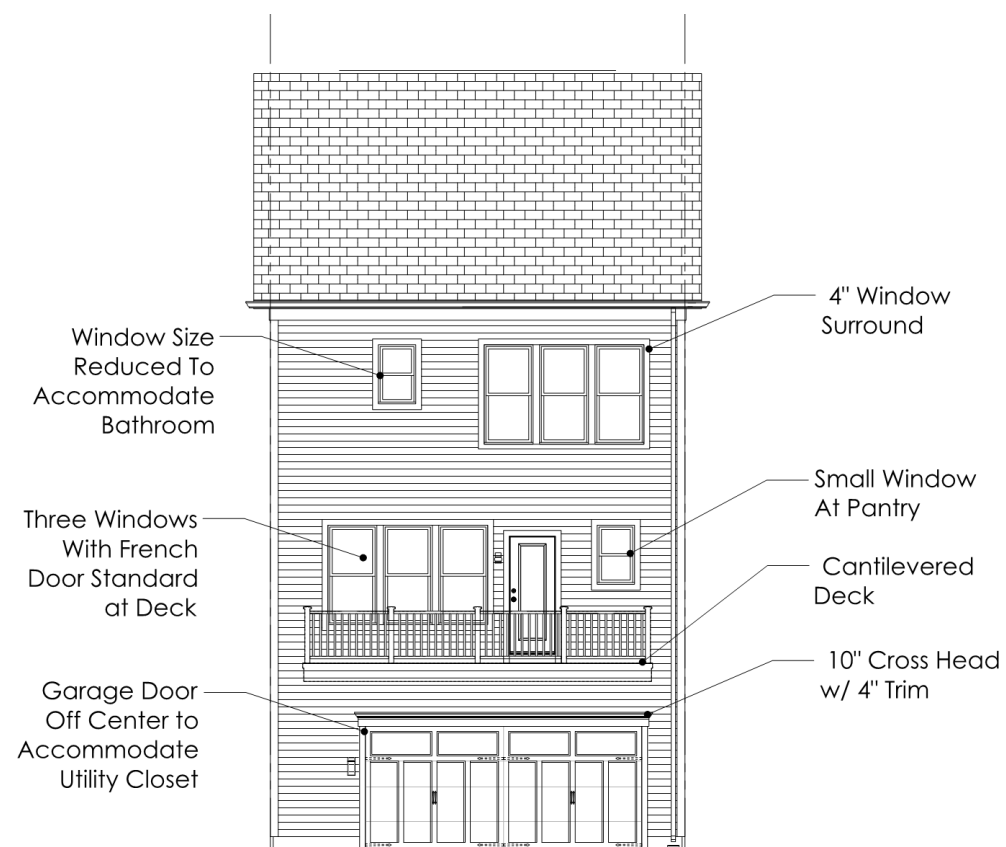
24' Townhomes Side Elevations: Proposed

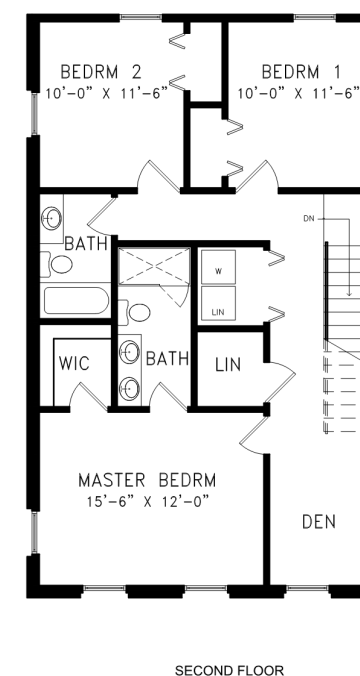
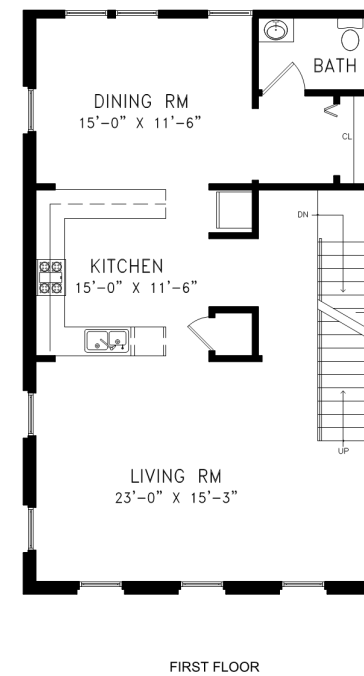
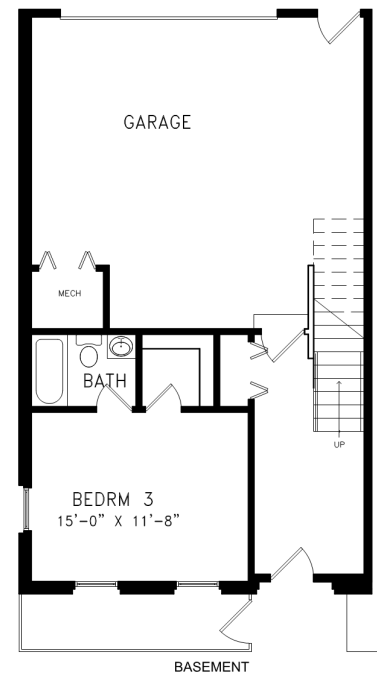




24' Townhomes Front Elevations: Previously Approved

24' Townhomes Front Elevations: Proposed



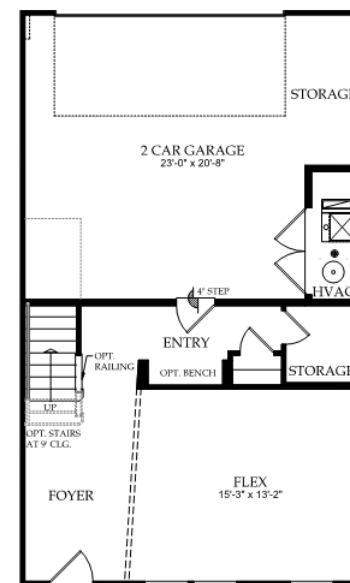


24' Townhomes Floor Plans: Previously Approved

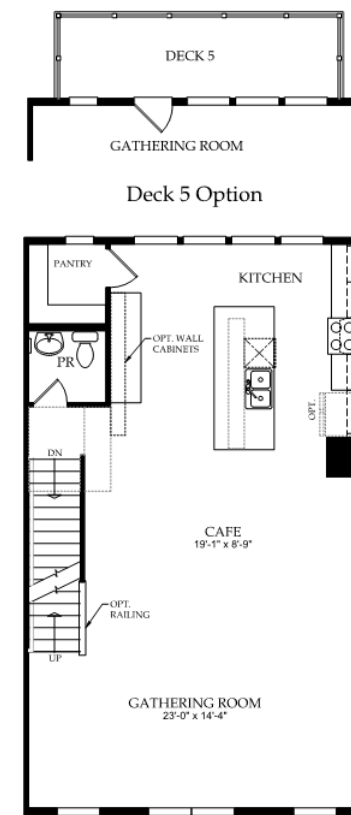
24' Townhomes Floor Plans: Proposed



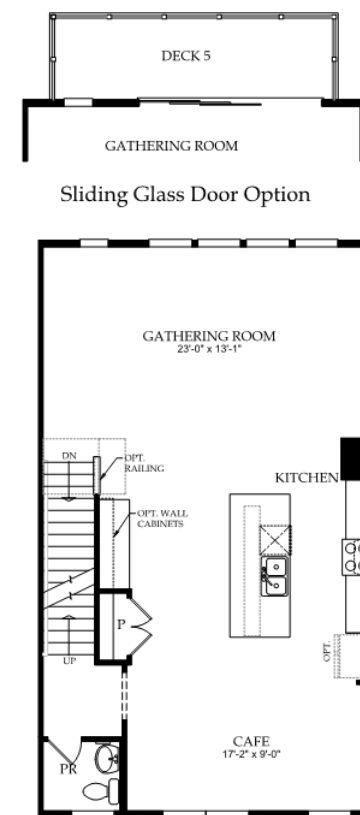
Bedroom 4 w/ Bath 4 Option



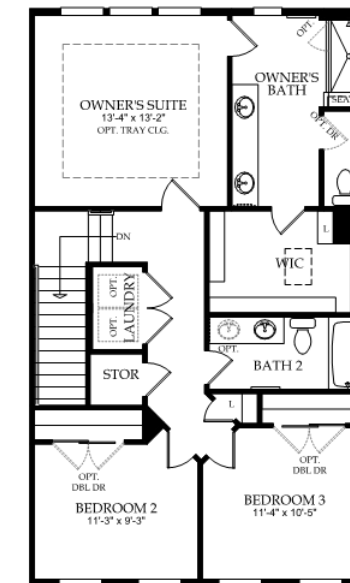
First Floor



Second Floor



Second Floor

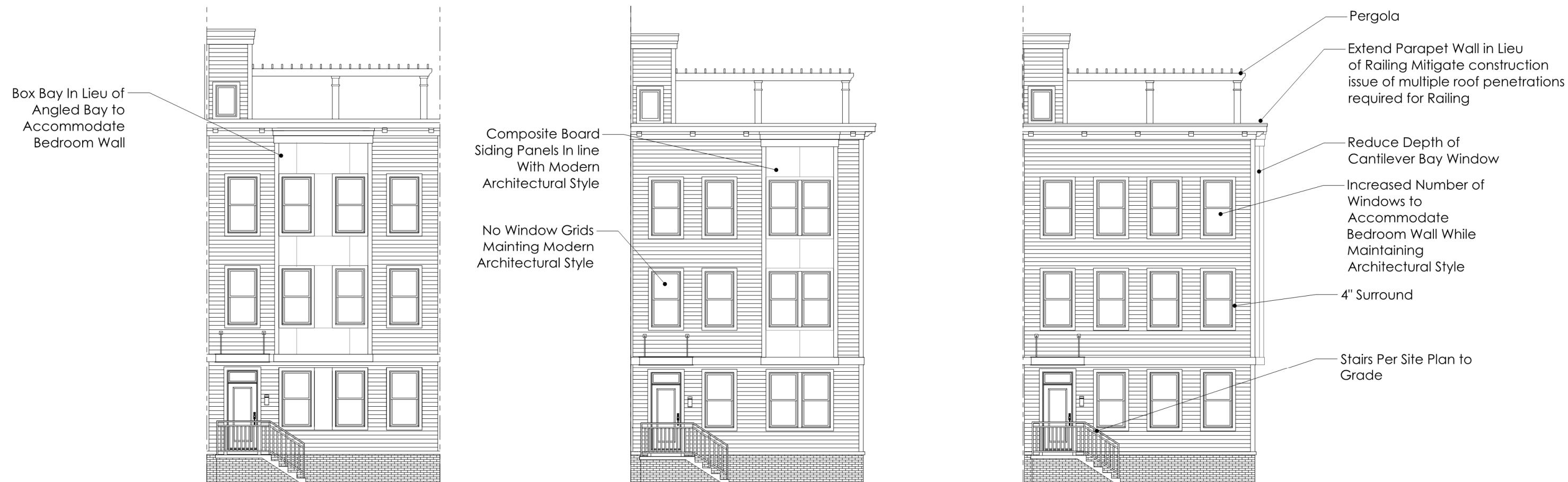


Third Floor



24' Townhomes With Roof Deck Front Elevations: Previously Approved

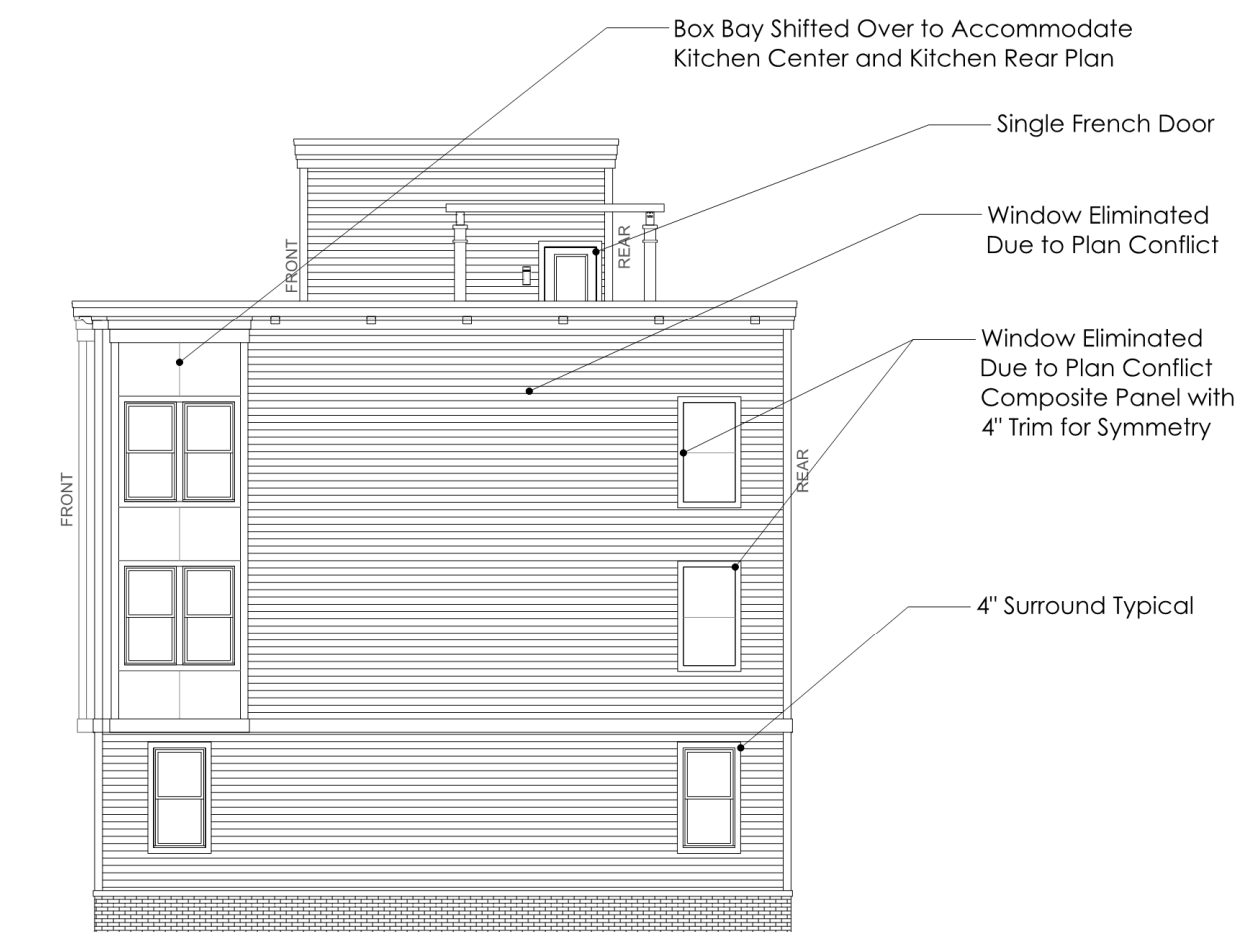
24' Townhomes With Roof Deck Front Elevations: Proposed





24' Townhomes With Roof Deck Side Elevations: Previously Approved

24' Townhomes With Roof Deck Side Elevations: Proposed

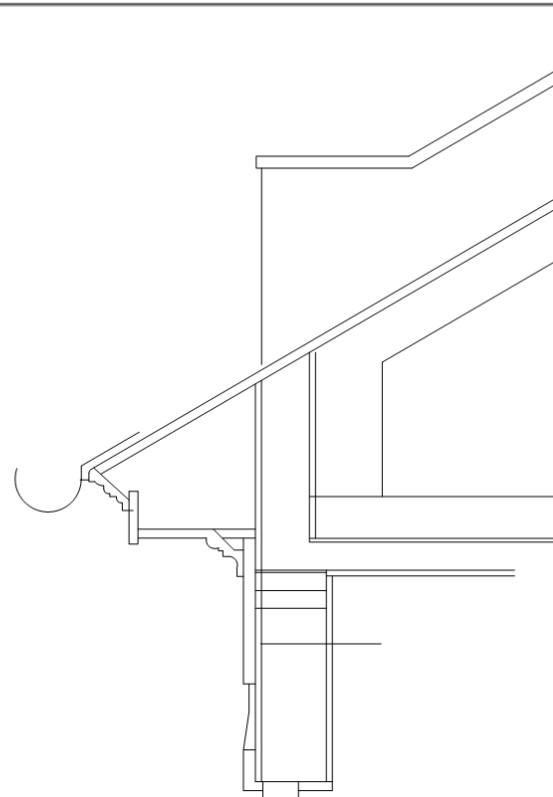


For representative purposes only. Note: Rendering depicts 4th floor with roof deck and additional masonry



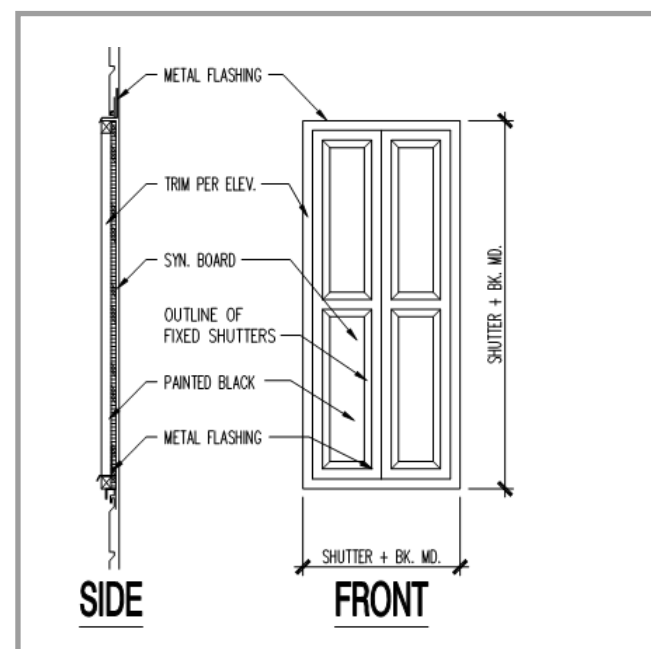
24' Townhomes With Roof Deck Representative Elevation & Building String



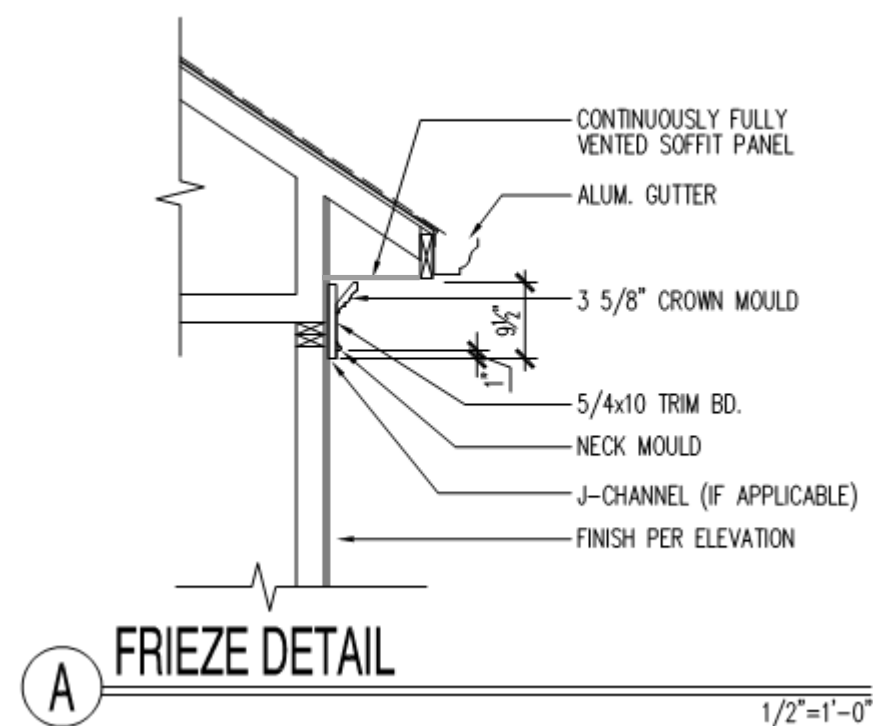


Typical Townhouse Frieze Detail: Previously Approved

Typical Townhouse Frieze Detail: Proposed



Proposed Shutter Box Detail Typical 24' Townhome Side Elevation



**Planning/Zoning Combined Board**

PO Box 370
Oceanport, NJ 07757

SCHEDULED**PLANNING BOARD APPLICATION (ID # 3046)**

Meeting: 01/09/24 07:00 PM
Department: Planning/Zoning Board
Category: PB Applications
Prepared By: Kelle Burrough
Initiator: Jeanne Smith
Sponsors:
DOC ID: 3046

PB2023-14 Giordano, Joseph

Block 124, Lot 2
44 Springfield Avenue
Proposed expansion of non-conforming structure
DFD 4/10/24

COMMENTS - Current Meeting:

Block 124, Lot 2
44 Springfield Avenue
Proposed expansion of non-conforming structure
DFD 4/10/24

101 Crawfords Corner Road
Suite 3400
Holmdel, New Jersey 07733
Main: 877 627 3772



December 12, 2023

VIA EMAIL

Jeanne Smith, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P. O. Box 370
Oceanport, NJ 07757

44 Springfield Avenue
Block 124, Lot 2
Application No. PB2023-14
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0352

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Survey of Property" for Lot 2 of Block 124, prepared by Lakeland Surveying dated August 25, 2023, consisting of one (1) sheet.
- Plan entitled "Addition & Alteration to Giordano Residence," prepared by Parallel Architectural Group, last revised November 21, 2023, consisting of four (4) sheets.

The subject property is a 5,000 SF parcel located in the R-7.5 Residential Zone. The Lot 6 has frontage on the south side of Springfield Avenue approximately 475 feet west of the intersection with Woodbine Way. The Applicant proposes to add a second story to the existing non-conforming structure. The existing detached garage is to remain.

We offer the following comments for the Board's consideration:

A. Variances/Design Waivers

1. Bulk variances are required for the following nonconformities:
 - a. Minimum Lot Area – 7,500 SF required; 5,000 SF is provided.
 - b. Minimum Lot Width - 75 feet required; 50 feet is provided.
 - c. Minimum Front Yard Setback (porch) – 24 feet required; 17.9 feet existing.
 - d. Minimum Front Yard Setback (dwelling) – 30 feet required; 24.5 feet existing
 - e. Minimum Side Yard Setback - 10 feet required; 4.2 feet existing.
 - f. Minimum Rear Yard Setback, Accessory Structure – 5 feet required; 0.9 feet existing.

- g. Minimum Side Yard Setback, Accessory Structure – 10 feet required; 4 feet provided.
- h. Minimum Habitable Floor Area – a two-story building is required to provide a minimum of habitable floor area of 1,800 SF total, and 1,050 SF on the first floor. The existing structure has 917 SF and with the second-floor addition will total 1,834 SF. A variance is required as the first floor area does not meet the minimum square footage.

The Municipal Land Use Law permits the granting of a hardship variance under either of two following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

The Applicant shall provide testimony in support of the variance being requested and/or identified.

B. General Comments

1. The Applicant shall clarify if there will be any change in grade. If so, then a grading plan should be required.

Project No. OPP-0352
December 12, 2023
Page 3 | 3



Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design

A handwritten signature in blue ink, appearing to read "W.H. White, III".

William H.R. White, III, PE, PP, CME, CFM, CPWM
Planning Board Engineer and Planner

WHW/dmm

cc: Joseph Giordano, Applicant (via email)
Nikki Schumann, Architect (via email)
Kevin Kennedy, Esq. (via email)

R:\Projects\M-P\Opp\OPP0352\Correspondence\OUT\231212_whw_44_Springfield__review#1.docx



Oceanport Borough
ZONING DEPARTMENT
910 OCEANPORT WAY
OCEANPORT, NJ 07757
(732) 222-0641
JSMITH@OCEANPORTBORO.COM

Application Date: 11/1/2023
Application Number: ZA-23-0204
Permit Number: _____
Project Number: _____

Fee: \$100

Denial of Application

Date: 11/13/2023

To: NIKKI SCHUMANN
494 BROADWAY
LONG BRANCH, NJ

CC: APP EMAIL: NSCHUMANN@PARALLELGRP.COM

RE: 44 SPRINGFIELD AVE
BLOCK: 124 LOT: 2 QUAL: ZONE: R-75

DEAR NIKKI SCHUMANN,

Interior alterations on existing first floor and second floor addition over existing first floor footprint.

Your request is hereby denied based upon the following requirements:

Proposed construction of 2nd floor addition over 1st floor footprint as shown on plans submitted "Site Plan, Zoning Schedule" 44 Springfield Ave, prepared by Parallel Architecture Group, 3 Sheets, dated 10/30/2023 is not compliant with 390-9, 390-10B(2)(b), 390-Schedule II and 390-Schedule III and requires variance relief as follows:

- Expansion of existing non-conforming structure prohibited by 390-10B(2)(b).

Pre-Existing Conditions:

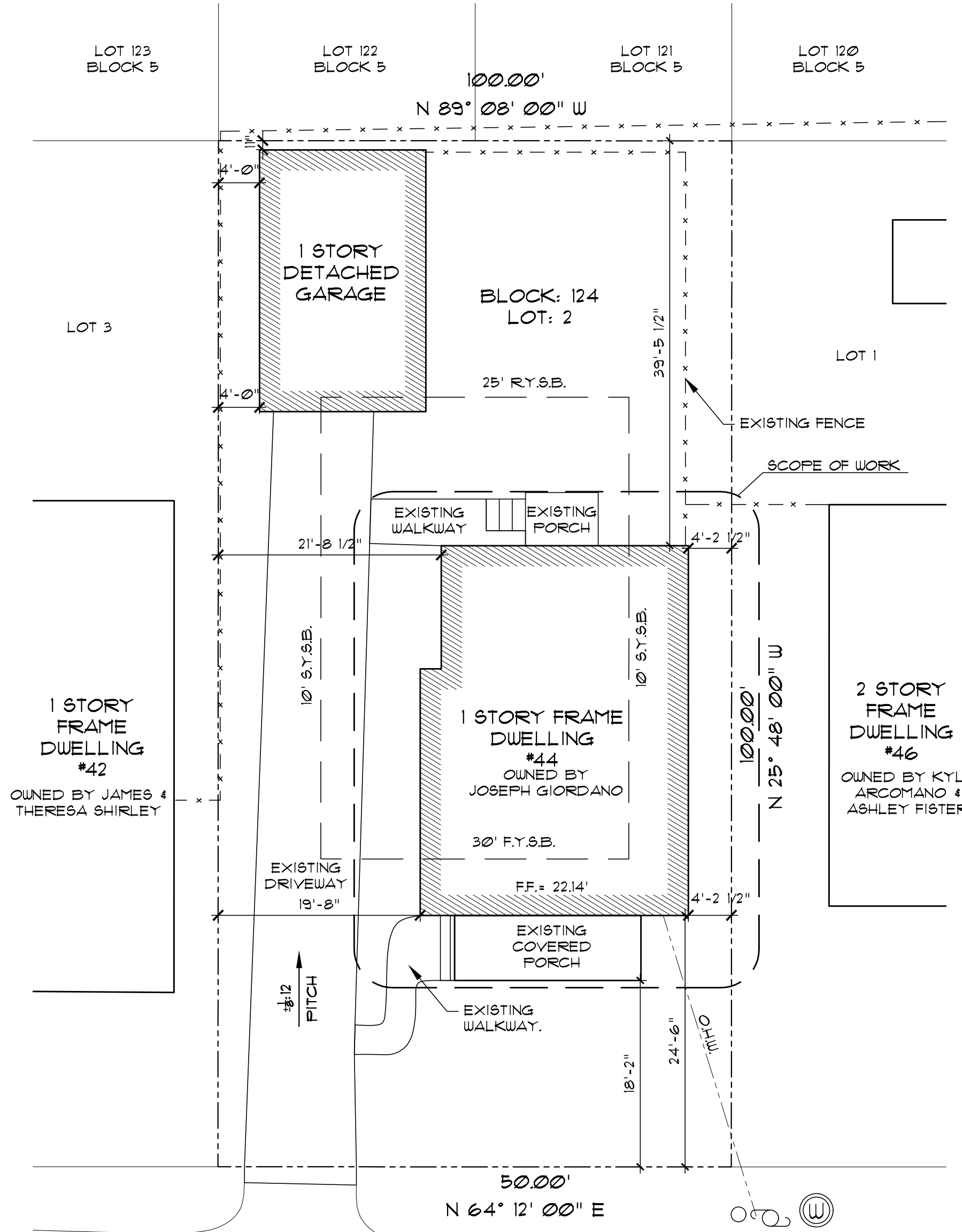
1. Maximum Impervious Surface - Existing/Proposed 47 % where maximum permitted 45 %
3. Minimum Lot Area - Existing/Proposed 5000 sq. ft. where a minimum of 7500 sq. ft. required
4. Minimum Lot Width - Existing/Proposed 50 ft' where 75' required.
5. Minimum Setback Front - Proposed 18'2" where minimum of 24' is required for front porches.
6. Minimum Setback Front - Proposed 24' 6" where minimum of 30' required to the dwelling.
7. Minimum Setback Left - Existing/Proposed 4 ft. where 10' minimum required.
8. Minimum Setback Rear - Existing/Proposed 1 ft. where 25 ft. required.
9. Minimum Setback Right - Existing/Proposed 4.25 ft. where 10 ft. required
10. The Minimum Total Sides - Existing/Proposed 8.25 ft. where combined minimum of 20 ft. required

ACTION:

Submit an application to the Planning Board for variance relief. Contact the Planning Board Secretary to request application documents at jsmith@oceanportboro.com

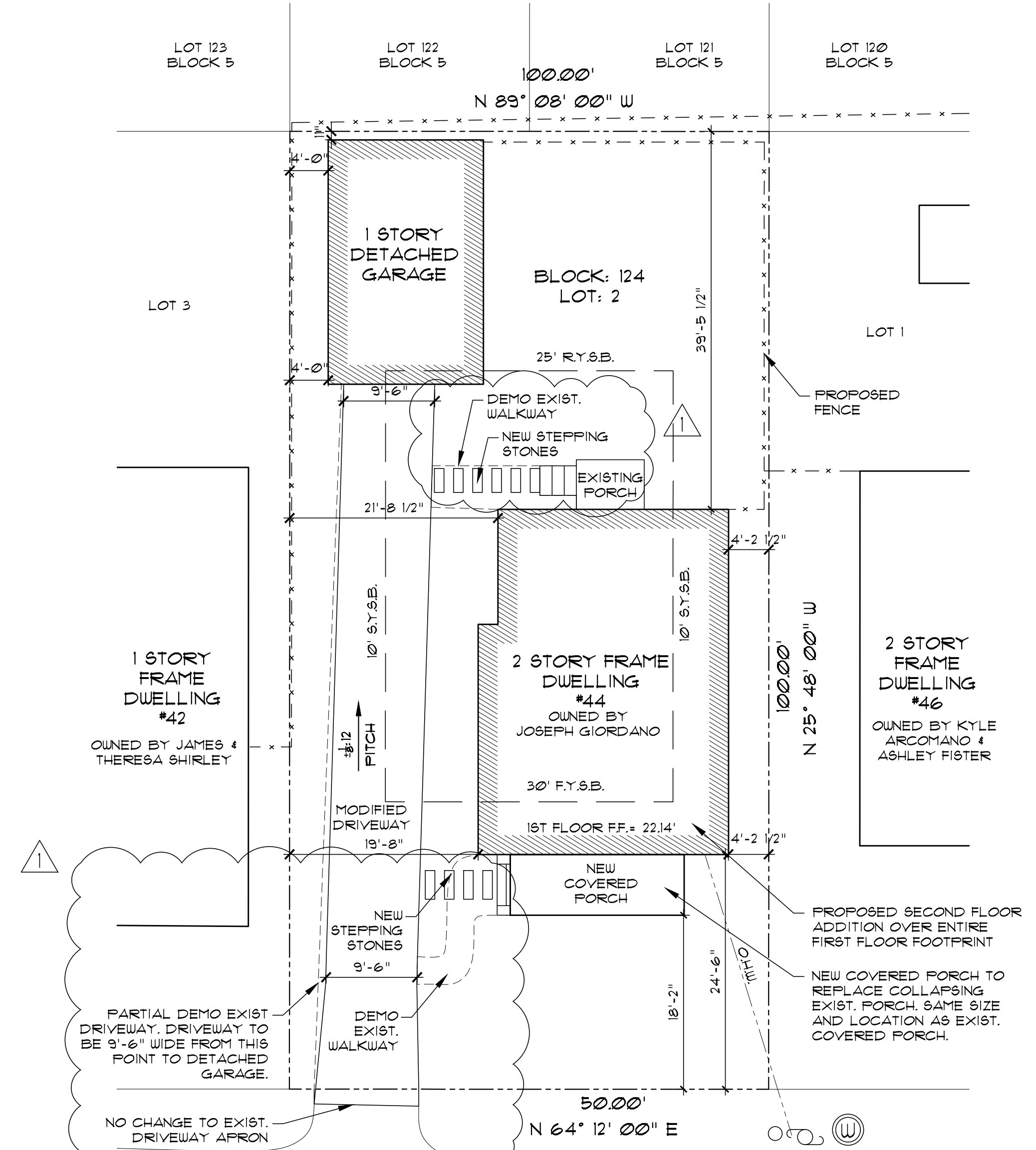
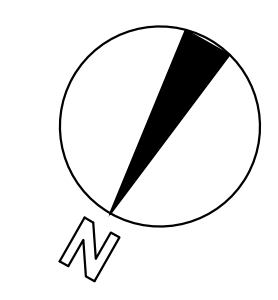
Sincerely,

JEANNE SMITH, ZONING OFFICER



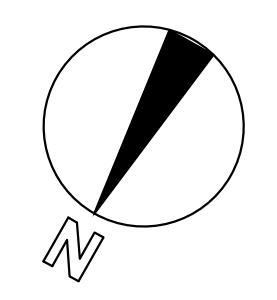
SPRINGFIELD AVENUE (40' ROW.)

1 EXISTING SITE PLAN
SCALE: 1"=10'-0"



SPRINGFIELD AVENUE (40' ROW.)

2 PROPOSED SITE PLAN
SCALE: 1"=10'-0"



ZONING REQUIREMENTS : R-1.5		BLOCK: 124		LOT: 2	
	REQUIRED	EXISTING	PROPOSED	CODE COMPLIANCE	REMARKS
MIN. LOT AREA	7,500 S.F.	5,000 S.F.	NO CHANGE	●	EXISTING
MIN. LOT WIDTH	75'	50'	NO CHANGE	●	EXISTING
MIN. PRINCIPAL FRONT YARD	30'	18'-2" (10 PORCH)	24'-6" (10 2ND FLOOR)	●	PROPOSED
MIN. PRINCIPAL SIDE YARD	10' (ONE)	20'-10.5" (BOTH)	23'-10.5" (BOTH)	●	PROPOSED
MIN. PRINCIPAL REAR YARD	25'	39'-5.5"	39'-5.5" (10 2ND FLOOR)	●	PROPOSED
PRINCIPAL BUILDING HT.	35'	18'-0" FROM G.O.R.	28'-11" FROM G.O.R.	●	PROPOSED
MAX. IMPERVIOUS COVERAGE	45% (2,250 S.F.)	41.5% (2,313 S.F.)	44.8% (2,244 S.F.)	●	PROPOSED
MAX. BUILDING COVERAGE	25%	20%	NO CHANGE	●	EXISTING
MAX. ACCESSORY COVERAGE	5%	8%	NO CHANGE	●	EXISTING
MIN. HABITABLE FLOOR AREA	1,200 (1-STORY) / 1,800 (TOTAL / 1,200 2ND FLOOR)	917 S.F. (1-STORY)	917 S.F. (1ST FLOOR) / 1,834 TOTAL (2-STORY)	●	PROPOSED
AREAS		EXISTING	PROPOSED	TOTALS	
DWELLING FOOTPRINT		917 S.F.		917 S.F. *	
FRONT COVERED PORCH		115 S.F.		115 S.F. *	
DETACHED GARAGE		413 S.F.		413 S.F. **	
FRONT CONC. WALKWAY		64 S.F.	DEMO	0 S.F.	
DRIVEWAY		160 S.F.	PARTIAL DEMO	124 S.F.	
REAR WALKWAY		56 S.F.	DEMO	0 S.F.	
REAR PORCH		48 S.F.		48 S.F.	
PROPOSED FRONT STEPPING STONES			12 S.F.	12 S.F.	
PROPOSED REAR STEPPING STONES			15 S.F.	15 S.F.	
TOTALS		2,313 S.F.		2,244 S.F.	

*- DENOTES SQUARE FOOTAGE ADDED IN BUILDING COVERAGE
**- DENOTES SQUARE FOOTAGE ADDED IN ACCESSORY COVERAGE

SCOPE OF WORK:
SECOND FLOOR ADDITION OVER EXISTING FIRST FLOOR FOOTPRINT.

VARIANCES REQUESTED:

330-10B(2)(B) EXPANSION OF NONCONFORMING USES, BUILDINGS, OR STRUCTURES
ALTERATION DOES NOT IMPROVE NON-CONFORMANCE OF LOT SETBACKS, BUT DOES IMPROVE IMPERVIOUS COVERAGE AND MINIMAL HABITABLE FLOOR AREA.

330 SCHEDULE II - BULK AND COVERAGE CONTROLS
EXIST. LOT WIDTH AND SIZE BELOW MINIMUM REQUIRED. EXISTING DETACHED GARAGE NON-CONFORMING ON SETBACKS AND COVERAGE. EXISTING DWELLING IS NON-CONFORMING ON FRONT AND SIDE YARD SETBACKS. EXISTING IMPERVIOUS COVERAGE IS 41%, MAXIMUM REQUIRED IS 45%, AND PROPOSED IS 44.8%.

330 SCHEDULE III - MINIMAL HABITABLE FLOOR AREA
EXISTING 1-STORY DWELLING BELOW MINIMUM HABITABLE FLOOR AREA. EXISTING HABITABLE FLOOR AREA IS 917 S.F., REQUIRED IS 1,200 S.F. THE REQUIRED 1ST FLOOR HABITABLE FLOOR AREA IN A 2-STORY HOME IS 1,050 S.F. AND TOTAL REQUIRED AREA IS 1,800 S.F. THE PROPOSED SECOND STORY WILL BE 917 S.F. ON TOP OF THE EXISTING 917 S.F. FIRST FLOOR AND THE TOTAL PROPOSED HABITABLE FLOOR AREA WILL BE 1,834 S.F.

THE ZONING BOARD OF ADJUSTMENT, IN ACCORDANCE WITH THE BOROUGH OF OCEANPORT SITE PLAN REGULATIONS, APPROVES THIS PLAN ON

SIGNED: BOARD CHAIRMAN DATE
SIGNED: BOARD SECRETARY DATE
SIGNED: BOARD ENGINEER DATE

NOTE:
SITE PLAN BASED ON SURVEY BY:
LAKELAND SURVEYING INC.
JEFFREY S. GRUNN
N.J. PROFESSIONAL LAND SURVEYOR
LICENSE #24G904339900
4 WEST MAIN STREET
ROCKAWAY, NEW JERSEY, 07866
DATED: AUGUST 25, 2023
PROJECT No. 232395

SITE PLAN LEGEND		
---	PROPERTY LINE	
---	WALL ABOVE	
---	DEMO	
---	OVERHEAD WIRE	
---	SETBACK LINE	
- x - x - x -	FENCE LINE	
---	DRIVE/WALKS	
---	BUILDING FOOTPRINT	
---	CONCRETE	

Parallel architectural group

494 Broadway, Suite 3
Long Branch, NJ 07740
V: 732.229.4400
F: 732.229.4488
www.ParallelGrp.com

ADDITION & ALTERATIONS TO:
GIORDANO RESIDENCE
44 Springfield Ave.
Oceanport, NJ 07761
Block: 124 Lot: 2

Anthony G. Bialise, AIA
NJ 0101633
NY 031733-1
PA R4403995
Certificate of Authorization
#AC000553

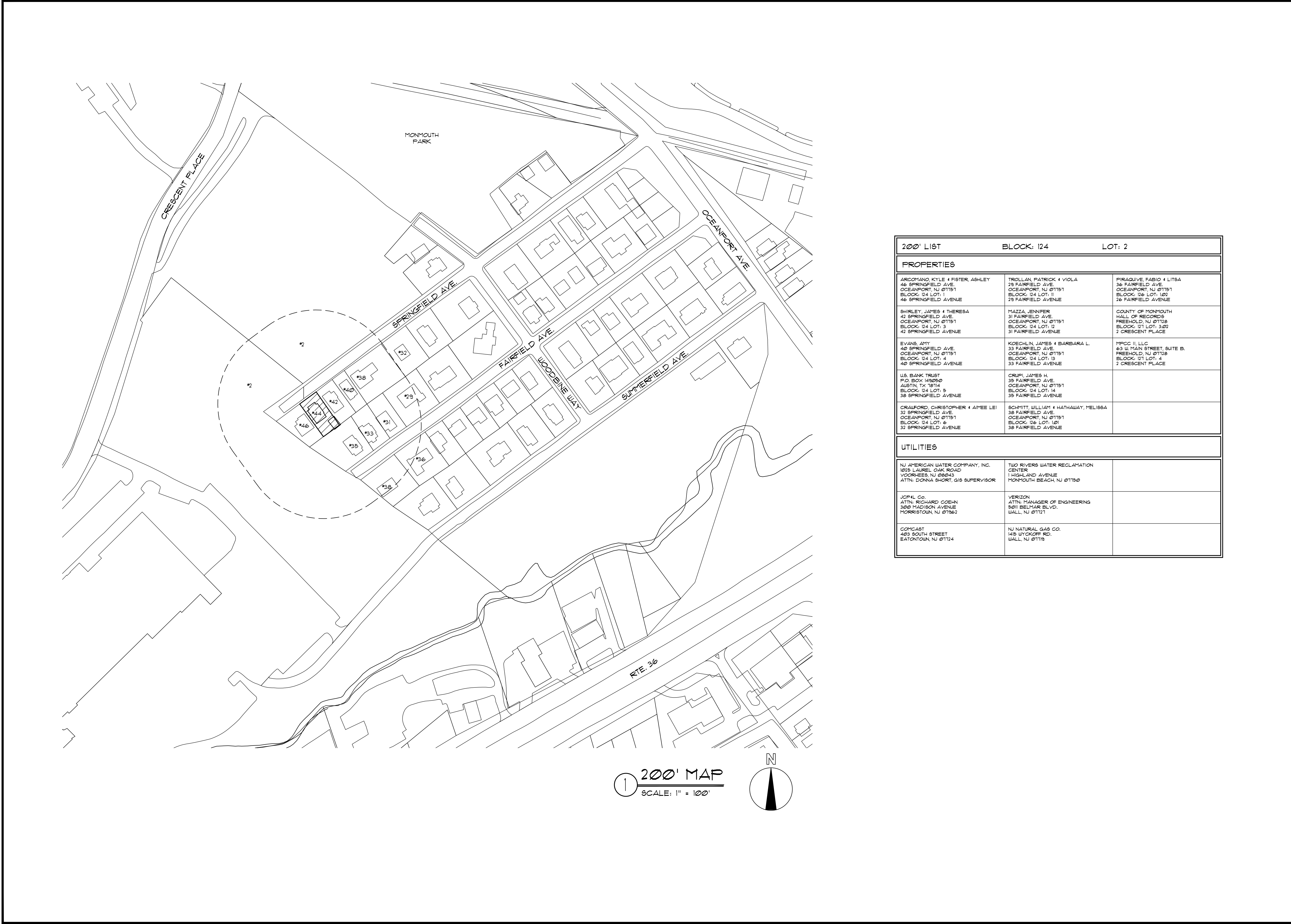
Title:
SITE PLAN
ZONING SCHEDULE

Comm. No. 172123.322
Date: OCTOBER 30, 2023
Drawn By: MM
Checked By: AS
Scale: As Shown

Revisions		
No.	Date	Description
1	11/21/2023	ZONING BOARD

44 SPRINGFIELD AVE.
OCEANPORT, NJ

A=002
1 OF 4
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200' LISTBLOCK: 124LOT: 2		
PROPERTIES		
ARCOMANO, KYLE & FISTER, ASHLEY 46 SPRINGFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 1 46 SPRINGFIELD AVENUE	TROLLAN, PATRICK & VIOLA 25 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 11 25 FAIRFIELD AVENUE	PIRAQUIVE, FABIO & LITSA 35 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 126 LOT: 102 26 FAIRFIELD AVENUE
SHIRLEY, JAMES & THERESA 42 SPRINGFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 3 42 SPRINGFIELD AVENUE	MAZZA, JENNIFER 31 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 12 31 FAIRFIELD AVENUE	COUNTY OF MONMOUTH HALL OF RECORDS FREEHOLD, NJ 07728 BLOCK: 121 LOT: 302 2 CRESCENT PLACE
EVANS, AMY 40 SPRINGFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 4 40 SPRINGFIELD AVENUE	KOECHLIN, JAMES & BARBARA L. 33 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 13 33 FAIRFIELD AVENUE	MPCC II, LLC 63 W. MAIN STREET, SUITE B. FREEHOLD, NJ 07728 BLOCK: 121 LOT: 4 2 CRESCENT PLACE
U.S. BANK TRUST P.O. BOX 143080 AUSTIN, TX 78714 BLOCK: 124 LOT: 5 38 SPRINGFIELD AVENUE	CRUPI, JAMES H. 35 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 14 35 FAIRFIELD AVENUE	
ORALFORD, CHRISTOPHER & AIMEE LEI 32 SPRINGFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 124 LOT: 6 32 SPRINGFIELD AVENUE	SCHMITT, WILLIAM & HATHAWAY, MELISSA 38 FAIRFIELD AVE. OCEANPORT, NJ 07151 BLOCK: 126 LOT: 101 38 FAIRFIELD AVENUE	
UTILITIES		
NJ AMERICAN WATER COMPANY, INC. 1015 LAUREL OAK ROAD VOORHEES, NJ 08043 ATTN: DONNA SHORT, GIS SUPERVISOR	TWO RIVERS WATER RECLAMATION CENTER 1 HIGHLAND AVENUE MONMOUTH BEACH, NJ 07750	
JCP&L Co. ATTN: RICHARD COHEN 302 MADISON AVENUE MORRISTOWN, NJ 07962	VERIZON ATTN: MANAGER OF ENGINEERING 501 BELMAR BLVD. WALL, NJ 07721	
COMCAST 403 SOUTH STREET EATONTOWN, NJ 07124	NJ NATURAL GAS CO. 1415 WYCKOFF RD. WALL, NJ 07715	

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ADDITION &
ALTERATIONS TO:
GIORDANO
RESIDENCE
44 Springfield Ave.
Oceanport, NJ 07151
Block: 124 Lot: 2


Anthony B. Ballese, AIA
NJ 07069
NY 07133
PA 04403
Certificate of Authorization
#AC000553

Title:

KEY MAP

200' LIST

Comm. No. 172123.322
Date: OCTOBER 30, 2023
Drawn By: MM
Checked By: AS
Scale: As Shown

Revisions

No.	Date	Description
1	11/21/2023	ZONING BOARD

44 SPRINGFIELD AVE.
OCEANPORT, NJ

A = 003
2 OF 4
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ADDITION &
ALTERATIONS TO:
GIORDANO
RESIDENCE
44 Springfield Ave.
Oceanport, NJ 07757
Block: 124 Lot: 2

Anthony Scallise, AIA
NJ 101693
NY 031733-1
PA R4409995
Certificate of Authorization
#AC000993

Title:

EXISTING FIRST
FLOOR PLAN

PRELIM FIRST
FLOOR PLAN

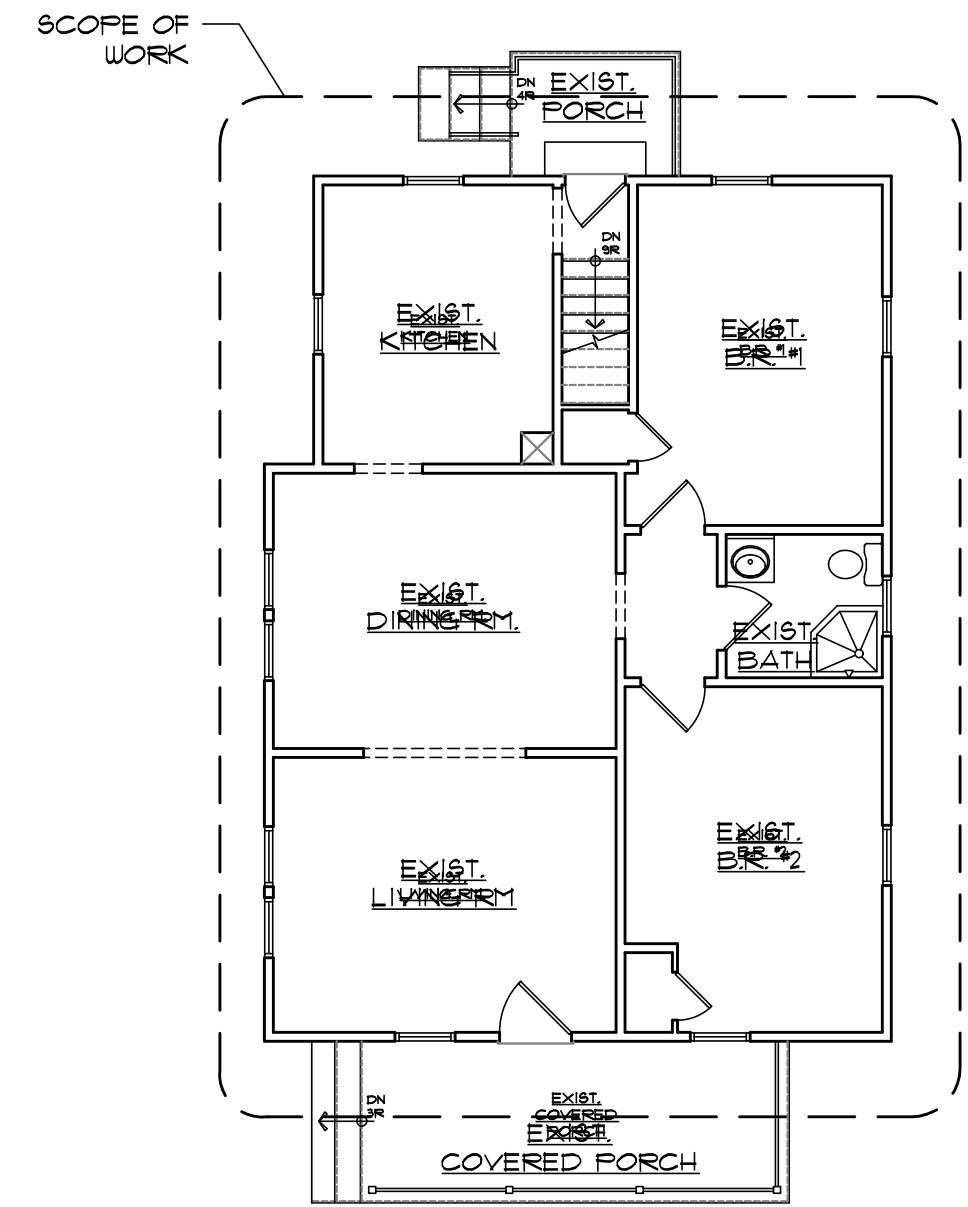
PRELIM SECOND
FLOOR PLAN

Comm. No. 172123.322
Date: OCTOBER 30, 2023
Drawn By: MM
Checked By: AS
Scale: As Shown

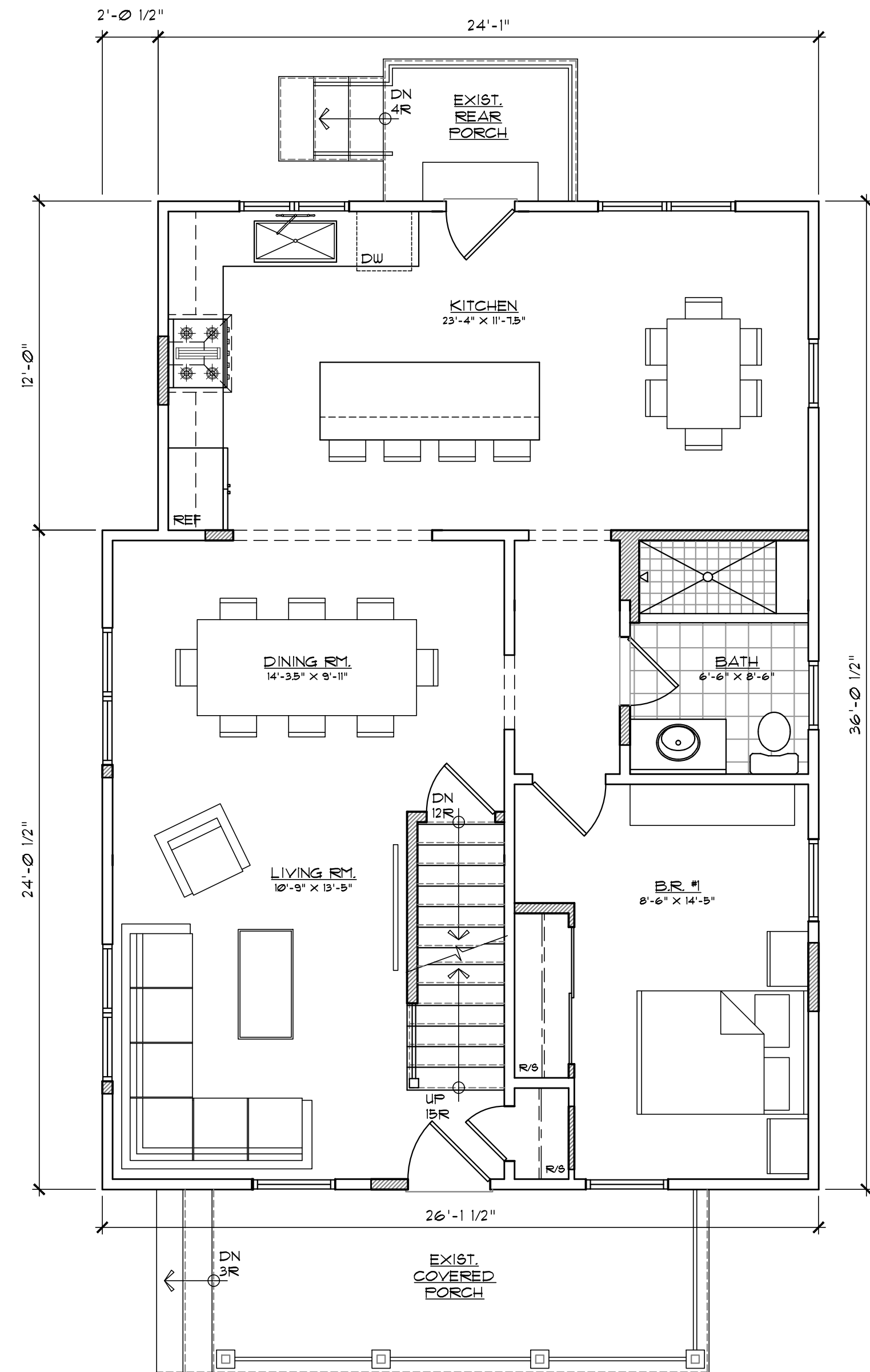
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No.	Date	Description
1	11/21/2023	ZONING BOARD

44 SPRINGFIELD AVE.
OCEANPORT, NJ

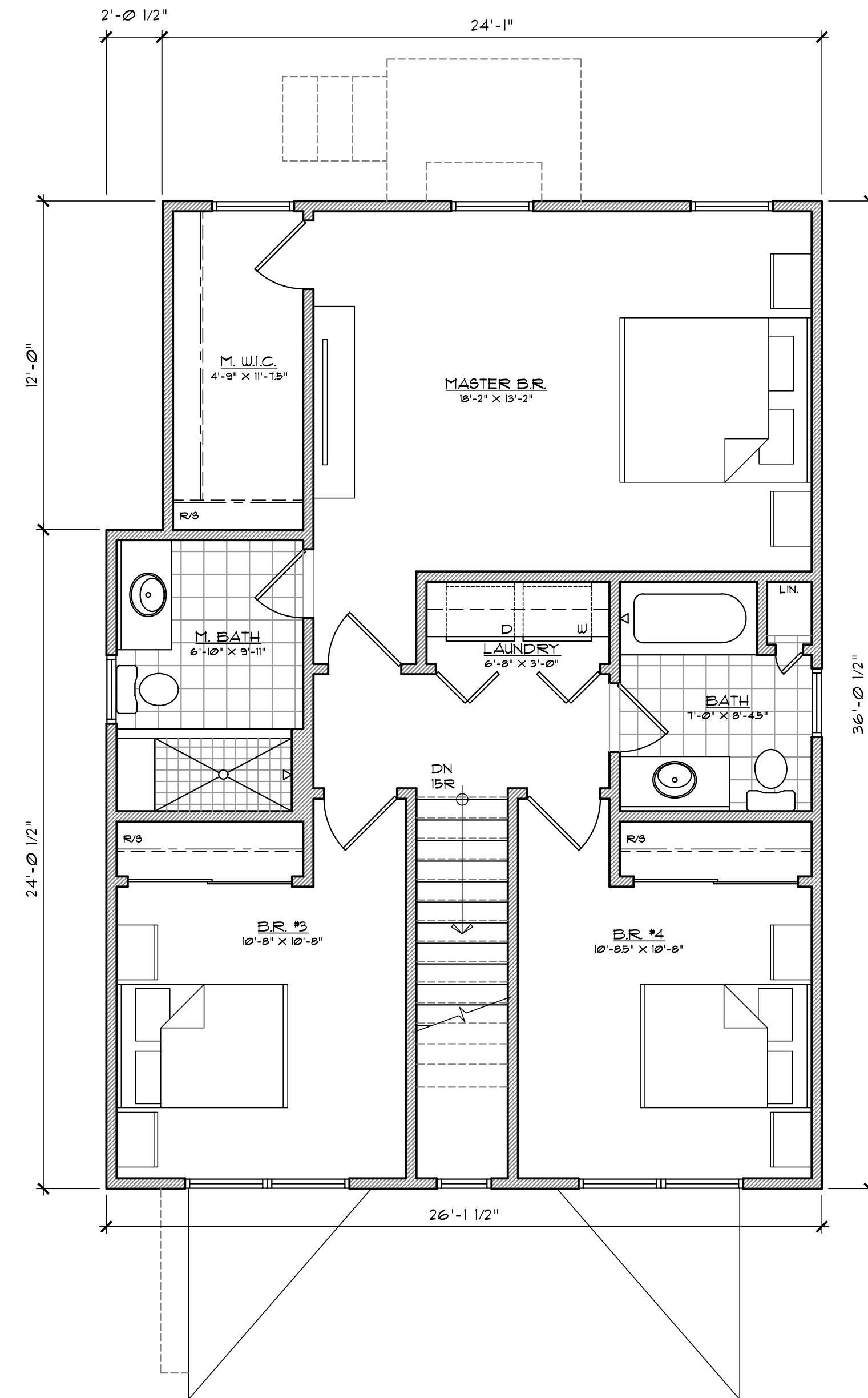
A-101
3 OF 4



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



2 PRELIM FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



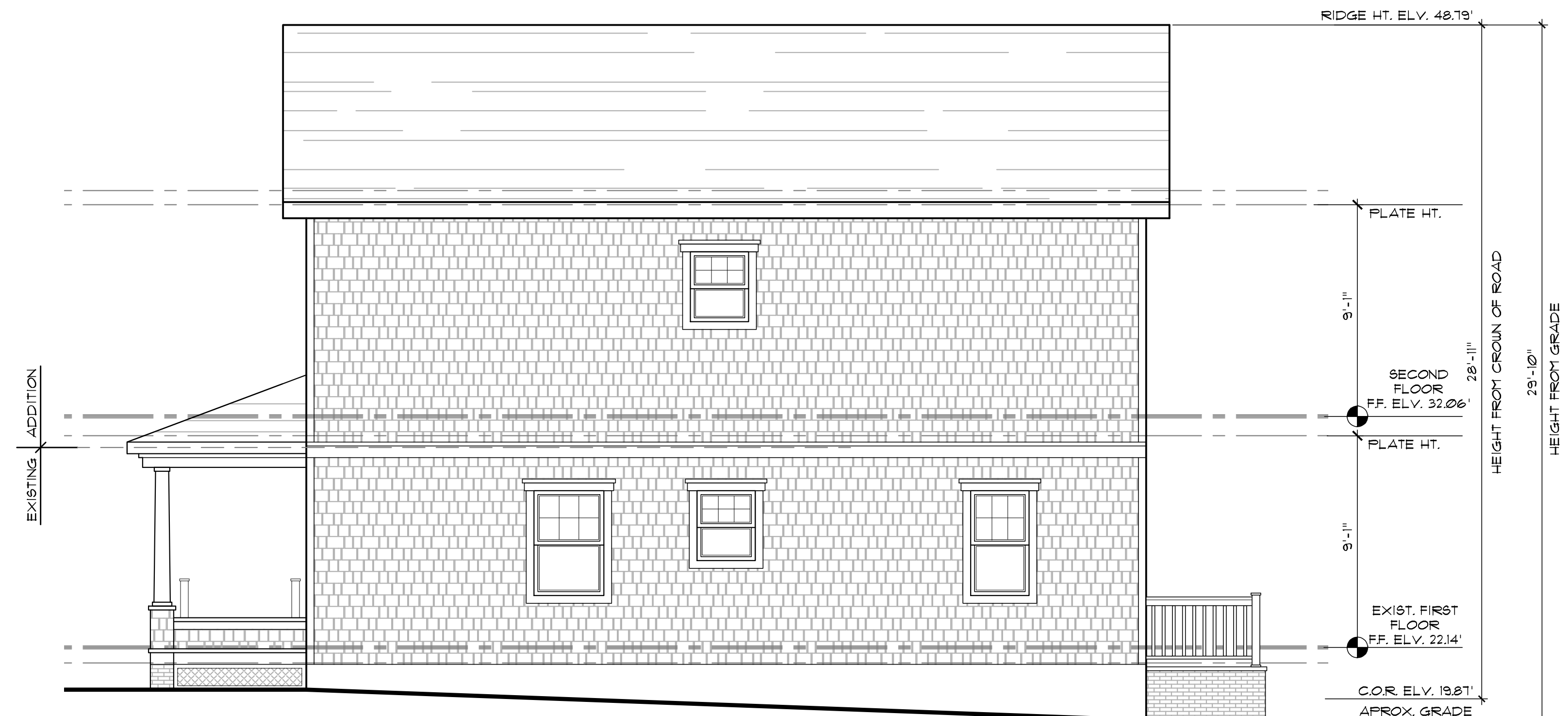
3 PRELIM SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE:
ONLY INTERIOR ALTERATIONS ON FIRST
FLOOR. NO CHANGES TO FOOTPRINT.

FLOOR PLAN LEGEND	
---	LINE OF ITEM ABOVE
▨	NEW 8" CMU FOUNDATION WALLS (U.N.O.)
▬	NEW 5 1/2" WD. STUD EXTERIOR WALLS/ 3 1/2" WD. STUD INTERIOR WALLS (U.N.O.)



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



2 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



3 REAR ELEVATION
SCALE: 1/4"=1'-0"



4 LEFT ELEVATION
SCALE: 1/4"=1'-0"

Parallel
architectural group

494 Broadway, Suite 3
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ADDITION &
ALTERATIONS TO:
**GIORDANO
RESIDENCE**
44 Springfield Ave.
Oceanport, NJ 07757
Block: 124 Lot: 2

Anthony Scallise, AIA
NJ 010693
NY 031733-1
PA R4409995
Certificate of Authorization
*AC000993

Title:

ELEVATIONS

Comm. No. 1712123.322

Date: OCTOBER 30, 2023

Drawn By: MM

Checked By: AS

Scale: As Shown

Revisions

No.	Date	Description
1	11/21/2023	ZONING BOARD

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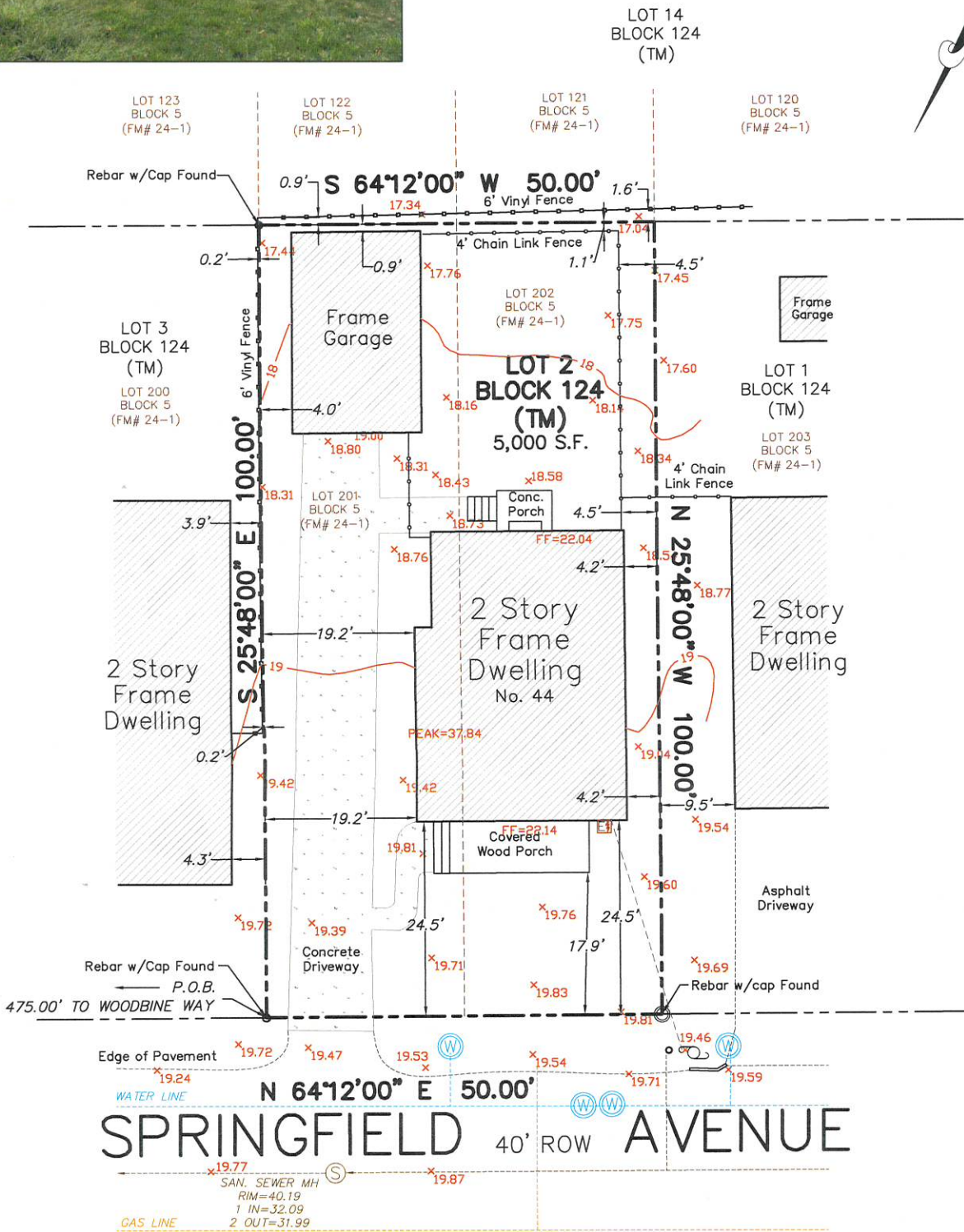
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44 SPRINGFIELD AVE.
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A-201

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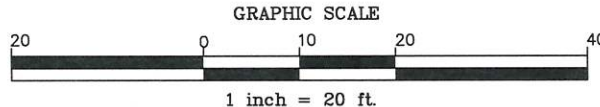


This survey certified to:
Joseph Giordano

This survey references:
Deed Book 4659 Page 924
Monmouth County Filed Map No. 24-1

Notes:
Field Survey Performed on 08/23/23
Subject to an accurate title search
Subject to documents of record
Vertical Datum: NAVD88

KNOWN AND DESIGNATED as Lots 201 and 202 in Block 5 as shown on a certain map entitled, "Map of Section No. 1, Hillcrest" filed in the Monmouth County Clerk's Office on May 12, 1925 as Map No. 24-1.



I declare that this plan is based on actual field survey performed by Lakeland Surveying, Inc., under my direct supervision, in accordance with N.J.A.C. 13:40-5.1 and to the best of my professional knowledge, information and belief, correctly represents the conditions found on the date of the field survey, except such easements, if any, below the surface of the lands not visible. This declaration is given solely to the above named parties for this transaction only and is not transferrable. Survey is valid only if print has original raised seal of the undersigned professional.

REVISED 10/23/2023 JRS-JES: TOPOGRAPHIC SURVEY

Lakeland Surveying

4 West Main Street | Rockaway | NJ
Ph: (973) 625-5670 | Fx: (973) 625-4121
www.LakelandSurveying.com
Certificate of Authorization #24GA28090000

PROJECT NUMBER 232395	
REFERENCE NUMBER	
SCALE 1"=20'	DATE 08/25/23
FIELD: JRS	DWN BY: JWS
CHECKED: JSG	

SURVEY OF PROPERTY
Tax Lot 2 - Block 124
44 Springfield Avenue, Borough of Oceanport
Monmouth County, New Jersey

MARC J. GIFFONE, Professional Land Surveyor N.J. Lic. No 24GS04132900
JEFFREY S. GRUNN, Professional Land Surveyor N.J. Lic. No 24GS04339900