



BOROUGH OF OCEANPORT PLANNING/ZONING BOARD

REGULAR MEETING • AGENDA

Clement V. Sommers Municipal Building
910 Oceanport Way, Oceanport, NJ 07757

DECEMBER 9, 2025 at 7:00 PM

1. **Call to Order**
2. **Open Public Meetings Statement:** This meeting complies with the Open Public Meetings Act by adequate and electronic notification on January 25, 2025 of this meeting and its location, date and time to the Asbury Park Press and Two River Times and by the posting of same on the municipal bulletin board and Borough's Web Site.
3. **Flag Salute**
4. **Board Policy**
 - It is Board Policy that no application will be opened after 9:30 PM.
 - No new testimony will be taken after 10:00 PM, except at the discretion of the Board.
5. **Roll Call**
6. **Board Business**
7. **Approval of Minutes**
8. **Resolutions**
 - 8.1. PR-25-26 Resolution setting the date for the annual Reorganization Meeting for 2026
 - 8.2. PR-25-27 Resolution of Approval, Extension request, Keith Salnick, 60 Shore Road
9. **Old Business**
 - 9.1. PB2025-02 Ralph Mocci — applicant is requesting to be carried to the January 13, 2026 meeting
Block 72, Lot 4.04
6 Blue Point Cove Road
Proposed use and bulk variance approval for an addition to add housekeeping quarters
 - 9.2. PB2025-08 Rafless and Celi Zarate
Block 110, Lot 10
59 Main Street
Proposed Redevelopment of Lot with Two-Family Residential Dwelling
Application carried from the November 18th meeting
10. **New Business**
 - 10.1. PB2025-13 Andrew and Sharon Haas
Block 40, Lot 11 and 11.01
203 Comanche Drive
Proposed demolition of an existing one-bay garage in the front yard of an existing waterfront residence and construct a new three-bay garage. The proposed three-bay garage is 720 square feet (20 feet in depth by 36 feet in length)

10.2. PB2025-16 8 Cayuga Avenue, LLC

Block 26, Lot 7

8 Cayuga Avenue

Proposed demolition of an existing single family home and replacing it with a 2 1/2 story single family structure.

Maximum impervious coverage 37% permitted, 39.9% existing, 39.1% proposed

11. **Petitions from the Public**

12. **Adjournment**

BOROUGH OF OCEANPORT PLANNING BOARD

**RESOLUTION OF THE BOROUGH OF OCEANPORT PLANNING BOARD
SETTING THE DATE FOR THE ANNUAL REORGANIZATION MEETING
FOR 2026**

WHEREAS, the Oceanport Planning Board shall hold its annual reorganization meeting at its first regular meeting after January 1 of any year,

NOW THEREFORE, BE IT RESOLVED by the Planning Board of the Borough of Oceanport, County of Monmouth, State of New Jersey that the date established for the 2025 Annual Reorganization Meeting shall be Tuesday, January 13, 2026, at 7:00 PM.

BE IT FURTHER RESOLVED that the Board Secretary is hereby directed to advertise said meeting in accordance with law.

This resolution was offered by _____, seconded by _____, and adopted on roll call by the following vote:

ROLL CALL	YES	NO	ABSTAIN	ABSENT	INELIGIBLE
Whitson, J	()	()	()	()	()
Kahle, J	()	()	()	()	()
Widdis, C.	()	()	()	()	()
Foster, J	()	()	()	()	()
Cooper, P	()	()	()	()	()
Gruskos, D	()	()	()	()	()
Barham-Widdis, L.	()	()	()	()	()
Davis, D	()	()	()	()	()
Dailey, M	()	()	()	()	()
Padula, L. (Alt. #1)	()	()	()	()	()
Verdi, E. (Alt. #2)	()	()	()	()	()

I hereby certify that the foregoing Resolution was adopted by the Planning Board of the Borough of Oceanport at its meeting of December 9, 2025.

Stephanie Kramer, Secretary

September 4, 2025

VIA EMAIL

Stephanie Kramer, Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Application No. PB2025-08
59 Main Street
Block 110, Lot 10
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No. OPP-0371

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Topographic Survey of Property" prepared by Lakeland Surveying, last revised November 2, 2024, consisting of one (1) sheet;
- Plan entitled "59 Main Street" prepared by InSite Engineering, last revised June 27, 2025, consisting of six, (6) sheets; and,
- Plans entitled "Zarate Residence" prepared by Shore Point Architecture, last revised March 21, 2025, consisting of four (4) sheets.

The subject property is a 10,674 SF (0.25-acre) parcel on the northside of Main Street corner opposite from Center Street. The subject is in the R-5 Residential Zone. A single-family home currently exists on the lot with a large shed in the rear yard.

The Applicant is proposing to construct a two-family dwelling.

Based on our review, we recommend that the Application be deemed complete and scheduled for the next available public hearing. The Applicant shall provide proof of public notification as required for this Application. A planning and engineering review of the Application is included below.

We offer the following comments for the Board's consideration regarding the requested Use Variance only:

A. VARIANCES/DESIGN WAIVERS

1. The Applicant proposes a two-family dwelling which is a permitted use in the R-5 Zone. However, the maximum permitted density is 6.3 units/acre. The two (2) units on a 0.245-acre lot yields a density of 8.2 units/acre, thereby requiring a 'd(5)' variance.

The Municipal Land Use Law permits the granting of a “d” variance based on providing special reasons and satisfying the negative criteria, including that there is no substantial detriment to the public good and that the proposal does not impair the intent of the zone plan and the zoning ordinance (40:55D-70d).

2. Bulk variances are required for the following:
 - a. Minimum Lot Area - 14,000 sf required (7,000 sf /unit); 10,674 sf proposed.
 - b. Minimum Lot Width - 140 feet (70’/unit) required; 39.6 feet provided per unit for a total of 79.2 feet.
 - c. Minimum Habitable Floor Area Per Family – requirement is 1,000 sf on first floor and total of 1,450 sf, Unit 1 proposes 1,007 sf on first floor and a total of 1,330 sf, Unit 2 proposes 419 sf on first floor and a total of 1,068 sf.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness, or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

B. General Comments

1. Testimony shall be provided on the HVAC service to each unit.
2. The Applicant shall clarify what utilities will be provided to the shed and greenhouse.
3. The rear yard has been graded to include a low point that is consistent with the current configuration, where an existing inlet is located. Testimony will be provided regarding the

occurrence of ponding following a rainfall event, as well as the typical duration required for the drainage to dry. Clarification shall be provided as to the condition of the inlet and the point of discharge.

4. A Road Opening permit will be required.
5. The Board may want to consider requiring a deed restriction prohibiting finishing of the basement area in the future.
6. A signed and sealed copy of the survey shall be submitted to the Board Secretary.

We reserve the opportunity to further review and comment on this Application and all pertinent documentation, pursuant to testimony presented at the public hearing.

Should you have any questions regarding this matter, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design

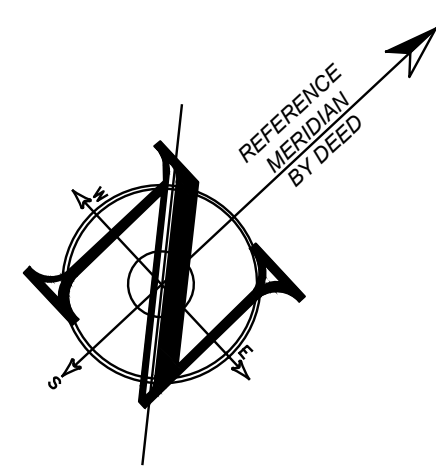
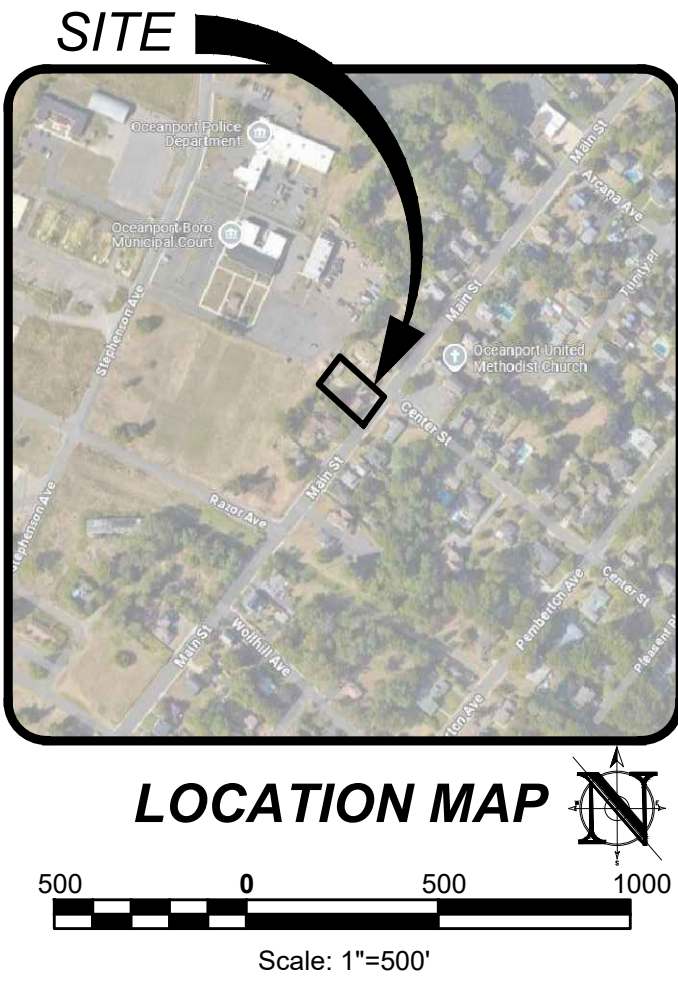
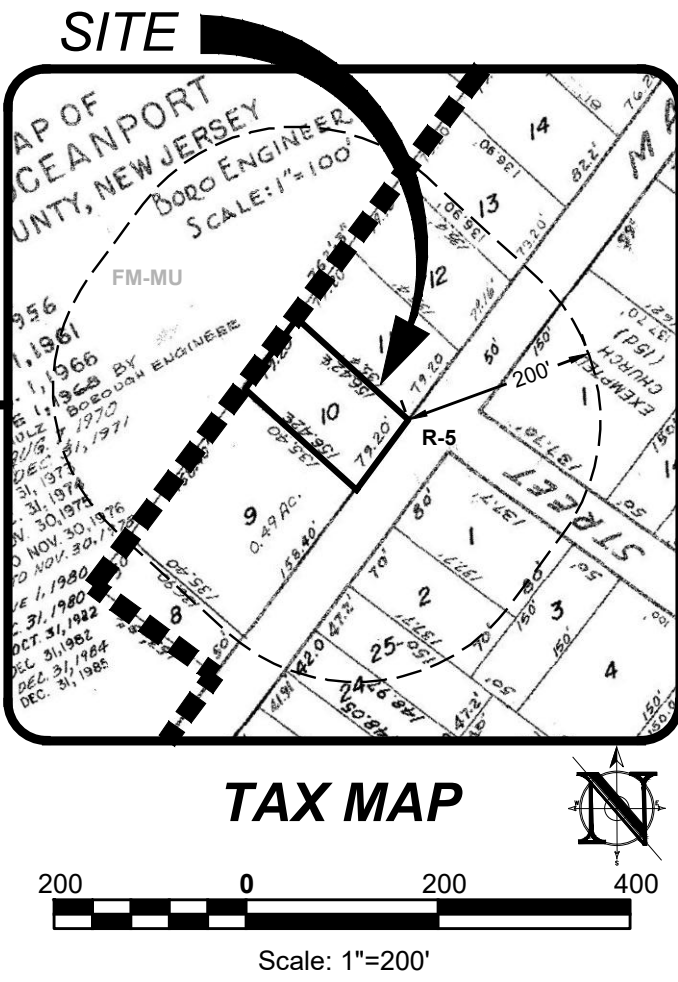
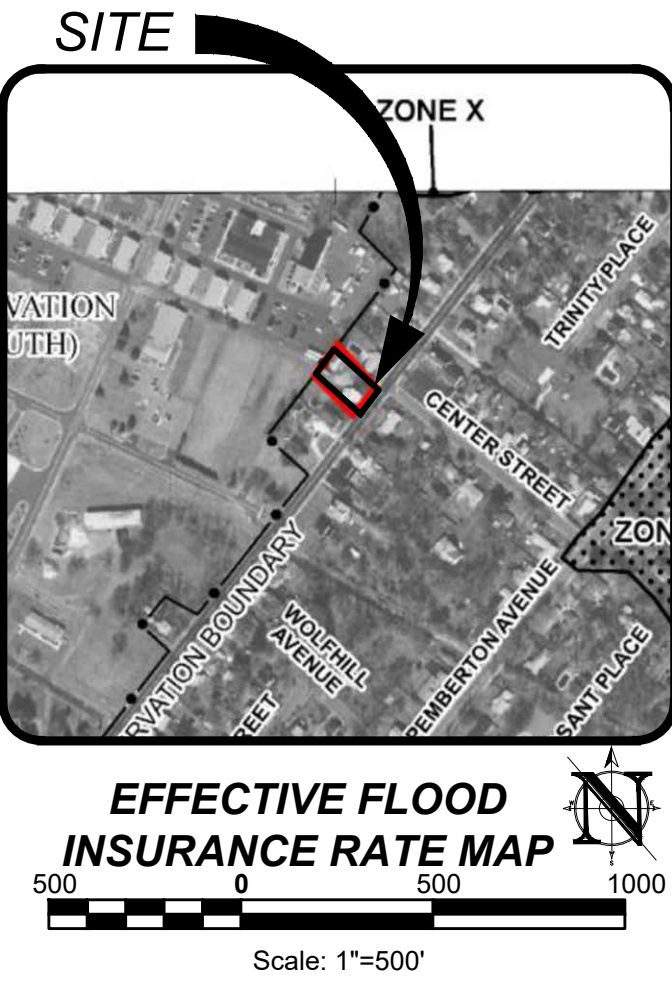
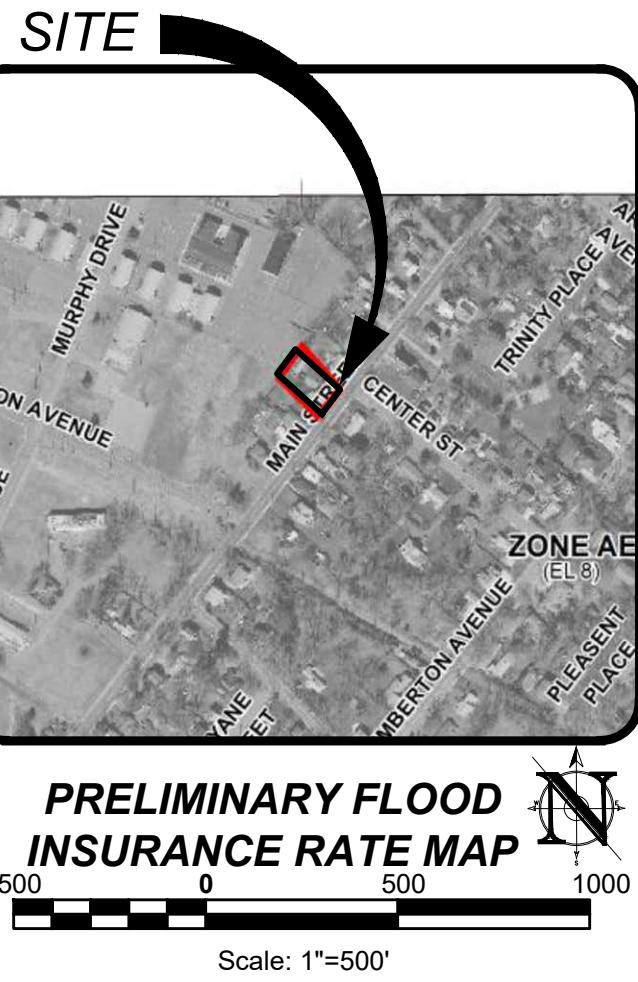


William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Planning Board Engineer and Planner

WHW/

cc: Jeffrey Beekman, Esq. (via email)
Kevin Kennedy, Esq., Board Attorney (via email)
Jay Batesh, P.E. (via email)
Robert Hudak, MPA, P.P., AICP (via email)

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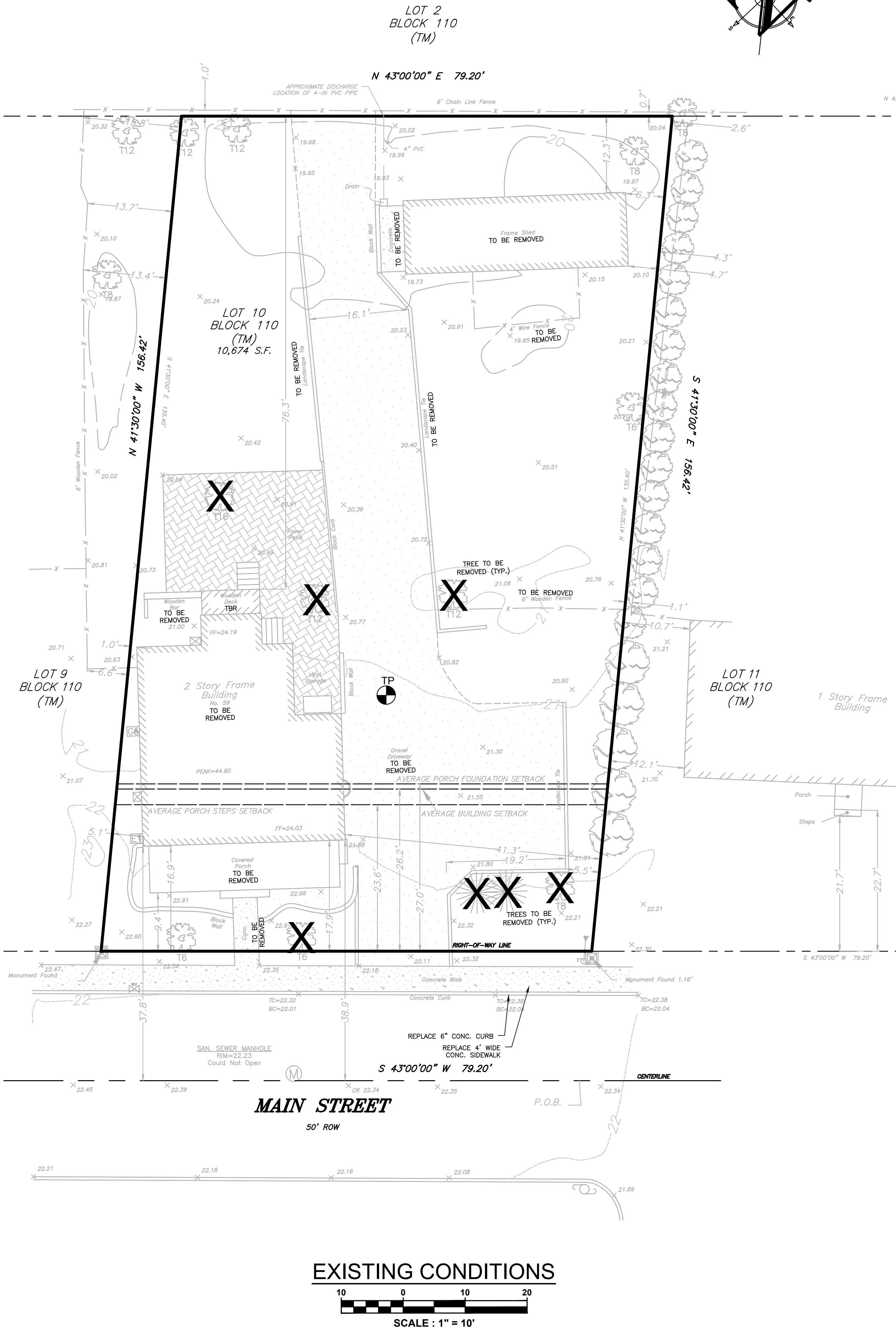


GENERAL NOTES

- SUBJECT PROPERTY**
TAX MAP #8: BLOCK 110, LOT 10, BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NJ
- OWNER / APPLICANT**
CELL & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757
- PURPOSE OF THIS PLAN SET**
THIS PLAN SET HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE BOROUGH OF OCEANPORT FOR ENGINEERING AND ZONING APPROVAL AND TO SUPPORT AN APPLICATION TO FRESHOLD SOIL CONSERVATION DISTRICT (FOR PLAN CERTIFICATION).
- PERMITS & APPROVALS**
CONTRACTOR IS RESPONSIBLE TO ENSURE COPIES OF ALL AGENCY PERMITS AND APPROVALS ARE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ANY CHANGES MADE TO THE APPROVED DESIGN DOCUMENTS AFTER MUNICIPAL PERMITS ARE ISSUED SHALL BE SUBMITTED TO THE MUNICIPALITY BY THE CONTRACTOR FOR REVIEW AND APPROVAL.
- SURVEY DATA**
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY LAKELAND SURVEYING, ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY", WITH THE LATEST REVISION BEING DATED 09/05/24. A SIGNED AND SEALED COPY OF THIS SURVEY SHALL ALWAYS ACCOMPANY THIS SITE PLAN AS AN INDEPENDENT SHEET. TOPOGRAPHIC INFORMATION ON THE SURVEY REFERENCES THE NAVD83 VERTICAL DATUM.
- ARCHITECTURAL INFORMATION**
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY SHORE POINTS ARCHITECTURE, ENTITLED "ZARATE RESIDENCE", WITH THE LATEST REVISION DATED 3/21/25.
- GEOTECHNICAL INFORMATION**
GEOTECHNICAL INFORMATION CONTAINED HEREON IS BASED ON A REPORT PREPARED BY SIMON ENGINEERING, LLC ENTITLED "59 MAIN ST OCEANPORT, NJ", WITH THE LATEST REVISION DATED 11/4/24.
- BASE FLOOD ELEVATION**
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #34025C0191F, DATED 09/25/09, THE SITE IS NOT LOCATED IN A FLOOD HAZARD AREA. ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)," COMMUNITY PANEL #34025C0191G, DATED 01/30/15, THE SITE IS NOT LOCATED IN A FLOOD HAZARD AREA ZONE. BOTH FEMA MAPS REFERENCE THE NAVD83 VERTICAL DATUM.
- STRUCTURAL FILL MATERIAL**
THE DEVELOPER SHALL BE RESPONSIBLE TO CONSULT A GEOTECHNICAL ENGINEER TO SUPERVISE THE PROPER SELECTION AND COMPACTION OF FILL MATERIAL DURING CONSTRUCTION.
- UNDERGROUND UTILITIES NOTIFICATION**
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR SHALL CALL PLANT LOCATION SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
- VERIFICATION OF UTILITIES**
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS.
- EXISTING UTILITIES**
ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED. THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- LIMIT OF DISTURBANCE**
PRIOR TO THE START OF SITE WORK, THE LIMIT OF DISTURBANCE SHALL BE DELINEATED WITH SNOW FENCING OR OTHER APPROPRIATE MARKERS. SOIL DISTURBANCE IS GREATER THAN 5,000 SF AND PLAN CERTIFICATION FROM THE SOIL CONSERVATION DISTRICT IS REQUIRED.
- RESTORATION**
ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED "IN-KIND" AS NEARLY AS PRACTICAL TO THEIR ORIGINAL STATE. AREAS WHERE SOIL IS LEFT EXPOSED SHALL BE GRADED, RAKED SMOOTH AND SEEDED IMMEDIATELY UPON COMPLETION OF SOIL DISTURBANCE.
- POTABLE WATER**
PRIOR TO THE START OF CONSTRUCTION, A COPY OF THIS PLAN SHALL ACCOMPANY AN APPLICATION TO THE APPLICABLE WATER COMPANY SO THAT CONNECTION TO THE EXISTING WATER MAIN IS COORDINATED PROPERLY.
- SANITARY SEWER**
PRIOR TO THE START OF CONSTRUCTION, A COPY OF THE PLAN SHALL ACCOMPANY AN APPLICATION TO THE APPLICABLE SEWERAGE AUTHORITY SO THAT CONNECTION TO THE EXISTING SANITARY SEWER SYSTEM IS COORDINATED PROPERLY.
- STRUCTURAL ENGINEERING**
THIS PLAN DOES NOT INCLUDE OR IMPLY STRUCTURAL ENGINEERING DETAILS OR PROVISIONS, INCLUDING FOUNDATIONS, BULKHEADS, AND RETAINING WALLS.
- NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP)**
THE APPLICANT/OWNER IS RESPONSIBLE FOR SECURING ANY REQUIRED APPROVALS FROM THE NJDEP.
- CONSTRUCTION REQUIREMENTS**
 - ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
 - ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.

LEGEND

EXISTING		PROPOSED
	BOUNDARY LINE	
	CONTOUR LINE	
	SPOT ELEVATION	
	BUILDING	
	WALL	
	GAS	
	WATER	
	INLET	
	STORM	
	SANITARY MAIN	
	SANITARY LATERAL	
	OVERHEAD WIRE	
	ELECTRIC	
	TELEPHONE	
	UTILITY POLE	
	HYDRANT	
	SIGN POST	
	FENCE	
	LIGHT FIXTURE	
	TEST PIT LOCATION	
	GRADE FLOW ARROW	
	SWALE CENTER LINE	



PROJECT INFORMATION

PROJECT NAME:

59 MAIN STREET

PROJECT LOCATION:

BLOCK 110, LOT 10
59 MAIN STREET
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER / APPLICANT:

CELL & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ARCHITECT:

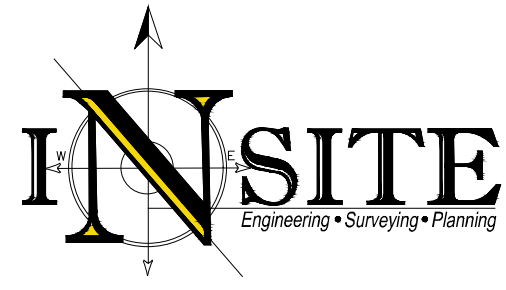
SHORE POINTS ARCHITECTURE PA
108 S MAIN STREET
OCEAN GROVE, NJ 07756

SURVEYOR:

LAKELAND SURVEY
4 WEST MAIN STREET
ROCKAWAY, NJ 07866



CALL BEFORE YOU DIG!
NJ ONE CALL ... 800-272-1000
(or local 7 days prior to excavation)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLEDALE, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL ENGINEER, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

Jeremy W. Battesh, PE
JEREMY W. BATESH, PE
PROFESSIONAL ENGINEER
NJ P.E. LIC. NO. 24GE05315700

REVISIONS

Rev # Date Comment

1 06/27/25 REV. DRIVEWAY

0 09/19/25 INITIAL RELEASE

SCALE: 1"=10'

DATE: 03/13/25

JOB #: 25-2483-01

NOT FOR CONSTRUCTION

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

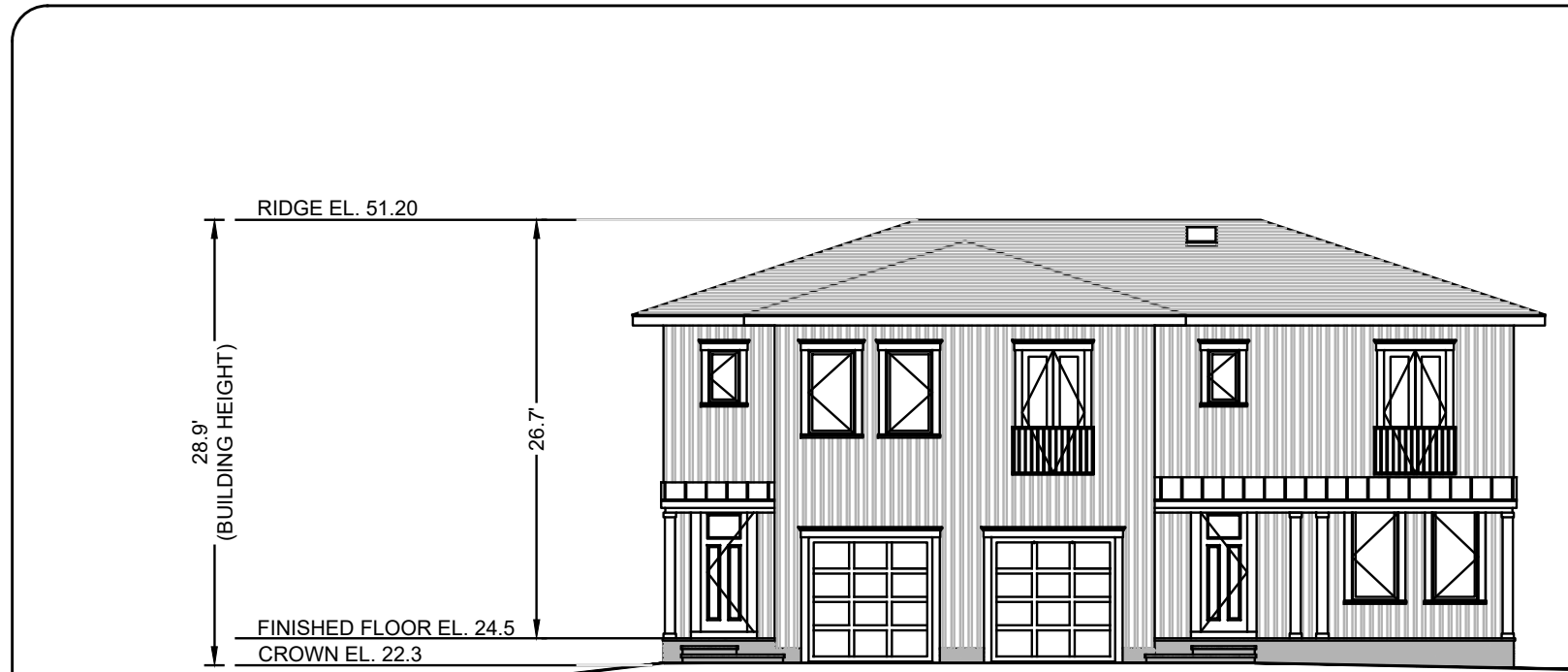
PLOT PLAN

SHEET TITLE:

EXISTING CONDITIONS

SHEET NO.:

1 OF 6

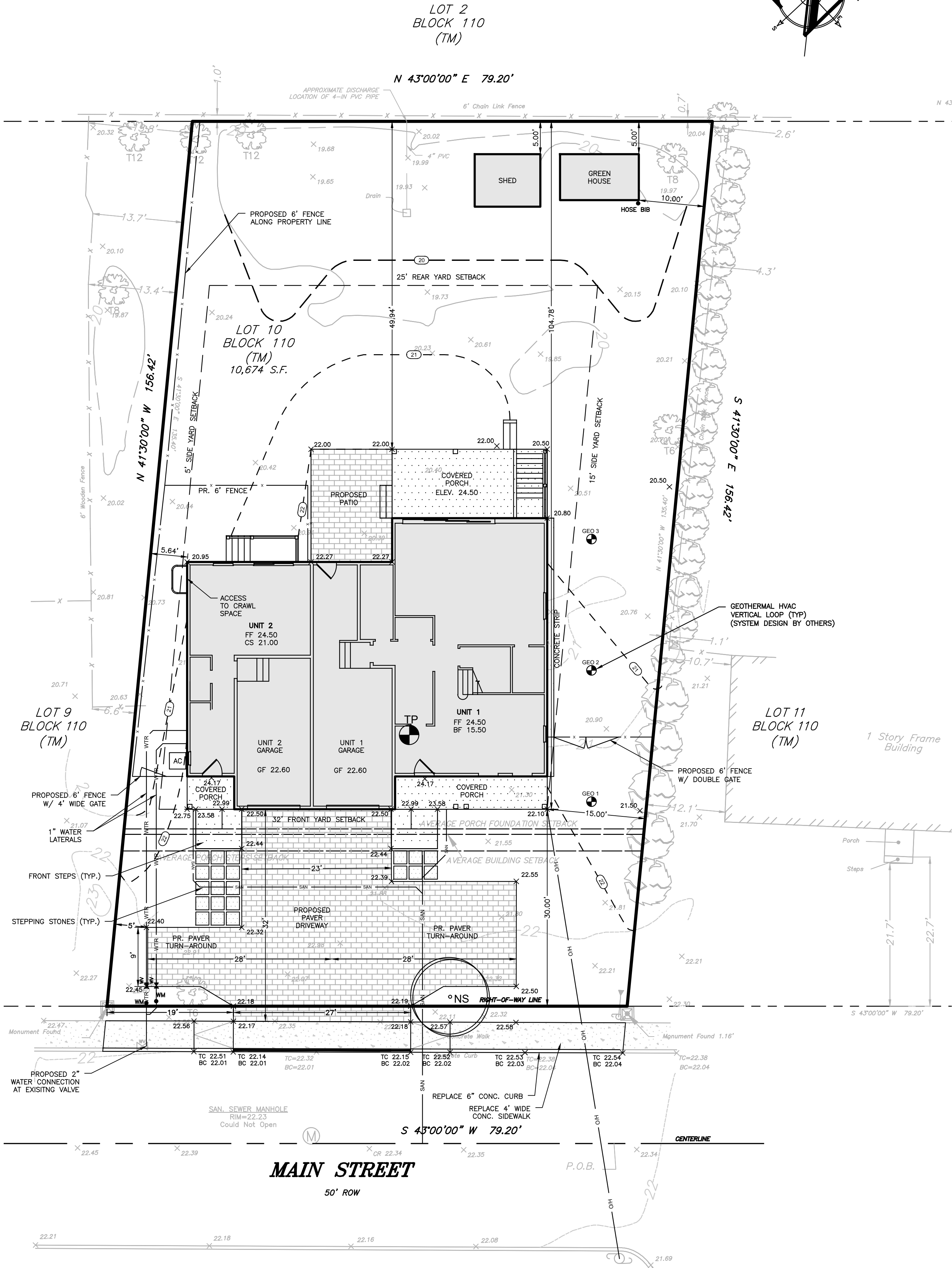


BUILDING HEIGHT COMPLIANCE PER MUNICIPAL ORDINANCE
NTS

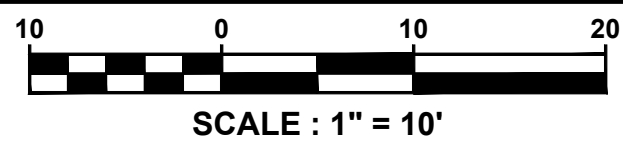
ZONING COMPLIANCE CHART					
RESIDENTIAL SINGLE FAMILY - R5 ZONE (§390 ATTACH. I)					
TWO-FAMILY DWELLING: PERMITTED USE					
ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
390-ATTCH. I	MIN. LOT AREA (SF)	7,000 SF / DWELLING	10,674 (0.245 AC)	5,337 SF / DWELLING (V)	NO (V)
390-ATTCH. I	MIN. LOT WIDTH (FT)	70 FT / DWELLING	79.2	39.6 FT / DWELLING (V)	NO (V)
390-ATTCH. I	MIN. LOT FRONTAGE (FT)	N/A	79.2	NO CHANGE	YES
390-ATTCH. I	MIN. LOT DEPTH (FT)	100	155.7	NO CHANGE	YES
PRINCIPAL BUILDING					
390-ATTCH. I	MIN. FRONT YARD SETBACK (FT)	30 (1)	9.4 (N)	30.00 (X)	YES
390-ATTCH. I	MIN. REAR YARD SETBACK (FT)	25	76.3	49.94	YES
390-ATTCH. I	MIN. SIDE YARD SETBACK	15	1 (N)	15.00 (X)	YES
390-ATTCH. I	ONE SIDE (FT)	20	42.3	20.64	YES
390-ATTCH. I	BOTH SIDES (FT)	35 (2)	22.3	28.9	YES
390-ATTCH. I	MAX. BUILDING HEIGHT (FT)	2.5	2	2	YES
390-ATTCH. I	MAX. BUILDING HEIGHT (STORIES)				
ACCESSORY BUILDING					
390-19 C	ALLOWABLE YARD LOCATION	SIDE OR REAR	REAR	REAR	YES
390-ATTCH. I	MIN. REAR YARD SETBACK (FT)	5	12.3	5	YES
390-ATTCH. I	MIN. SIDE YARD SETBACK (FT)	10	4.7	10	YES
390-19 D	MAX. BUILDING HEIGHT (FT / STORIES)	15 / 1	(a) / 1-STORY	TO COMPLY	YES
PARKING AND DRIVEWAY REQUIREMENTS					
RSIS 5.21	MIN. PARKING REQUIREMENT PER DWELLING UNIT	2-BR UNIT: 1.5 SPACES 4-BR UNIT: 2.5 SPACES TOTAL = 4.0 SPACES	3	4	YES
390-26 A	MIN. DRIVEWAY SETBACK FROM SIDE YARD (FT)	5	5.5	5	YES
390-26 A	MIN. DRIVEWAY SETBACK FROM REAR YARD (FT)	15	0	104.78 (X)	YES
390-26 B	MAX. DRIVEWAY WIDTH (FT)	36 (5)	16.1	27	YES
390-26 D	MAX. NUMBER OF DRIVEWAYS	1 (3)	1	1	YES
390-26 G.2	MIN. K-TURNAROUND DEPTH (FT)	28	19.2 (N)	28 (X)	YES
390-26 G.2	MIN. K-TURNAROUND SIDE YARD SETBACK (FT)	5	5.5	5	YES
390-26 G.2	MIN. K-TURNAROUND REAR YARD SETBACK (FT)	15	>15	>15	YES
LOT COVERAGE					
390-ATTCH. I	MAX. BUILDING COVERAGE (%)	25	15.6	24.7	YES
390-ATTCH. I	MAX. ACCESSORY BUILDING COVERAGE (%)	5	4.0	1.5	YES
390-ATTCH. I	MAX. IMPERVIOUS COVERAGE (%)	40 (4)	46.0	36.8	YES
390-ATTCH. I	MAX. DWELLING UNITS PER ACRE	6.3	4.1 (1-UNIT)	8.2 (2-UNITS) (V)	NO (V)
(N) EXISTING NON-COMPLIANCE (I) IMPROVED CONDITION N/A - NOT APPLICABLE					
(E) EXISTING VARIANCE (X) VARIANCE / NON-COMPLIANCE ELIMINATED N/S - NOT SPECIFIED					
(V) PROPOSED VARIANCE (W) PROPOSED WAIVER					
(a) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE					
(1) PER SECTION 390-17 B - IN RESIDENTIAL DISTRICTS, NO PRINCIPAL BUILDING SHALL BE NEARER TO THE STREET LINE OF ANY STREET THAN FIVE FEET OF THE AVERAGE ALIGNMENT OF THE EXISTING PRINCIPAL BUILDINGS WITHIN 200 FEET OF EACH SIDE OF THE LOT ON THE SAME BLOCK. BUILDINGS UTILIZED FOR COMPARISON SHALL BE LOCATED ON THE SAME SIDE OF THE STREET AS THE PRINCIPAL BUILDING AND IN ANY EVENT SHALL NOT VIOLATE THE MINIMUM FRONT YARD SETBACK.					
(2) THE VERTICAL DISTANCE AS MEASURED BY THE CROWN OF THE ROAD OF THE IMPROVED STREET ON WHICH IT FRONTS AT THE MIDPOINT OF THE LOT TO THE HIGHEST POINT OF THE STRUCTURE, EXCLUDING SUCH APPURTENANCES INCLUDING: CHIMNEYS; FLAGPOLES; FIRE TOWERS; STEEPLES; TANKS; WATER TOWERS; ORNAMENTAL TOWERS OR SPIRES; COMMUNICATIONS, RADIO OR TELEVISION TOWERS; MASTS AND AERIALS; OR NECESSARY MECHANICAL APPURTENANCES AND PARTIALLY ENCLOSED GRANDSTAND FACILITIES.					
(3) PER SECTION 390-26 D, RESIDENTIAL PROPERTIES WITH GREATER THAN 100 FEET OF FRONTAGE ON A SINGLE STREET SHALL BE PERMITTED UP TO A TOTAL OF TWO DRIVEWAYS, OTHERWISE ONLY A SINGLE DRIVEWAY IS PERMITTED.					
(4) AN AREA EQUAL TO 350 SQUARE FEET FOR USE OF A VEHICLE TURNAROUND AREA ON A RESIDENTIAL LOT SHALL NOT BE CONSIDERED IMPERVIOUS COVERAGE.					
(5) PER SECTION 390-26 B, RESIDENTIAL DRIVEWAYS SHALL BE LIMITED TO 24 FEET WIDE FOR GARAGES THAT FACE THE STREET AND MAY TRANSITION TO 36 FEET WIDE STARTING AT A POINT 24 FEET FROM THE DWELLING.					

PLANTING SCHEDULE				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
NS	1	DECIDUOUS TREES (1)	BLACK GUM	2 1/2" CAL.
		NYSSA SYLVATICA		OVAL, 4' BRANCH HT

LEGEND	
EXISTING	PROPOSED



PROPOSED CONDITIONS



PROJECT INFORMATION

PROJECT NAME:

59 MAIN STREET

PROJECT LOCATION:

BLOCK 110, LOT 10
59 MAIN STREET
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER / APPLICANT:

CELI & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ARCHITECT:

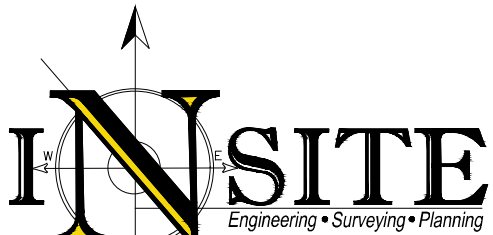
SHORE POINTS ARCHITECTURE PA
108 S MAIN STREET
OCEAN GROVE, NJ 07756

SURVEYOR:

LAKELAND SURVEY
4 WEST MAIN STREET
ROCKAWAY, NJ 07866



CALL BEFORE YOU DIG!
NJ ONE CALL: 800-272-1000
(or 800-272-1000)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLENTOWN, NJ 07401

20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050

732-531-7100 (Ph) 732-531-7344 (Fax)

InSite@InSiteEng.net www.InSiteEng.net

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Jeremy W. Battesh, PE

PROFESSIONAL ENGINEER

NJ P.E. LIC. NO. 24GE05315700

REVISIONS

Rev. #

Date

Comment

1 06/27/25 REV. DRIVEWAY

0 03/13/25 INITIAL RELEASE

SCALE: 1"=10'

DATE: 03/13/25

JOB #: 25-2483-01

NOT FOR CONSTRUCTION

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

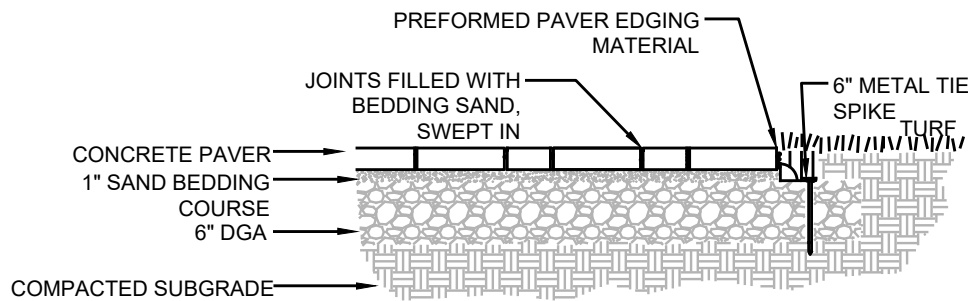
PLOT PLAN

SHEET TITLE:

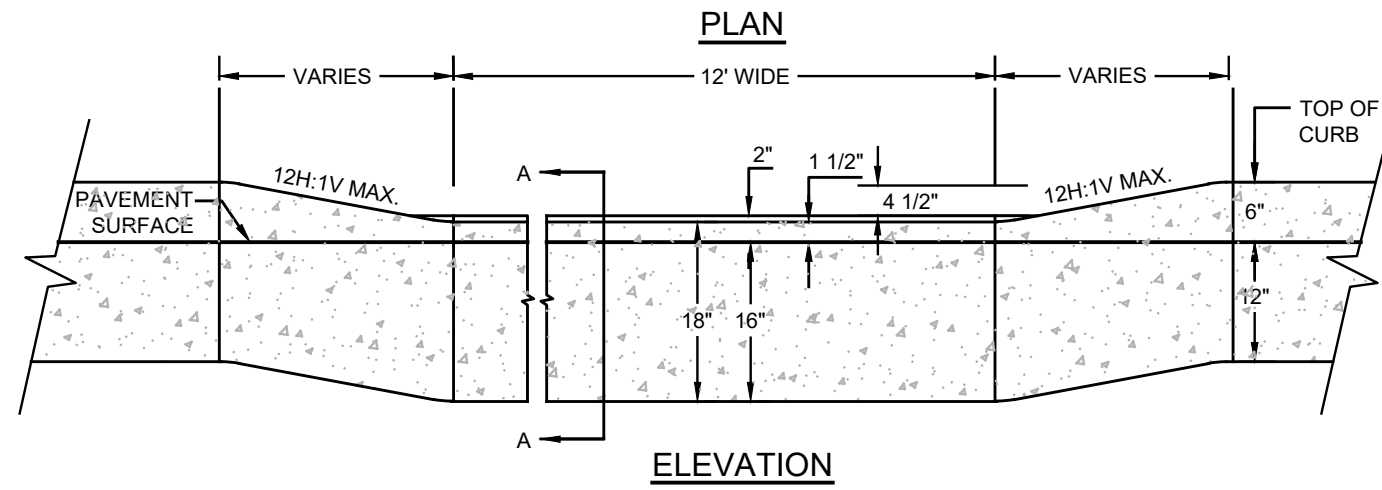
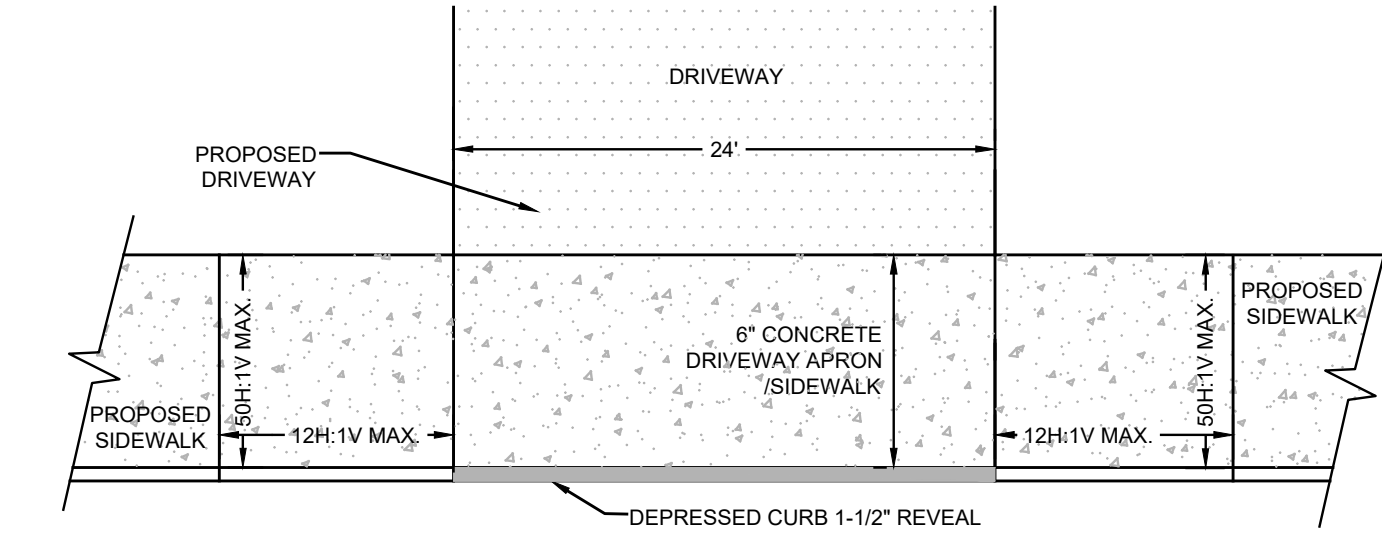
PLAN

SHEET NO.:

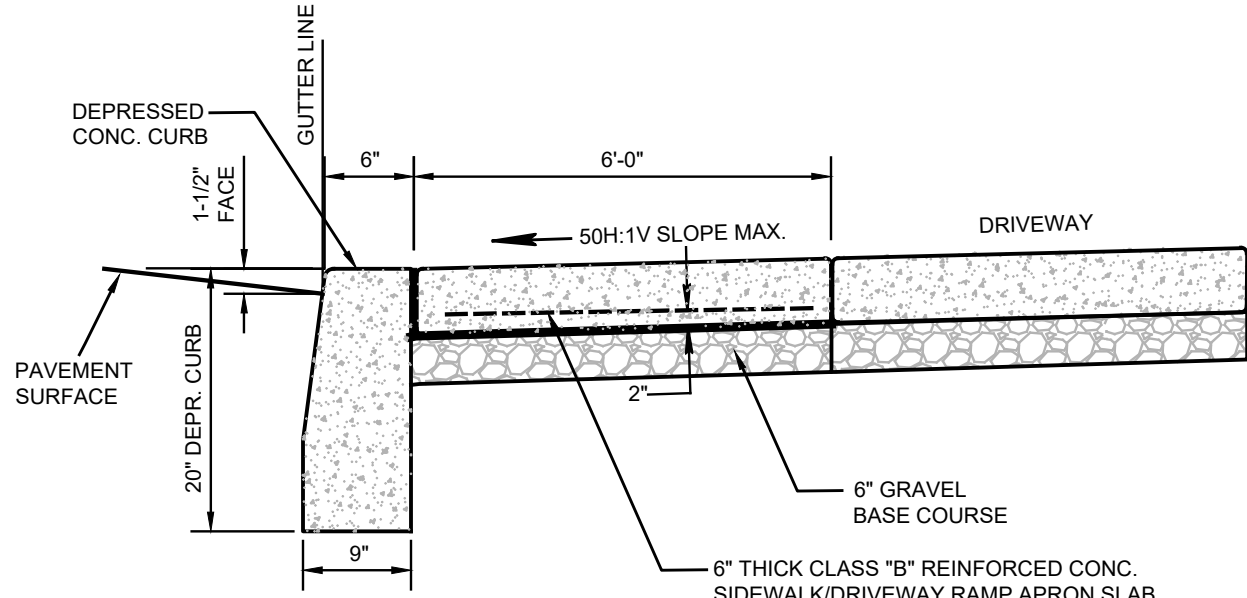
2 OF 6



CONCRETE PAVER DRIVEWAY
NTS

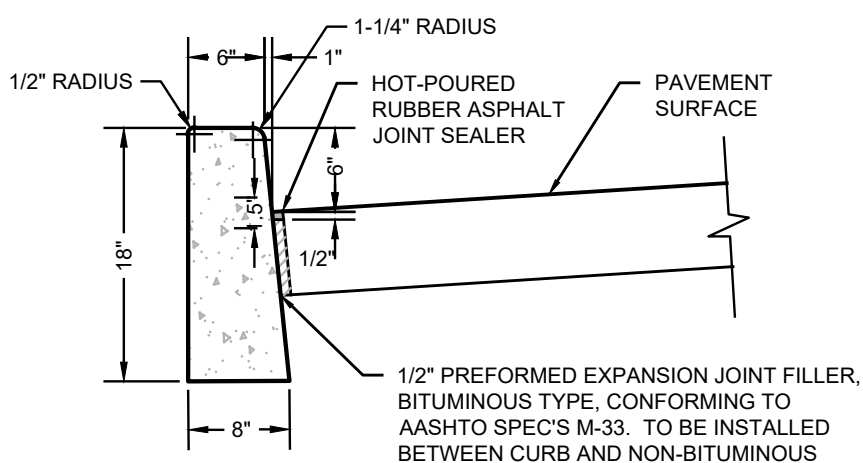


- NOTES:**
1. ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
 2. PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 3. PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6-W2.9XW2.9 AT DRIVEWAY APRONS.
 4. CURB AND SIDEWALK SHALL BE POURED SEPARATELY.
 5. LONGITUDINAL JOINTS BETWEEN CURB AND SIDEWALK SHALL BE PREFORMED BITUMINOUS FIBER EXPANSION MATERIAL 1/2" THICK.
 6. FOR CURB, PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" MAXIMUM INTERVALS. PROVIDE DUMMY JOINTS (FORMED) MIDWAY BETWEEN EXPANSION JOINTS.



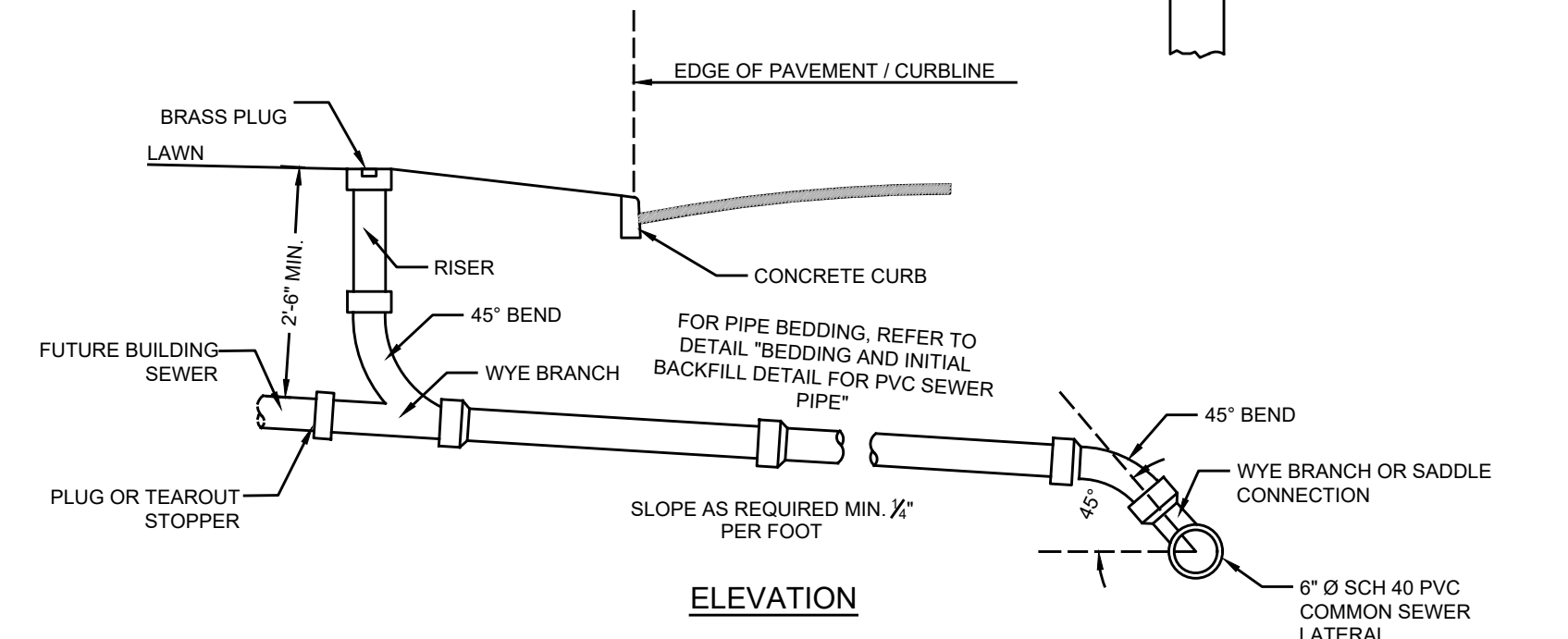
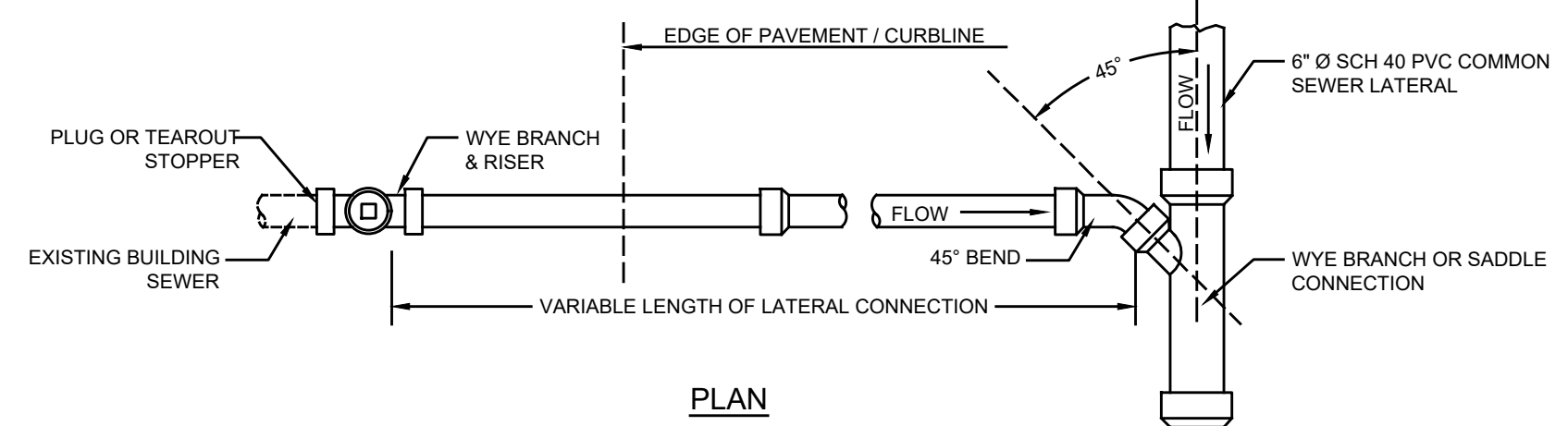
- NOTES:**
1. ALL CONCRETE TO BE 4,500 PSI MINIMUM.
 2. SIDEWALK AND APRON TO BE CONSTRUCTED TO MEET EXISTING DRIVEWAY AT BACK OF PROPOSED SIDEWALK. TRANSITION SLOPE FROM NEW SIDEWALK TO EXISTING DRIVEWAY NOT TO EXCEED 8.33%.

DEPRESSED CURB, DRIVEWAY APRON & SIDEWALK
NTS



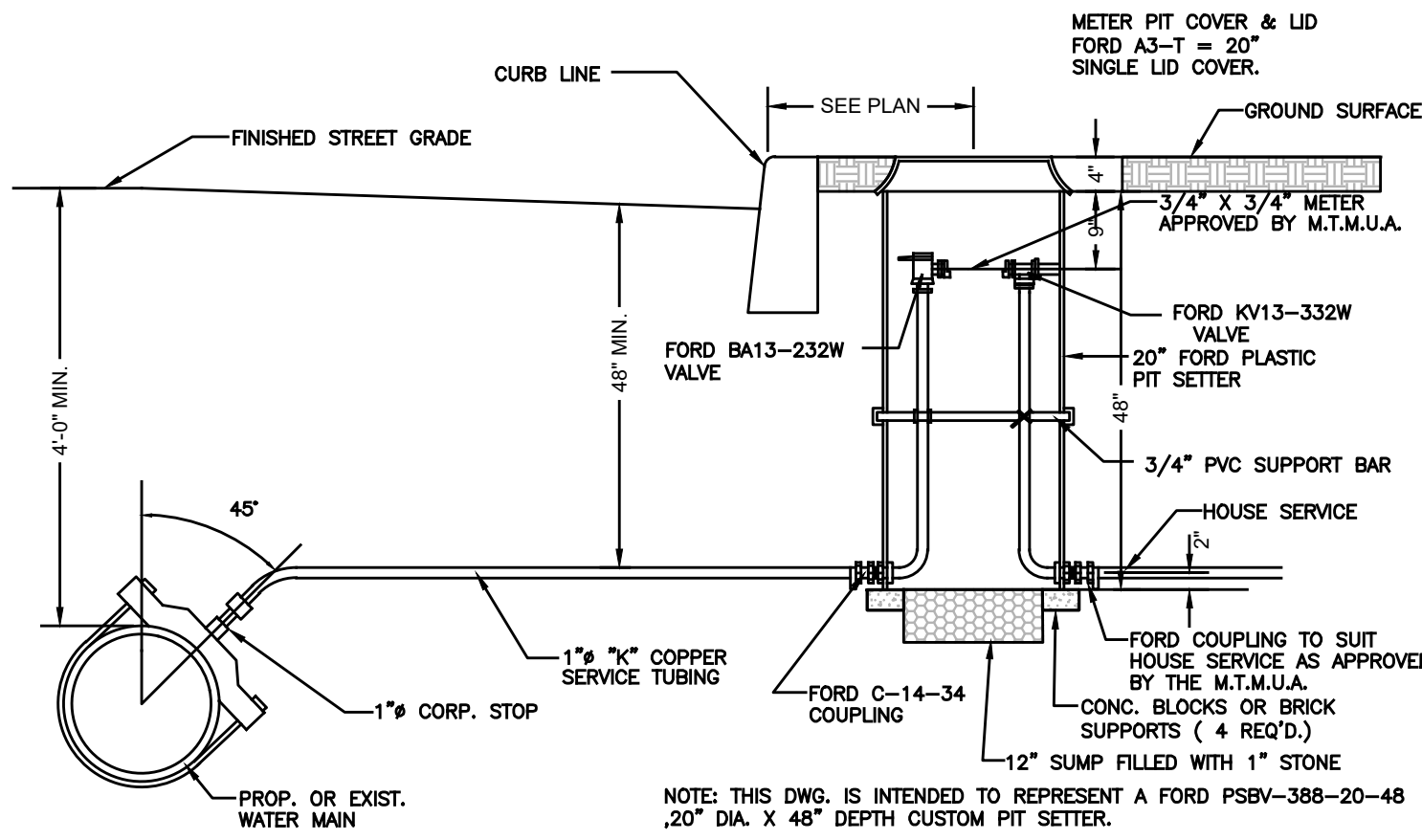
- NOTES:**
1. CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).
 2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20' - 0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
 3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
 4. WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".

CONCRETE VERTICAL CURB
NTS

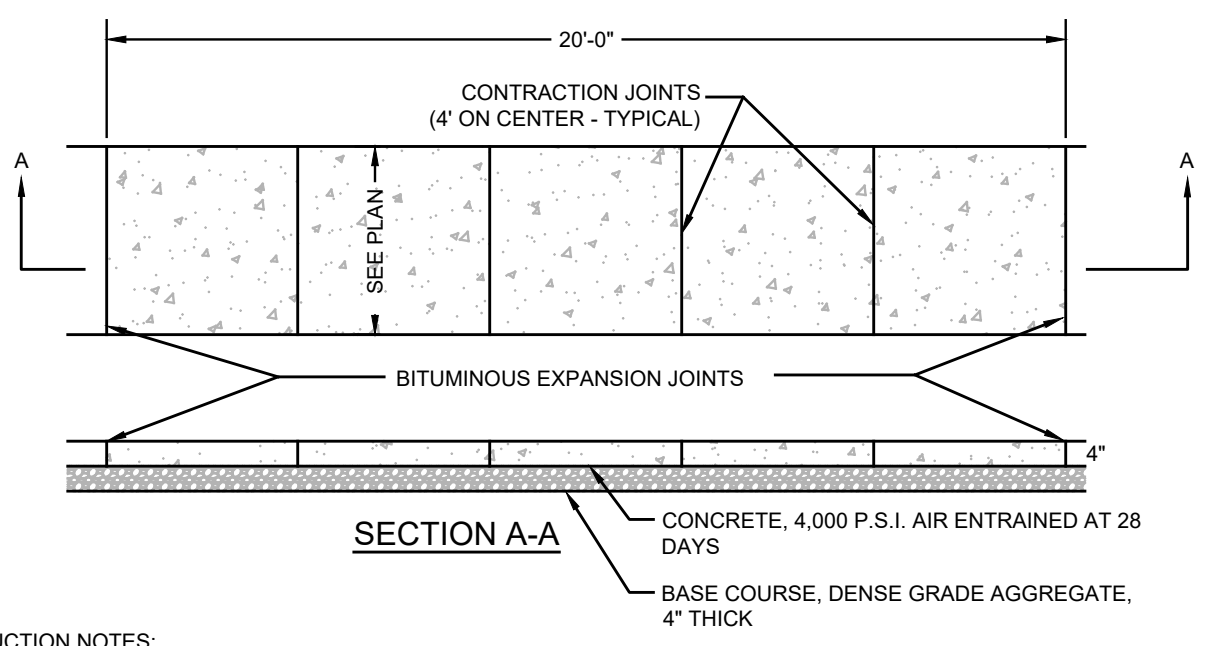


STANDARD LATERAL CONNECTION WITH CLEANOUT - SEWER DEPTH 10' OR LESS
NTS

IN ACCORDANCE WITH NJAC 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAI (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.



TYPICAL SERVICE CONNECTION WITH FORD METER PIT
NTS



- CONSTRUCTION NOTES:**
1. SUBGRADE SHALL BE WELL DRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
 2. THE SIDEWALK SHALL BE FINISHED WITH A WOOD FLOAT FOLLOWED BY BRUSHING WITH A WET SOFT HAIR BRUSH.
 3. A FULL DEPTH TRANSVERSE EXPANSION JOINT IS TO BE CUT EVERY 20 LINEAR FEET. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, WHICH SHALL BE FLUSH WITH THE TOP. A FALSE TRANSVERSE JOINT IS TO BE CUT EVERY 4 LINEAR FEET.
 4. WHERE SIDEWALK ADJOINS A CURB OR OTHER STRUCTURE, A 1/2" PREFORMED JOINT FILLER SHALL BE INSTALLED.
 5. SEE 'DRIVEWAY APRON AND CURB SECTION' DETAIL FOR SPECIFICATIONS OF SIDEWALK WHEN CROSSING A DRIVEWAY.

CONCRETE SIDEWALK
NTS

PROJECT INFORMATION

PROJECT NAME:
59 MAIN STREET

PROJECT LOCATION:
BLOCK 110, LOT 10
59 MAIN STREET
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER / APPLICANT:
CELLI & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ARCHITECT:
SHORE POINTS ARCHITECTURE PA
108 S MAIN STREET
OCEAN GROVE, NJ 07756

SURVEYOR:
LAKELAND SURVEY
4 WEST MAIN STREET
ROCKAWAY, NJ 07866



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(or dial 811 days prior to excavation)

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InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
□ 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
□ 165 CHESTNUT STREET, SUITE 200,
ALLENDALE, NJ 07401
□ 20 N. MAIN STREET, SUITE 2B,
MANAHAWKIN, NJ 08050
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Jeremy W. Battesh
JEREMY W. BATTESH, PE
PROFESSIONAL ENGINEER
NJ PE LIC. NO. 24GE05315700

REVISIONS		
Rev #	Date	Comment

1	06/27/25	REV. DRIVEWAY
0	03/13/25	INITIAL RELEASE
SCALE: 1"=10'		DESIGNED BY: STC
DATE: 03/13/25		DRAWN BY: STC
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☒ NOT FOR CONSTRUCTION		
APPROVED BY:		
☐ FOR CONSTRUCTION		

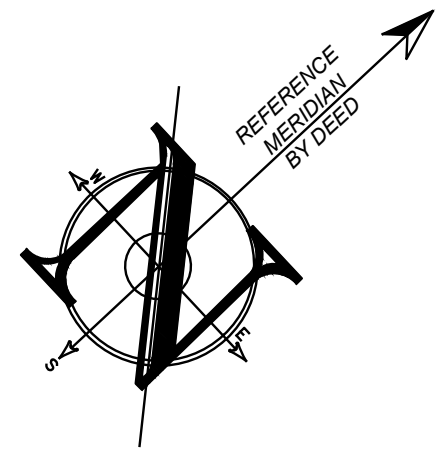
PLAN INFORMATION

DRAWING TITLE:
PLOT PLAN

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NO.:
3 OF 6

File: X:\data\3483 - Cell_Zoning\3483-2483-01 - 59 Main Street_Conceptual_NA\25248301\040\Map\01 - Plot_Plan.dwg, ---- 04-SE-2024
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10 0 10 20
SCALE : 1" = 10'

NOTE:
ALL PAVED SURFACES TO BE SWEEPED
DAILY DURING CONSTRUCTION.

LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL EROSION LEGEND	
LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	
INLET PROTECTION	
PROPOSED TREE PROTECTION	

CONSTRUCTION / SPPP NOTE

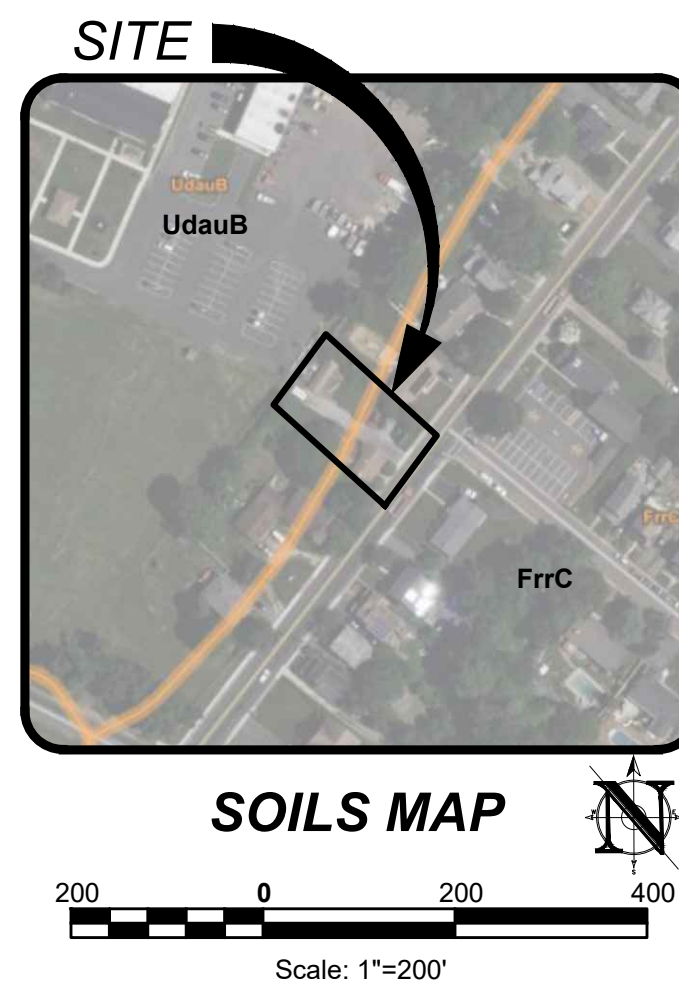
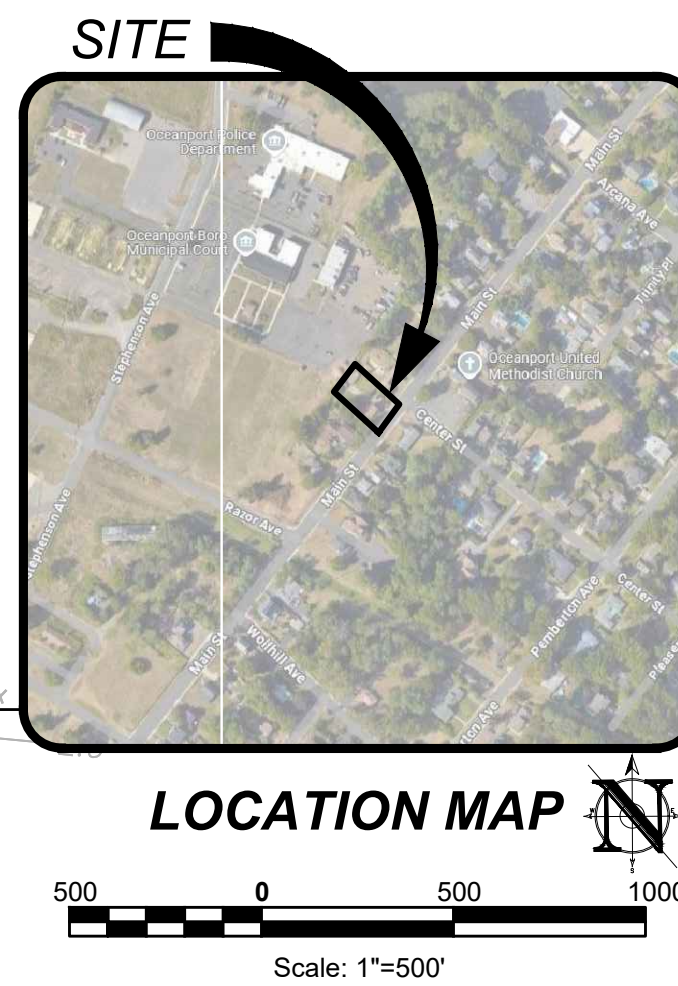
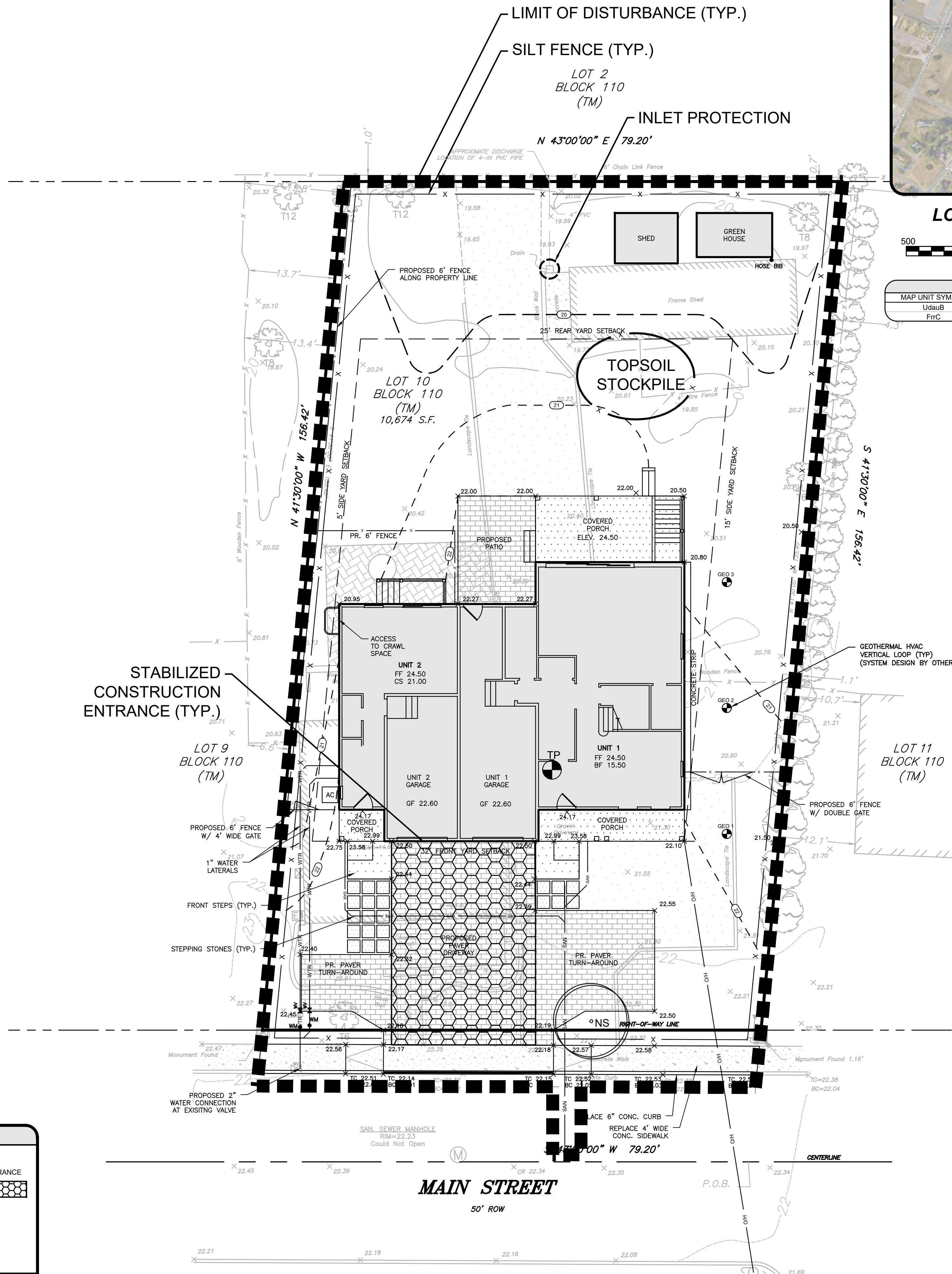
THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.26 AC.

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF "URBAN REDEVELOPMENT" AND IS CONSIDERED "PREVIOUSLY DEVELOPED" (PA 1) AS DEFINED BY THE NJDEP. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017), THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.



SOIL DESIGNATION LEGEND		
MAP UNIT SYMBOL	MAP UNIT NAME	RATING
UdauB	Udorthents - Urban land complex, 0 to 8 percent slopes	D
FrrC	Freehold - Urban land complex, 0 to 10 percent slopes	B

PROJECT INFORMATION

PROJECT NAME:

59 MAIN STREET

PROJECT LOCATION:

BLOCK 110, LOT 10
59 MAIN STREET
BOROUGH OF OCEANPORT,
MONMOUTH COUNTY, NJ

OWNER / APPLICANT:

CELLI & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ARCHITECT:

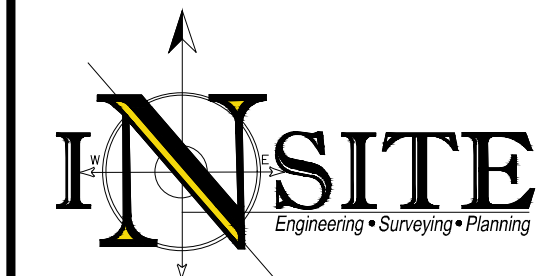
SHORE POINTS ARCHITECTURE PA
108 S MAIN STREET
OCEAN GROVE, NJ 07756

SURVEYOR:

LAKELAND SURVEY
4 WEST MAIN STREET
ROCKAWAY, NJ 07866



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(or local 7 days prior to excavation)



InSite Engineering, LLC

CERTIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

165 CHESTNUT STREET, SUITE 200,
ALLENTOWN, NJ 07401

20 N. MAIN STREET, SUITE 2B,
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NJ P.E. LIC. NO. 24GE05315700

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DESIGNED BY: STC

DATE: 03/13/25

DRAWN BY: STC

JOB #: 25-2483-01

CHECKED BY: JWB

NOT FOR CONSTRUCTION

APPROVED BY:

FOR CONSTRUCTION

PLAN INFORMATION

DRAWING TITLE:

PLOT PLAN

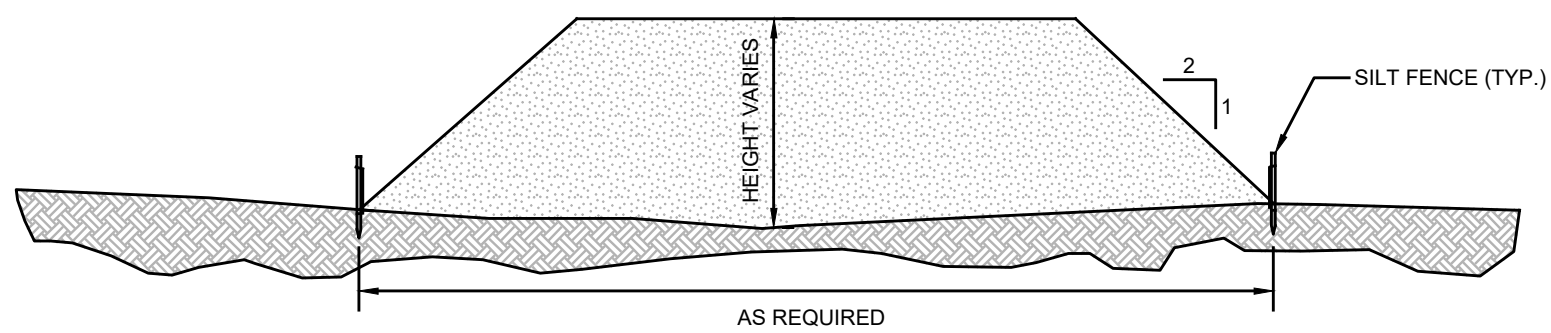
SHEET TITLE:

SOIL EROSION & SEDIMENT

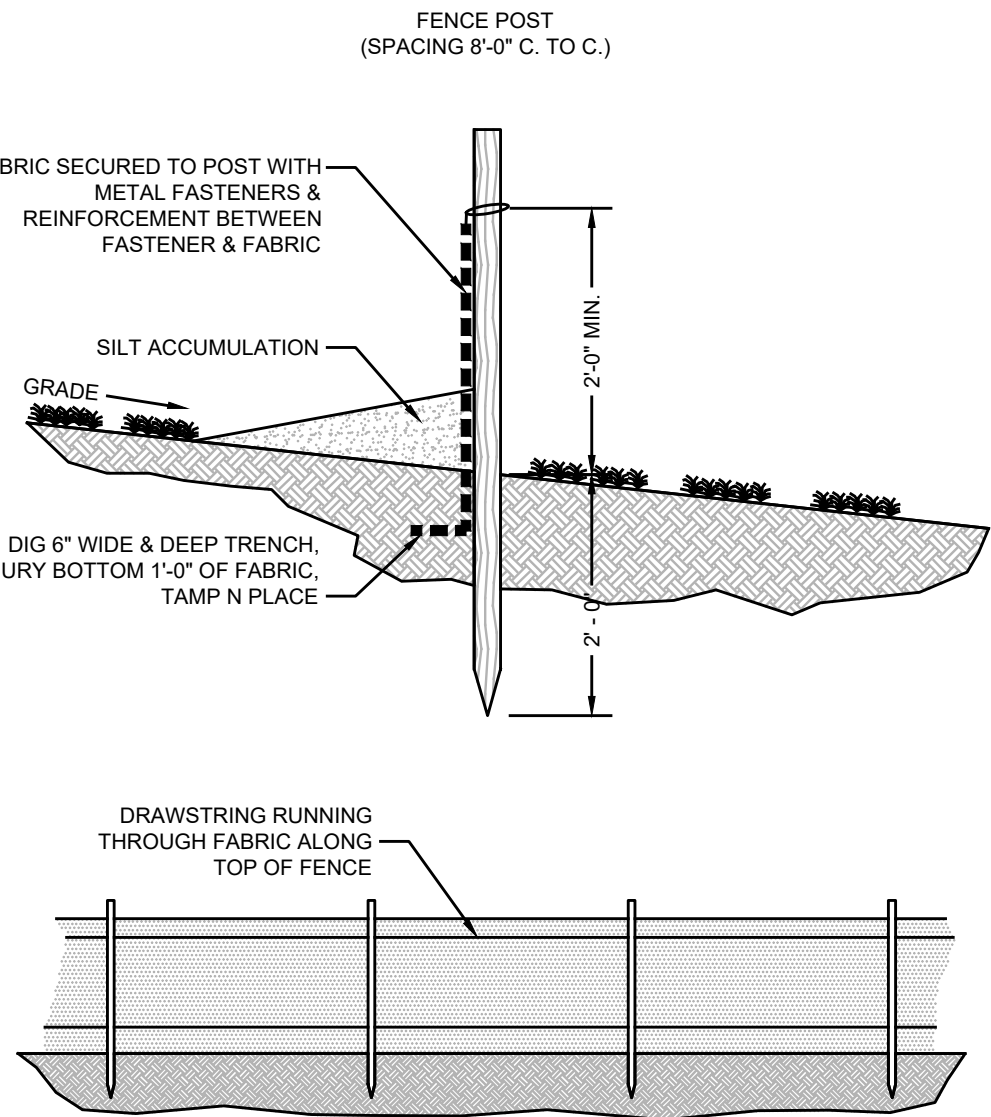
CONTROL PLAN

SHEET NO.:

4 OF 6

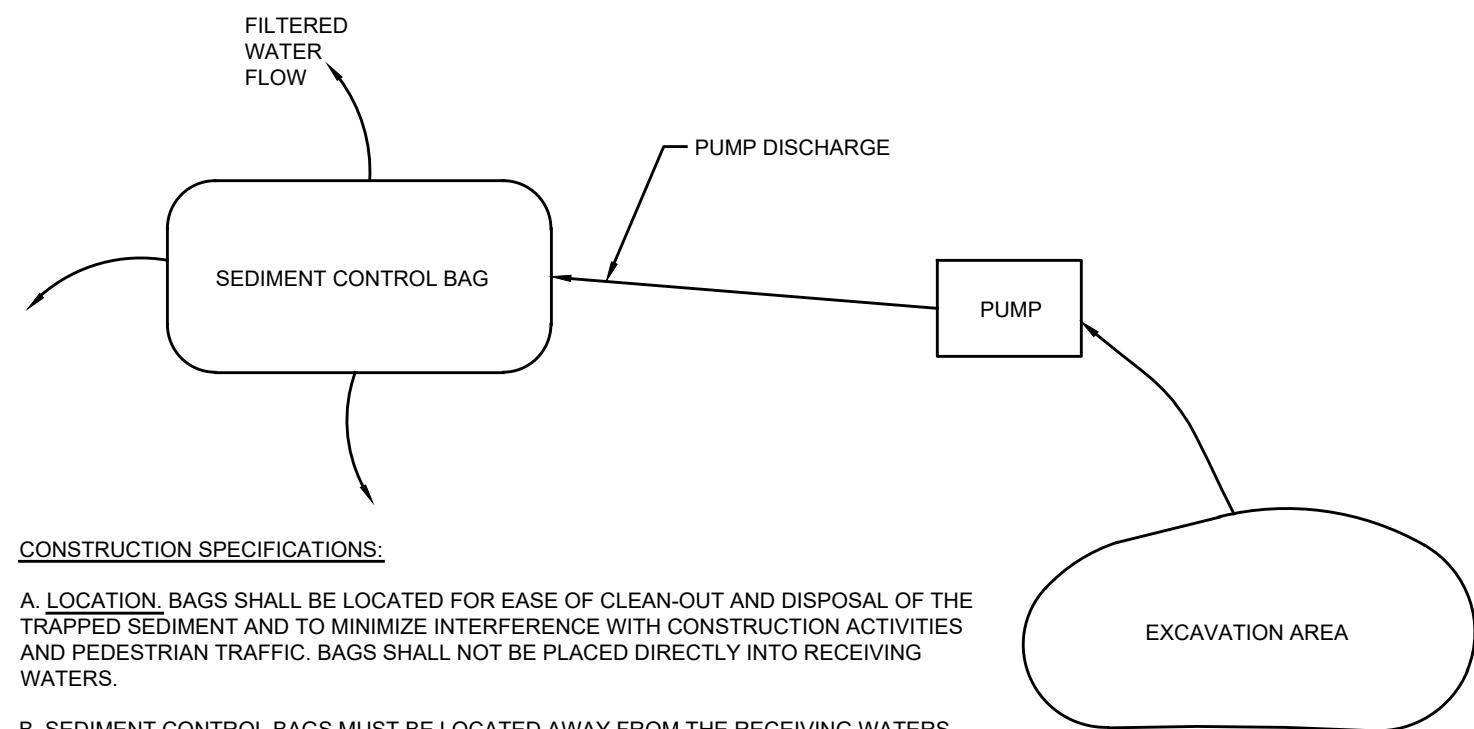


SECTION THROUGH SOIL STOCKPILE (TYP.)
NTS

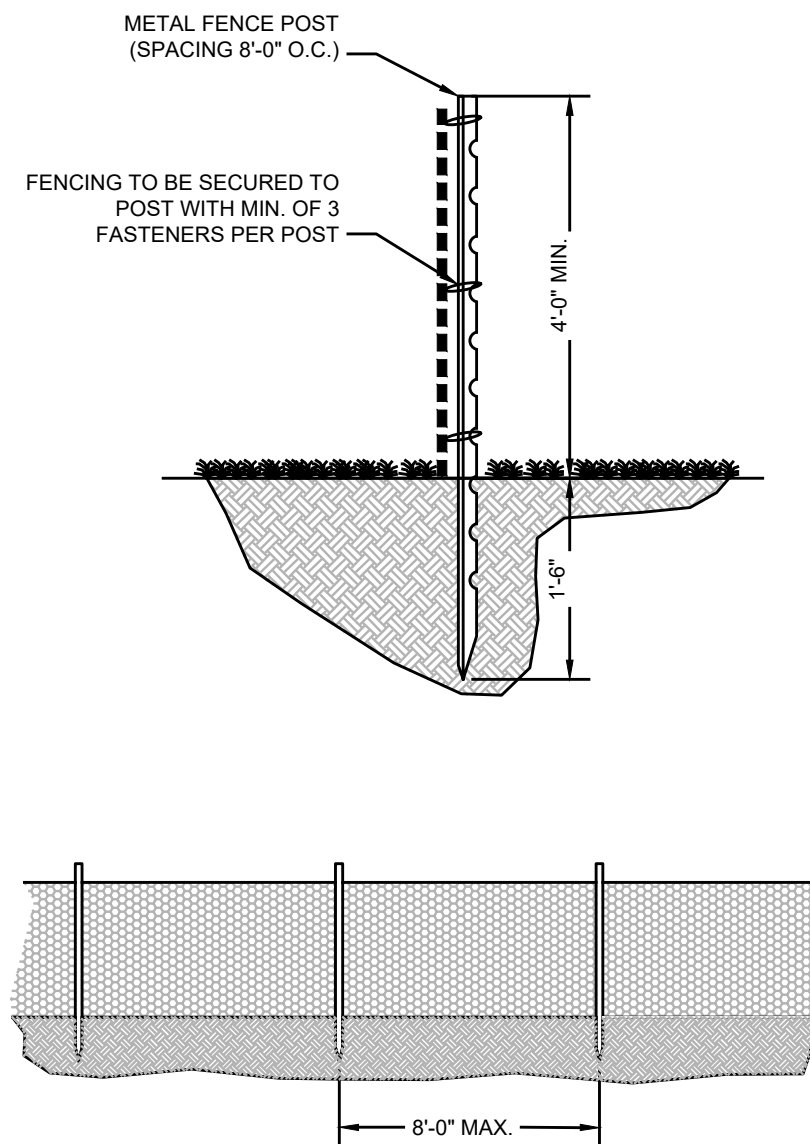


SILT FENCE DETAIL
NTS

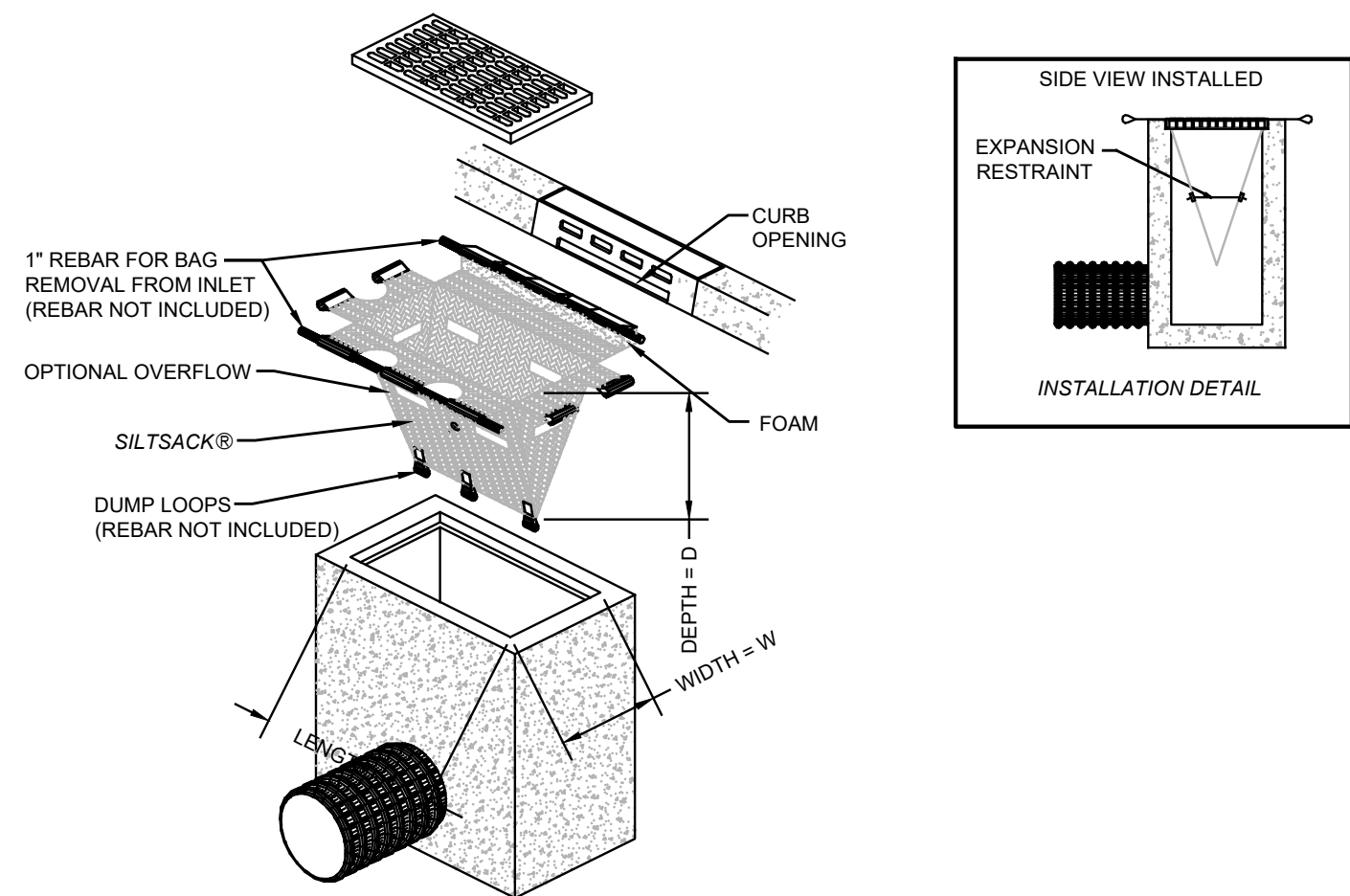
- SEDIMENT BARRIER MAINTENANCE**
1. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE BARRIER WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
 2. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES ETC.) WHEN DAMAGED.
 3. BARRIERS SHALL BE INSPECTED DAILY FOR SIGNS OF DETERIORATION AND SEDIMENT REMOVAL.



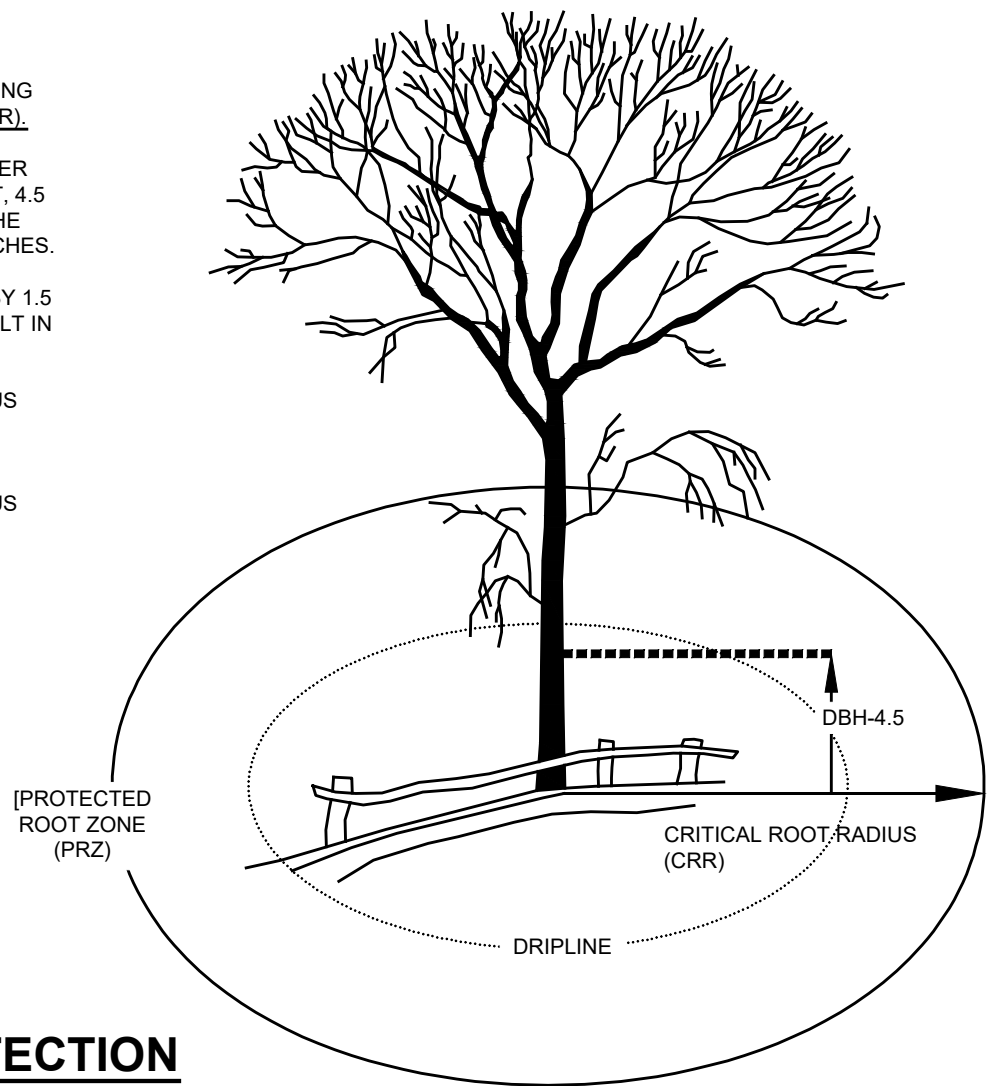
SEDIMENT CONTROL BAG FOR DEWATERING
NOT TO SCALE



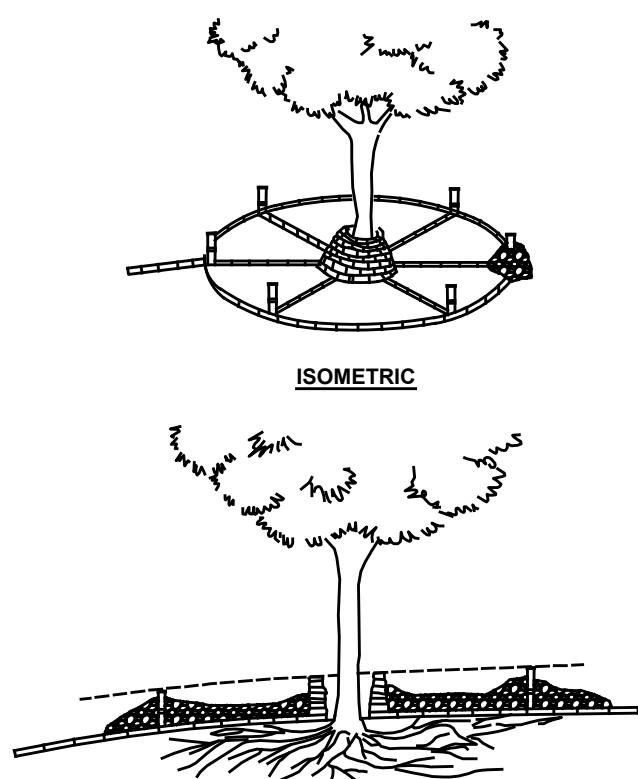
TREE PROTECTION FENCING
NTS



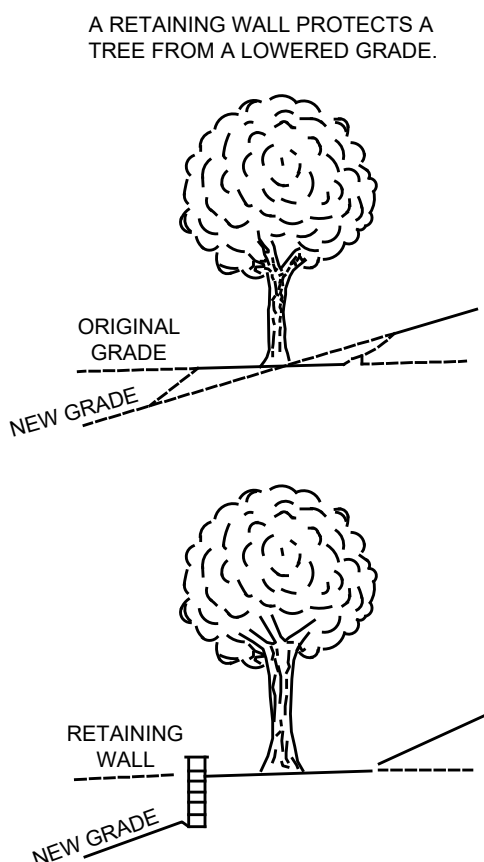
INLET PROTECTION DETAIL
NTS



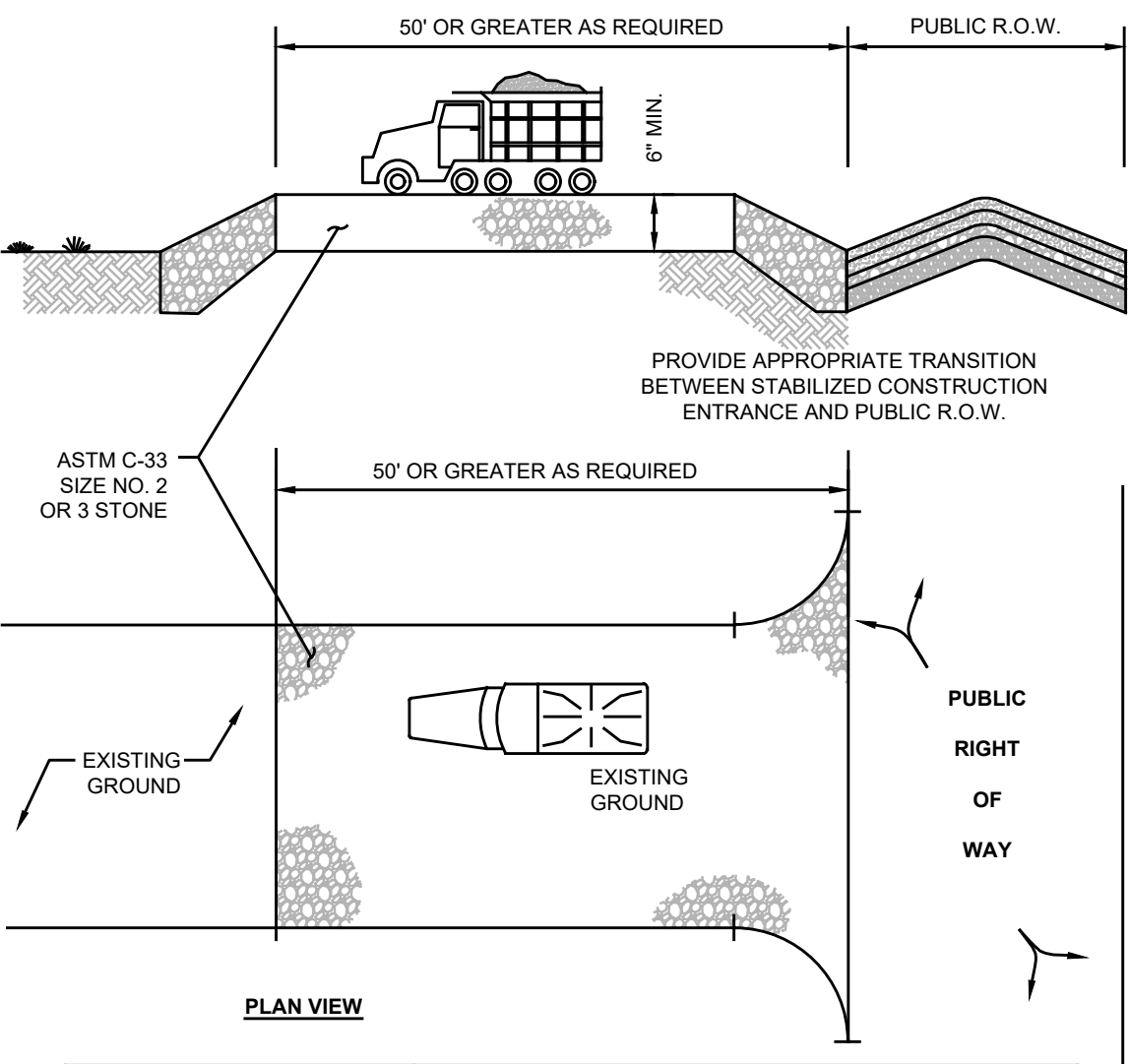
TREE ROOT PROTECTION
NTS



TREE PROTECTION (FILL AREAS)
NTS



TREE PROTECTION (CUT AREAS)
NTS



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC HOT MIX ASPHALT BASE COURSE, MIX 1-2	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE
NTS

NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.

PROJECT INFORMATION

PROJECT NAME:

59 MAIN STREET

PROJECT LOCATION:

BLOCK 110, LOT 10
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OWNER / APPLICANT:

CELI & RAFLESS ZARATE
59 MAIN STREET
OCEANPORT, NJ 07757

APPLICANT'S PROFESSIONALS

ARCHITECT:

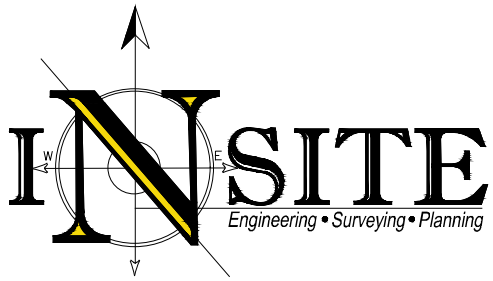
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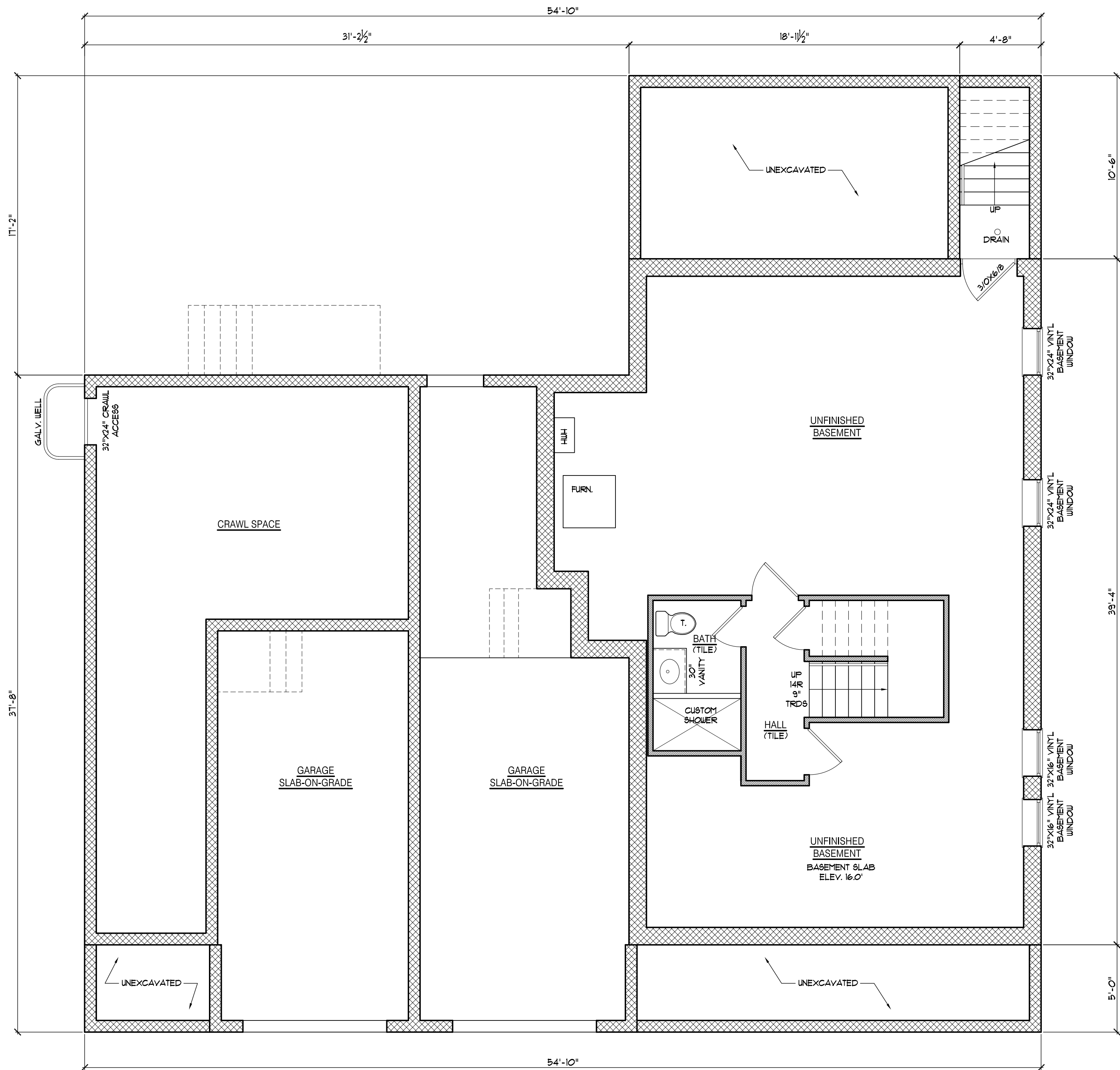
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APPROVED BY:

FOR CONSTRUCTION
PLAN INFORMATION

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PLOT PLAN

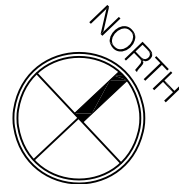
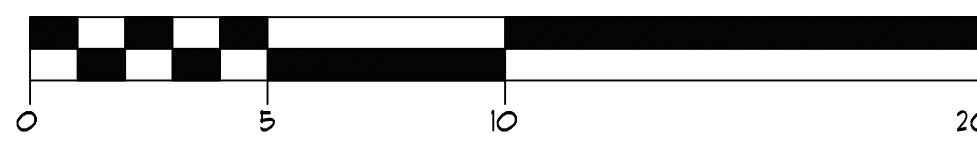
SHEET TITLE:
SOIL EROSION AND SEDIMENT CONTROL DETAILS

SHEET NO.:
6 OF 6



BASEMENT / FOUNDATION PLAN

1/4" = 1'-0"



NEW CONSTRUCTION – TWO FAMILY DWELLING:

ZARATE RESIDENCE

59 Main Street
Oceanport, NJ 07757
Block: 110 Lot: 10

PROJECT INFORMATION

BUILDING CODES:

INTERNATIONAL RESIDENTIAL CODE - 2021 (NJ EDITION)

BUILDING STATISTICS:

USE GROUP: R-5 (TWO-FAMILY DWELLING)
CONSTRUCTION CLASS: 5B (UNPROTECTED, WOOD-FRAMED)
NUMBER OF STORIES: 2
BUILDING HEIGHT: 28.9 FT.

WIND SPEED (VUL.): 125 MPH (NOTE: THIS PROJECT IS NOT LOCATED IN A WINDBORNE DEBRIS REGION AS THE VUL. DOES NOT EXCEED 130 MPH)

FLOOD HAZARD: THIS PROJECT IS NOT LOCATED IN A FLOOD HAZARD AREA

BUILDING AREA:

	UNIT 1	UNIT 2	TOTAL
FIRST FLOOR AREA:	1,001 SQ. FT.	419 SQ. FT.	1,426 SQ. FT.
SECOND FLOOR AREA:	1,330 SQ. FT.	649 SQ. FT.	1,883 SQ. FT.
TOTAL FLOOR AREA:	2,331 SQ. FT.	1,068 SQ. FT.	3,405 SQ. FT.

FINISHED BASEMENT AREA:	89 SQ. FT.	--	89 SQ. FT.
CONSTRUCTION VOLUME:			6425 CU. FT.

DESIGN LOADS:

FLOOR LOADING:	DEAD LOAD:	15 LB./SQ. FT.
	LIVE LOAD LIVING:	40 LB./SQ. FT.
	LIVE LOAD SLEEPING:	30 LB./SQ. FT.
	LIVING LOAD HABITABLE ATTIC:	30 LB./SQ. FT.
	LIVE LOAD 1ST FLOOR PORCH:	40 LB./SQ. FT.
	LIVE LOAD BALCONY:	60 LB./SQ. FT.
ROOF LOADING:	DEAD LOAD:	15 LB./SQ. FT.
	LIVE LOAD (GROUND SNOW):	30 LB./SQ. FT.

ZONING INFORMATION

REFER TO PLOT PLAN, PREPARED BY CIVIL ENGINEER FOR ALL SITE AND ZONING INFORMATION.

DRAWING INDEX

- A-1 PROJECT INFORMATION, FOUNDATION/BASEMENT PLAN
- A-2 FIRST FLOOR PLAN, SECOND FLOOR PLAN
- A-3 ELEVATIONS
- A-4 ELEVATIONS

NEW CONSTRUCTION – TWO FAMILY DWELLING:

ZARATE RESIDENCE

59 Main Street
Oceanport, NJ 07757

SEAL:

Stephen J. Carlini
Stephen J. Carlini, AIA
NJ LIC # A1008689

SHORE POINT ARCHITECTURE, PA

108 South Main Street, Ocean Grove, New Jersey 07756
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

PROJECT INFORMATION, FOUNDATION PLAN

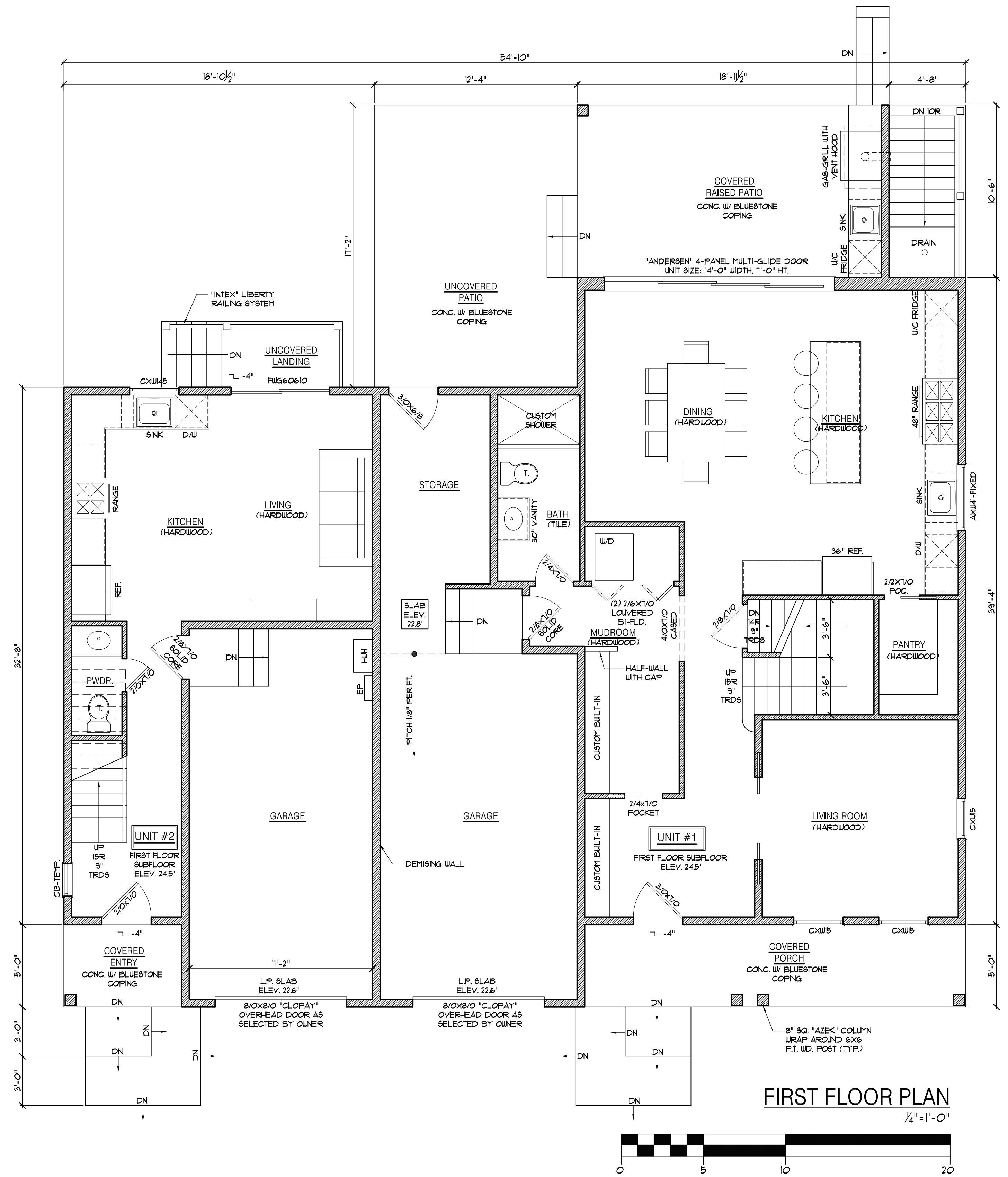
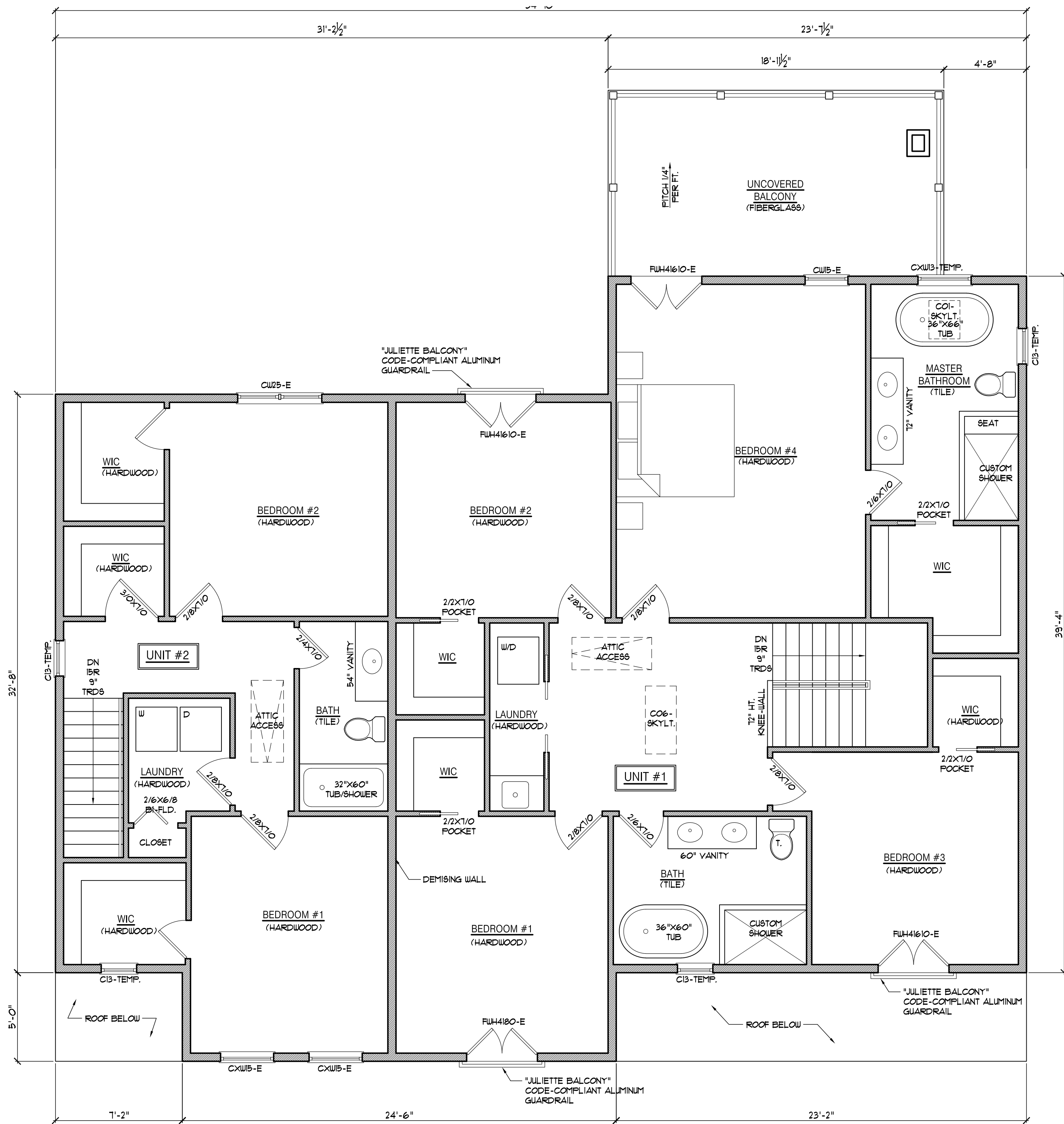
DRAWN: ABF

SCALE: AS SHOWN

DATE	REVISION/SUBMISSION
3/21/25	ZONING SUBMISSION

JOB NUMBER
2024-25

A-1
Zarate





FRONT (SOUTH) ELEVATION
1/4"=1'-0"



SIDE (EAST) ELEVATION
1/4"=1'-0"

NEW CONSTRUCTION - TWO FAMILY DWELLING:
ZARATE RESIDENCE
Block: 110
Lot: 10
59 Main Street
Oceanport, NJ 07757

SEAL:
Stephen J. Carlini
Stephen J. Carlini, AIA
NJ LIC # A1006889

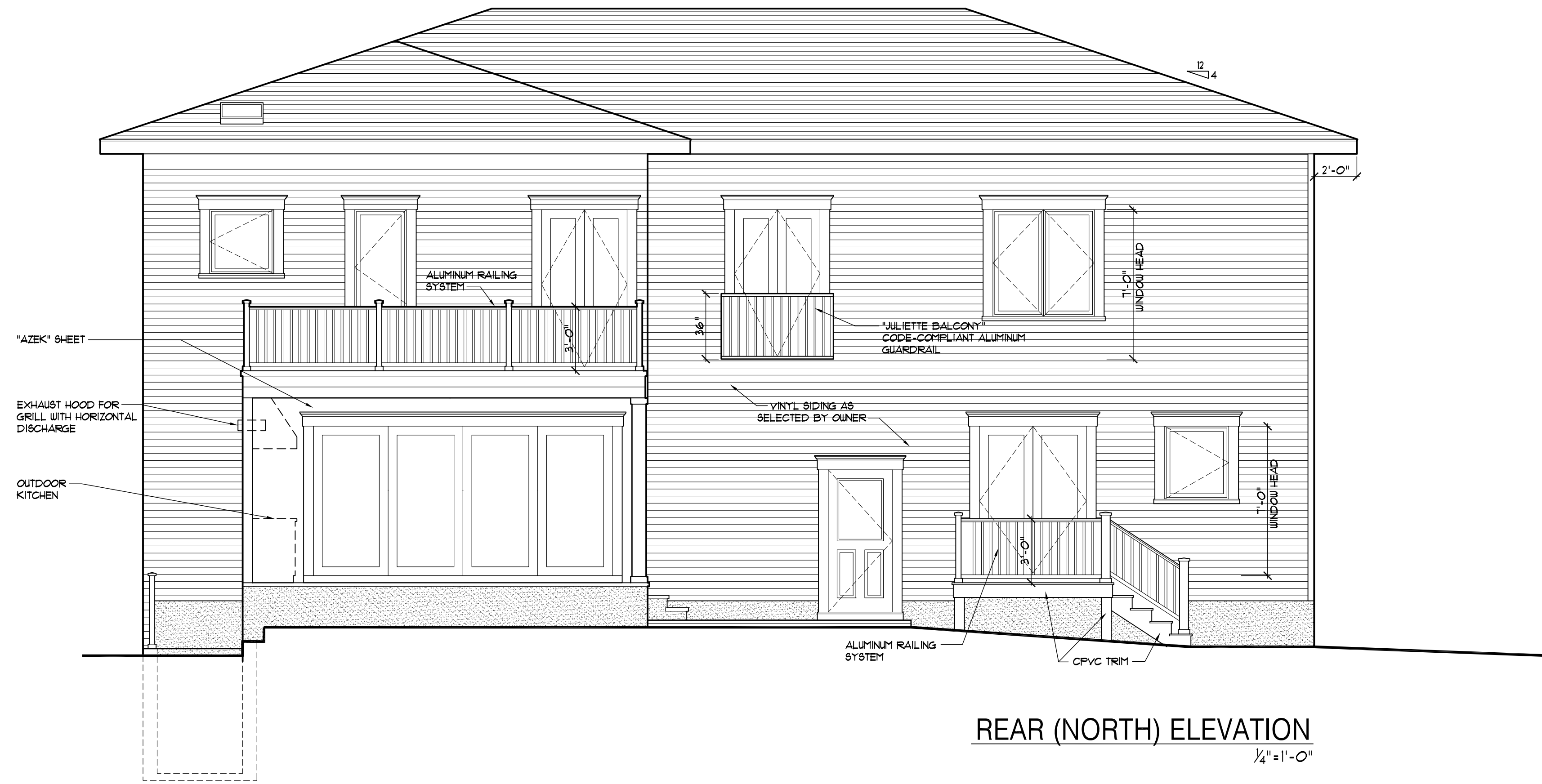
SHORE POINT
ARCHITECTURE, PA
108 South Main Street, Ocean Grove, New Jersey 07756
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

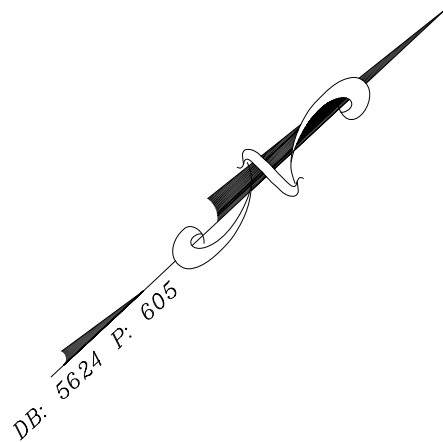
ELEVATIONS
SCALE: AS SHOWN
DRAWN: ABF

DATE	REVISION/SUBMISSION
3/21/25	ZONING SUBMISSION

JOB NUMBER
2024-25

A-3
Zarate





Average Setback Calculations			
House	Building Setback [ft.]	Porch Setback [ft.] (foundation)	Porch Setback [ft.] (furthest stair)
House I (Block 110 Lot 8)	36.30	30.90	30.20
House II (Block 110 Lot 9)	13.20	n/a	n/a
House III (Block 110 Lot 11)	25.50	22.70	21.70
House IV (Block 110 Lot 12)	29.10	33.30	n/a
House V (Block 110 Lot 13)	26.70	21.00	19.00
Average Value	26.16	26.98	23.63



This survey certified to:
ACRES LAND TITLE AGENCY, INC.
WESTBORO LAND TITLE INSURANCE COMPANY
A. ABSOLUTE ESCROW SETTLEMENT CO., INC.

- This survey references:
- Deed Book 5624 Page 605
 - Deed Book 9442 Page 2388 (Lot 8)
 - Deed Book 5272 Page 412 (Lot 9)
 - Deed Book 5262 Page 9196 (Lot 11)
 - Deed Book 8753 Page 3559 (Lot 12)
 - Deed Book 8143 Page 588 (Lot 13)
 - Survey of Lot 10 Block 110 by Azimuth Land Surveying Co., Inc. dated 06/10/1997

- Notes:
- Field Survey Performed on 08/01/2024
 - Vertical Datum: NAVD83 | Horizontal Datum: assumed
 - Subject to documents of record
 - Survey performed without the benefit of a complete title search and subject to municipal restrictions, easements of record and other facts that a title search may disclose.
 - No attempt should be made to establish the physical location of boundary lines for the purpose of construction of permanent improvements by using published offsets or scaled distances hereon.
 - This survey depicts only those features which are both visible and above-ground. Underground features, e.g. underground utility lines, will require either the submission of plans detailing the location of same or the service of a private utility locator to mark out said underground utility lines.

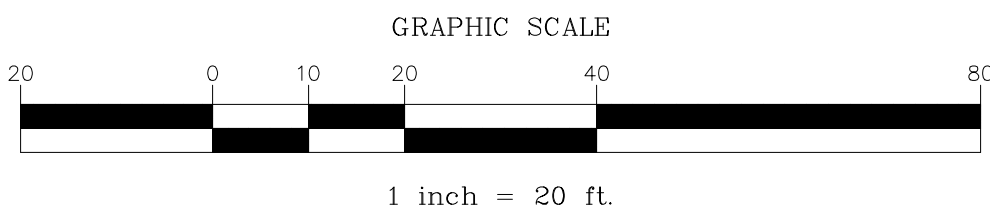
TOPOGRAPHIC SURVEY OF PROPERTY					
Tax Lot 10 - Block 110					
59 Main Street, Borough of Oceanport					
Monmouth County, New Jersey					
FIELD:	DWN BY:	CHECKED:	PAPER SIZE	SCALE	DATE
AG	JES	MJC	24" x 36" LS	1" = 20'	08/02/2024

PROJECT NUMBER
242Z31
REFERENCE NUMBER
-

Lakeland Surveying
Certificate of Authorization
#74GA28090000
4 West Main Street | Rockaway | NJ | Ph: (973) 625-5670 | Fx: (973) 625-4121
www.LakelandSurveying.com

MARC J. CIFONE, N.J. P.L.S.
JEFFREY S. GRUNN, N.J. P.L.S.
WILLIAM C. BUCHOK, N.J. P.L.S.
N.J. LIC. NO. 24GS04132900
N.J. LIC. NO. 24GS04339900
N.J. LIC. NO. 24GS04341900

NO.	INITIALS	DATE	REVISIONS
1	JWS	09/02/24	SURVEY UPDATE
2	JES	09/05/24	TITLE CERTIFICATIONS
3	AG-CMB	11/02/24	AVERAGE FRONT SETBACKS (ADDED LOTS 8, 9, 11, 12, AND 13)
-	-	-	-



November 11, 2025

VIA EMAIL

Stephanie Kramer, Deputy Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Review No. 1

Application No. PB2025-13

203 Comanche Drive - Block 40, Lot 11
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No.: OPP-0378

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Location & Topographic Survey" prepared by Land Control Services, LLC., dated August 18, 2025, consisting of one (1) sheet.
- Plan entitled "Proposed Garage for Haas Residence" prepared by Anthony Condouris Architect, Inc., dated January 15, 2025, consisting of two (2) sheets.

The subject property is a 19,208 SF (0.44 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the east side of Comanche Drive approximately 600' north of the unimproved portion of Mohican Avenue. The property contains a 1-1/2 story dwelling, detached one car garage, wood walkway, hot tub, wood deck and gravel driveway. The Applicant is proposing to demolish the existing one car garage and construct a three-car 720 SF detached garage in the front yard.

Based on our review, we recommend that the Application be deemed **incomplete** as a grading plan was not submitted, Checklist item # 17. A preliminary planning and engineering review of the Application is included below:

A. VARIANCES/DESIGN WAIVERS

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:

1. In accordance with Ordinance Section 390-19.C., no accessory structures are permitted in the front yard. The Applicant is proposing to construct a 720 sf three car, in the front yard of the property.
2. Maximum Permitted Height, Accessory Structure: 15' permitted, it appears that the height of the garage is approximately 15.5', applicant shall clarify exact height.
3. Minimum Side Yard Setback, Accessory Structure: 10 feet required, and 2 feet are proposed. The Architect should clarify how far the roof extends beyond the walls.
4. Driveway Side Yard Setback: 5' required from side property line, the existing driveway encroaches into the adjacent property to the south and proposes a 2-foot setback to the adjacent property to the north.
5. The existing shed encroaches into the adjacent property by 4.3' whereas 10-foot setback is required. In addition, the maximum shed size is 12 feet by 10 feet with a 10-foot height limitation. The existing shed is 12 feet by 16 feet. The Board does not have the authority to grant a variance for this encroachment. The applicant shall clarify if the shed will be moved to provide a conforming setback.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness, or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible "c" or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

B. GENERAL COMMENTS

1. A signed and sealed copy of the boundary and topographic surveys shall be provided to the Board Secretary.
2. A grading plan shall be submitted to ensure that there is no adverse impact on the adjacent properties.
3. The applicant shall clarify how maintenance will be performed on the garage with only a 2-foot offset.
4. There is a discrepancy regarding the lot area listed on the Survey and the Architectural plans.
5. The inclusion of the 350 square foot driveway credit in both the Existing and Proposed Area Calculations necessitates clarification.

Should you have any questions or require any additional information, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/rb

cc: Kevin Kennedy, Esq., Board Attorney (via email)

Mark Aikins, Esq., applicant. (via email) maikins@aikinslaw.com

R:\PROJ\Muni\NJ\OPP0378 - 203 Comanche Dr\Correspondence\OUT\251111_whw_kramer_203_Comanche_Drive__App Review No. 1.docx

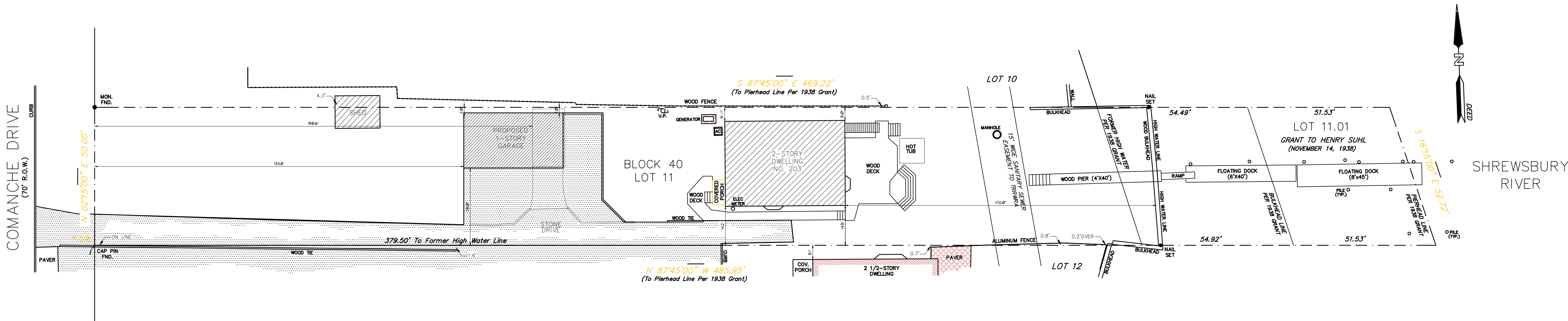
proposed garage for

HAAS RESIDENCE

203 COMANCHE DRIVE
OCEANPORT, NEW JERSEY
BLOCK 40 ~ LOT 11 & 11.01

BUILDING DEPARTMENT DATA	
	PROPOSED
GARAGE	720 SQ. FT.
VOLUME	9,672 CU. FT.
CONSTRUCTION CLASS	5B
USE GROUP	R-5

* NOTE: SQUARE FOOTAGE DATA NOT TO BE USED FOR
CALCULATING CONSTRUCTION COSTS



10 SITE PLAN SCALE: 1" = 20'-0"

ZONING DATA R-32				
ITEM	REQUIRED	EXISTING	PROPOSED	NOTES
MINIMUM LOT AREA	12,000 SQ. FT.	19,220 SQ. FT.	19,220 SQ. FT.	
MINIMUM LOT FRONTAGE	120 FT.	50 FT.	50 FT.	PRE EXISTING
MINIMUM LOT DEPTH	100 FT.	469 FT.	469 FT.	
PRINCIPAL BUILDING				
MINIMUM FRONT SETBACK	30 FT.	220.6 FT.	220.6 FT.	
MINIMUM REAR SETBACK	25 FT.	112 FT.	112 FT.	
MINIMUM SIDE SETBACK (ONE/BOTH)	10/25 FT.	5/192 FT.	5/192 FT.	PRE EXISTING
MAX. BUILDING HEIGHT (STORIES/FT.)	2.5/35 FT.			
ACCESSORY BUILDING				
MINIMUM REAR SETBACK	5 FT.	211.4 FT.	211.4 FT.	
MINIMUM SIDE SETBACK	10 FT.	0.3 FT.	2 FT.	VARIANCE REQUIRED
MINIMUM FRONT SETBACK		150.6 FT.	133.8 FT.	VARIANCE REQUIRED
MAX. BUILDING HEIGHT (STORIES/FT.)				
MAXIMUM IMPERVIOUS COVERAGE	31 %	21.3 %	29.25 %	
MAXIMUM LOT COVERAGE				
PRINCIPAL BUILDING	25 %	7.18 %	7.18 %	
ACCESSORY BUILDING	5 %	2.25 %	4.74 %	

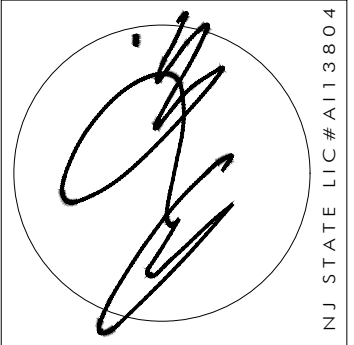


20 200 FT KEY MAP SCALE: N.T.S.

EXISTING AREA CALCULATIONS (BASED ON LOT AREA OF 19,220 SQ. FT.)			
BUILDING COVERAGE:		IMPERVIOUS COVERAGE:	
PRINCIPAL	=1,381 SF.	PRINCIPAL	= 1,381 SF.
ACCESSORY	=433 SF.	ACCESSORY	= 433 SF.
		HOT TUB, A.C....	=107 SF.
		DRIVEWAY	= 2,535 SF.
		DRIVEWAY CREDIT	= -350 SF.
TOTAL	=1,814 SF.	TOTAL	= 4,106 SF.
PRINCIPAL	7.18 %	ACCESSORY	2.25 %
			21.3 %

PROPOSED AREA CALCULATIONS (BASED ON LOT AREA OF 19,220 SQ. FT.)			
BUILDING COVERAGE:		IMPERVIOUS COVERAGE:	
PRINCIPAL	=1,381 SF.	PRINCIPAL	= 1,381 SF.
ACCESSORY	=433 SF.	ACCESSORY	= 912 SF.
		HOT TUB, A.C....	=107 SF.
		DRIVEWAY	= 3,512 SF.
		DRIVEWAY CREDIT	= -350 SF.
TOTAL	=1,814 SF.	TOTAL	= 5,622 SF.
PRINCIPAL	7.18 %	ACCESSORY	2.25 %
			29.25 %

NOTIFY ARCHITECT IMMEDIATELY OF
ANY DISCREPANCIES PRIOR TO THE
START AND COMPLETION OF WORK.

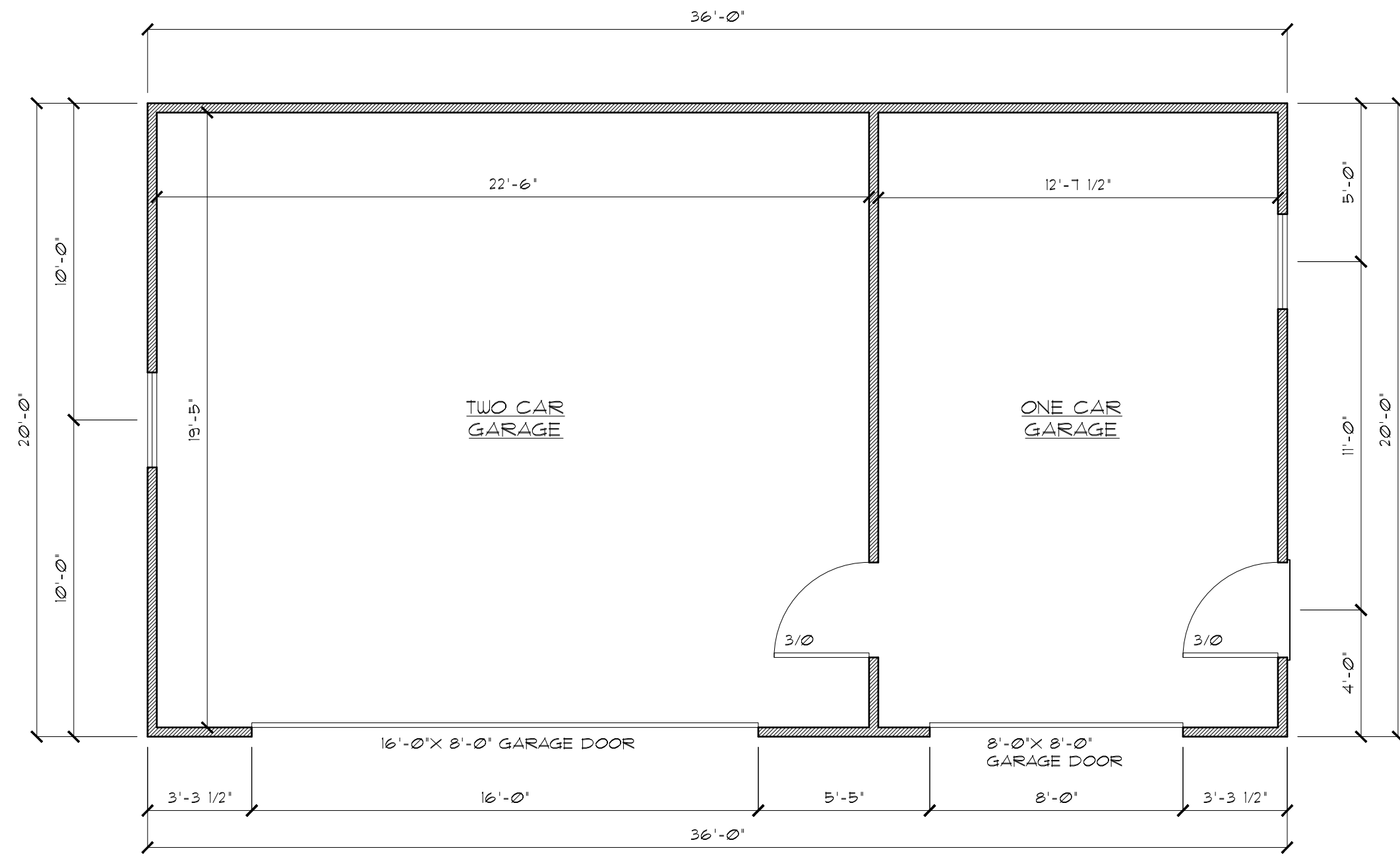


ANTHONY M. CONDO ARCHITECT
20 BINGHAM AVENUE, RUMSON, NJ 07760
PHONE: 732-842-3800 ~ FAX: 732-842-7777 ~ email: info@amcarchitect.com ~ www.amcarchitect.com

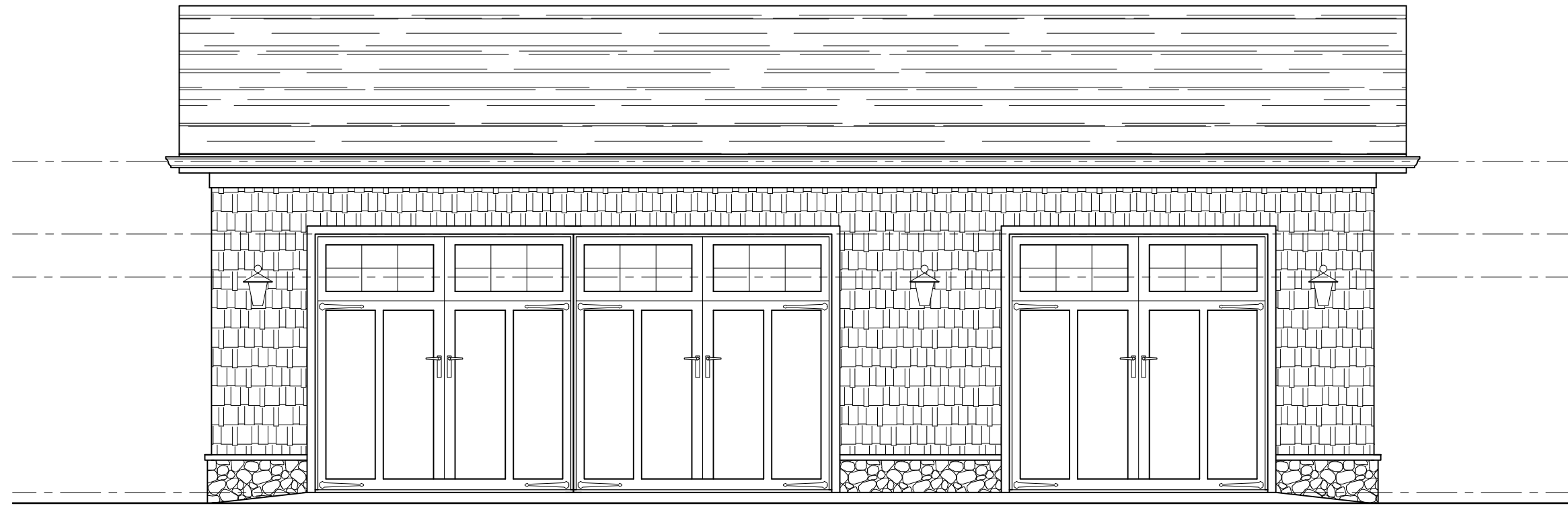
REVISIONS	DATE
Δ	

CLIENT	HAAS RESIDENCE
ADDRESS	203 COMANCHE DRIVE OCEANPORT, NEW JERSEY
JOB NUMBER	24-132
LOT	11 & 11.01
BLOCK	40

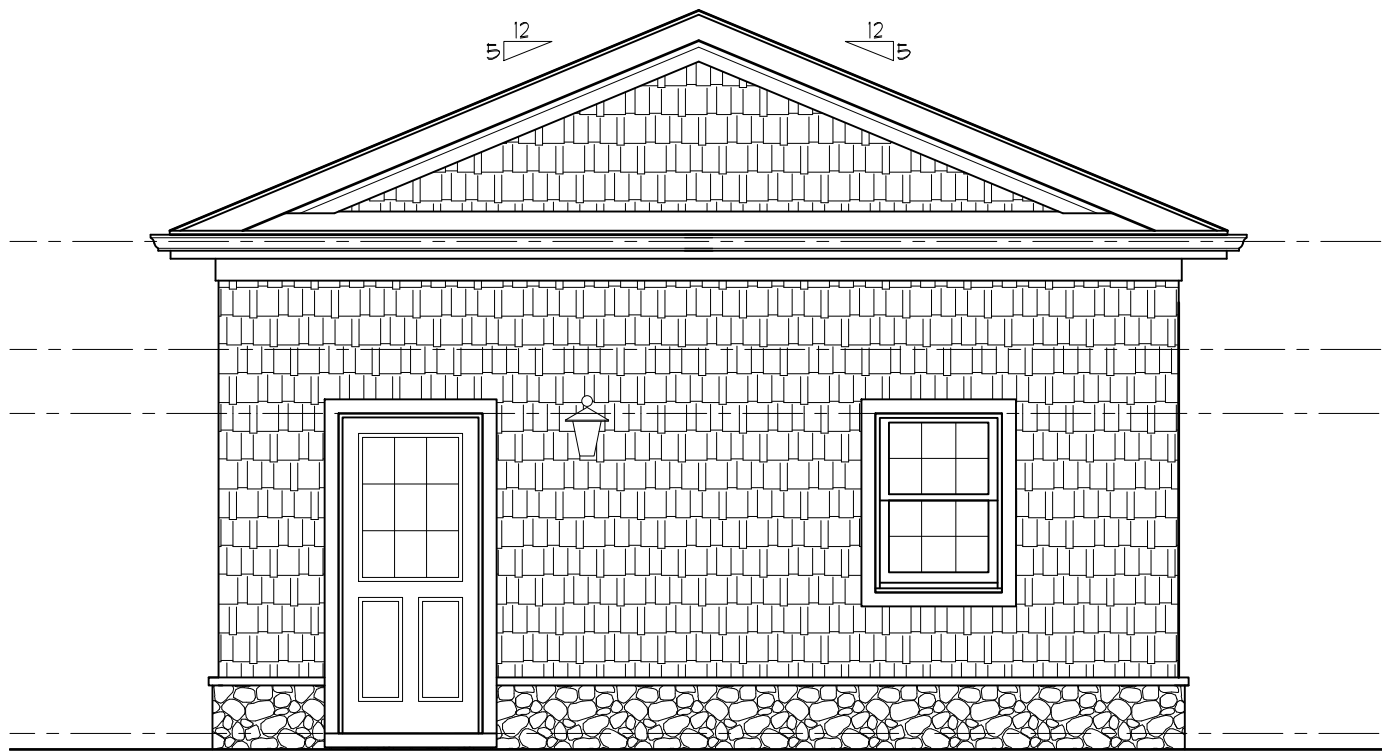
DATE	1/15/25
DRAWN BY	MB
SHEET NO.	V-1



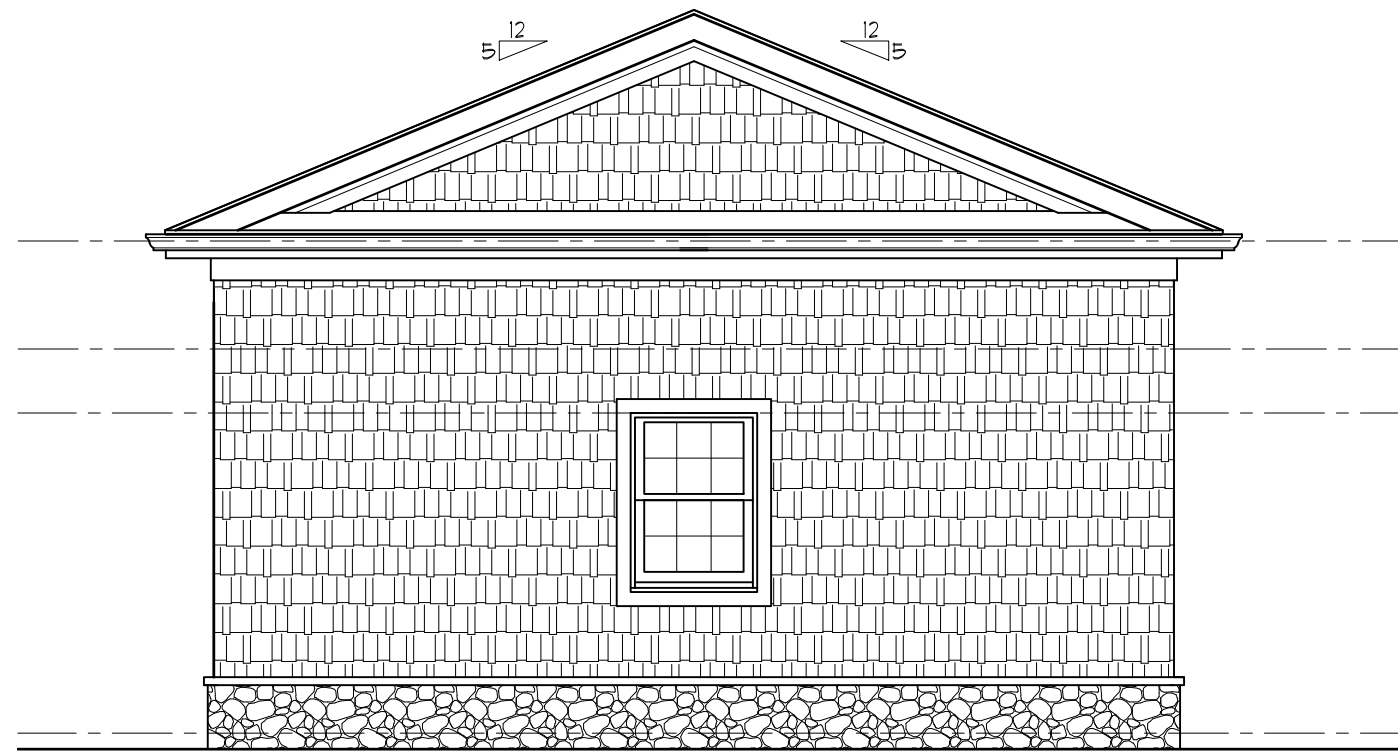
10 GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



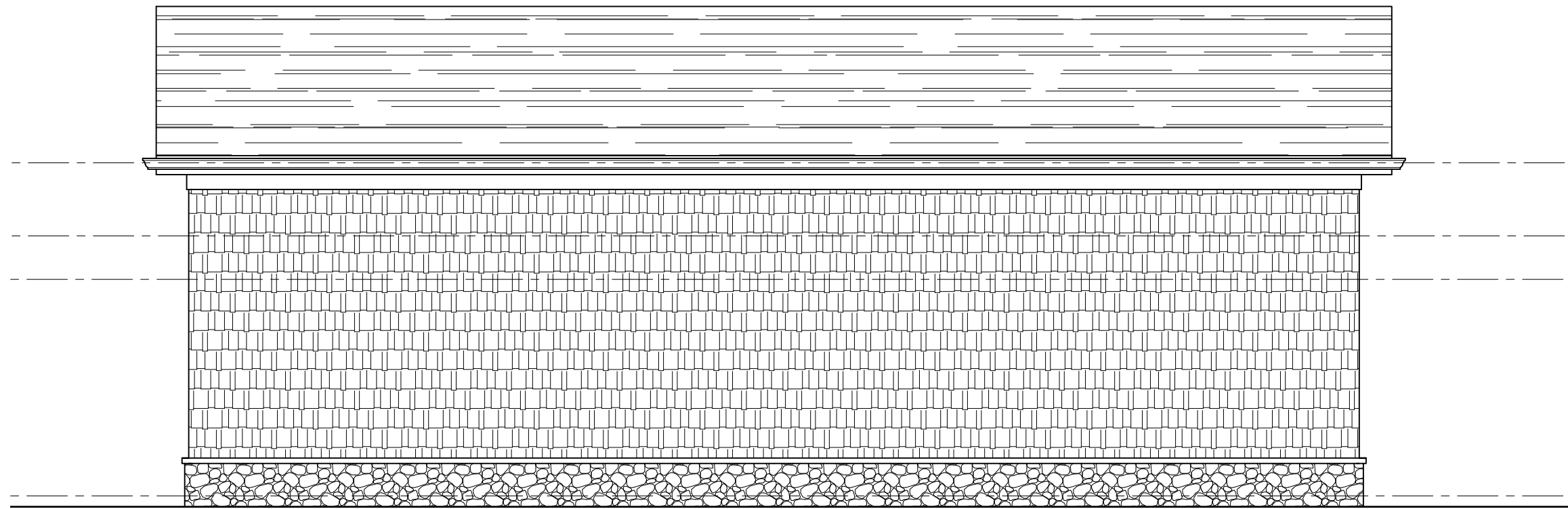
10 GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



10 GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"



10 GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"



10 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

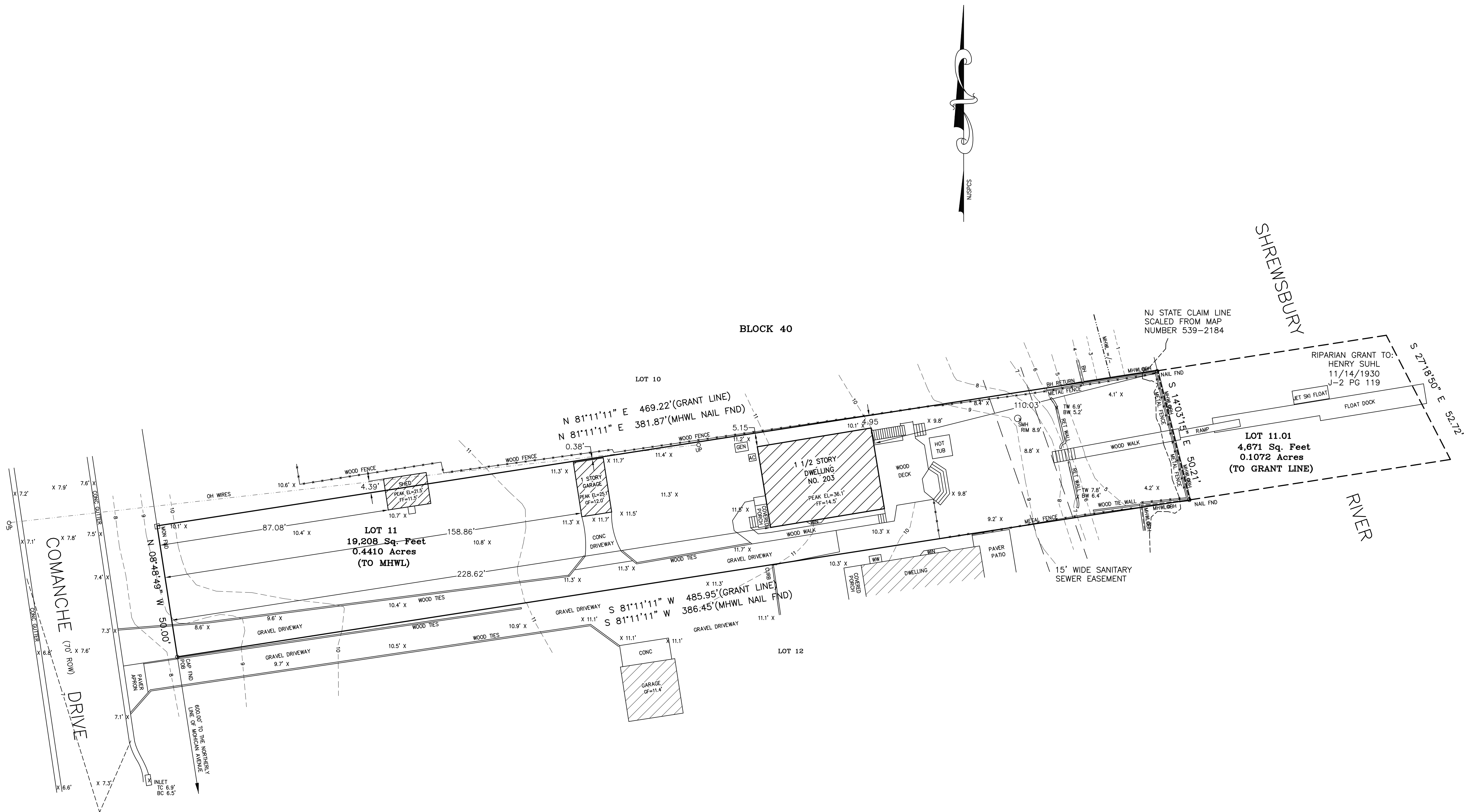


ANTHONY M. CONDOURIS
ARCHITECT
20 BINGHAM AVENUE, ROOM 301
NEW JERSEY 07760
PHONE: 732-842-3800 ~ FAX: 732-842-7777 ~ EMAIL: info@amcarthitect.com ~ WWW.AMcarthitect.COM

REVISIONS	DATE

CLIENT	HAAS RESIDENCE
ADDRESS	203 COMANCHE DRIVE OCEANFORT, NEW JERSEY
JOB NUMBER	24-132
BLOCK	40
LOT	11 & 11.01

DATE	1/15/25
DRAWN BY	MB
SHEET NO.	V-2



NOTES:

1. THE PROPERTY IS KNOWN AS LOT 11 AND LOT 11.01 IN BLOCK 40 AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF OCEANPORT.
2. THE PROPERTY IS ALSO KNOWN AS LOT 23 IN BLOCK 35 AS SHOWN ON A CERTAIN MAP ENTITLED "MAP OF PROPERTY OF PORT-AU-PECK REALTY CO. KNOWN AS PORT-AU-PECK." SAID MAP WAS FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 9/16/1907 AS MAP NUMBER 23-5.
3. THE PROPERTY IS LOCATED IN AN AE ZONE WITH A BASE FLOOD ELEVATION OF 10.0' AS SHOWN ON THE FIRM PANEL NUMBERS 34025C0184H AND 34025C0203G DATED 6/15/2022.
4. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH MAY BE DISCLOSED BY A TITLE SEARCH, UNDERGROUND STRUCTURES NOT LOCATED.
5. OFFSET DIMENSIONS FROM STRUCTURE TO THE PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.
6. ELEVATIONS SHOWN HEREON ARE BASED ON 1988 DATUM OBTAINED USING GPS TOPNET.
7. HORIZONTAL INFORMATION SHOWN HEREON IS BASE ON NEW JERSEY STATE PLANE COORDINATES SYSTEM.

LOCATION & TOPOGRAPHIC SURVEY PREPARED FOR "HAAS" LOT 11 & 11.01 OF BLOCK 40 SITUATED IN BOROUGH OF OCEANPORT, MONMOUTH COUNTY, NEW JERSEY			
N E S W 	LAND CONTROL SERVICES, LLC SURVEYING & MAPPING 620 WARDELL STREET LONG BRANCH, NEW JERSEY 07740 (732) 229-7628 landcontrol1@gmail.com	DATE	08/18/2025
		SCALE	1" = 20'
		DRAWN	CWK
JAMES B. GODDARD, PLS LICENSE NO. 37588 		CHECKED	JBG
		FILE NO.	2562
		SHEET	1 OF 1

November 12, 2025

VIA EMAIL

Stephanie Kramer, Deputy Planning Board Secretary
Borough of Oceanport Planning Board
910 Oceanport Way
P.O. Box 370
Oceanport, NJ 07757

Review No. 1

Application No. PB2025-16

8 Cayuga Avenue - Block 26, Lot 7
Borough of Oceanport, Monmouth County, New Jersey
Colliers Engineering & Design Project No.: OPP-0377

Dear Board Members,

Our office has received the following information in support of the above-referenced Application:

- Plan entitled "Lot Layout & Dimensions" prepared by William E. Fitzgerald dated October 13, 2025, consisting of one (1) sheet;
- Plans entitled "Proposed New Residence for: 8 Cayuga Avenue" prepared by Brian Fitzgerald AIA, dated August 31, 2025, consisting of three (3) sheets.

The subject property is a 6,000 SF (0.14 Ac) parcel located in the R-3 Residential Zone District. The parcel is on the south side of Cayuga Avenue 110' west of Comanche Drive. The property contains a one-story dwelling, detached two car garage, and paved driveway. The Applicant proposes to replace the existing dwelling with a 2-1/2 story single family structure.

Based on our review, we recommend that the Application be deemed **incomplete** as the following items were not submitted:

- Topographic survey, Checklist item # 10,
- Grading Plan, Checklist Item #17

A preliminary planning and engineering review of the Application is included below:

A. VARIANCES/DESIGN WAIVERS

We offer the following comments for the Board's consideration:

1. Bulk variances are required for the following:
 - a. Minimum Lot Area: 12,000 SF required, 6,000 SF is provided, this is an existing condition.
 - b. Minimum Lot Width: 120 Feet required, 60 feet provided, this is an existing condition.
 - c. Accessory Structure Side Yard Setback: 10 feet required, 5.1 feet provided, pre-existing condition.
 - d. Accessory Structure Rear Yard Setback: 5 feet required, 2.8 feet provided, pre-existing condition.
 - e. Maximum Impervious Coverage: 37% permitted, 39.9% existing, 39.1% proposed. A calculation of the impervious coverages shall be provided.

The Municipal Land Use Law permits the granting of a hardship variance under either of two (2) following situations (C.40:55D-70c):

1. **Hardship c(1) - Physical Constraints** – Hardship variances may be granted if the strict application of the ordinance would impose peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the developer based upon the existence of the following conditions:
 - a. Exceptional narrowness, shallowness, or shape of a specific piece of property;
 - b. Exceptional topographic conditions or physical features uniquely affecting a piece of property; and,
 - c. An extraordinary and exceptional situation uniquely affecting a specific piece of property of the structures lawfully existing thereon.
2. **Flexible “c” or c(2) - Benefits Outweighing Detriments** - A variance may be granted where the purpose of the Municipal Land Use Law would be advanced by the proposed deviation and the benefits of the deviation would substantially outweigh any detriment.

B. GENERAL COMMENTS

1. A signed and sealed copy of the boundary and topographic surveys shall be submitted.
2. The property is in an AE 10 flood zone, with a local design flood elevation of 12.4. All construction below elevation 12.4 must be of flood resistant material in accordance with FEMA Technical Bulletin 2, dated January 2025.

Should you have any questions or require any additional information, please do not hesitate to contact me directly.

Sincerely,

Colliers Engineering & Design, Inc.



William H.R. White, III, P.E., P.P., CME, CFM, CPWM
Oceanport Planning Board Engineer and Planner

WHW/rb

cc: Kevin Kennedy, Esq., Board Attorney (via email)
Martin McGann III, applicant. (via email) mcgann79@yahoo.com

R:\PROJ\Muni\NJ\OPP0377 - 8 Cayuga Ave\Correspondence\OUT\251112_whw_kramer_6 Cayuga_Avenue_App Review No. 1 (002).docx

LOCATIONS OF UTILITIES AND UNDERGROUND INSTALLATIONS, IF DEPICTED HEREON, ARE APPROXIMATE AND INCOMPLETE AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL ACCURATELY LOCATE AND MARK OUT ALL SUCH FEATURES PRIOR TO COMMENCING SITE CLEARING, EXCAVATION AND/OR IMPROVEMENT CONSTRUCTION.

NOTE: HALF-TONED IMAGES DEPICT EXISTING IMPROVEMENTS; FULL-TONED IMAGES DEPICT PLANNED AND/OR PROPOSED FEATURES AND/OR IMPROVEMENTS

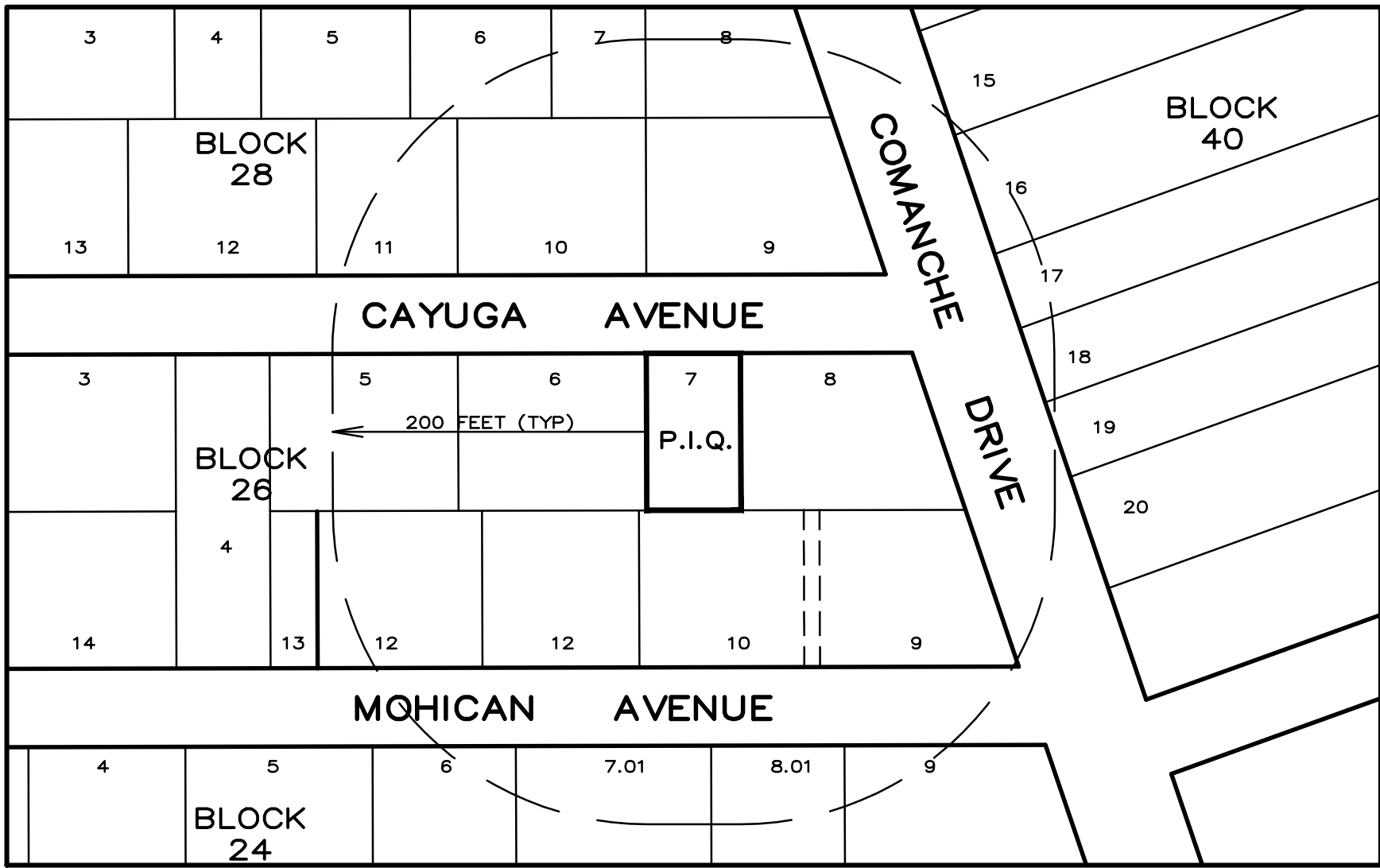
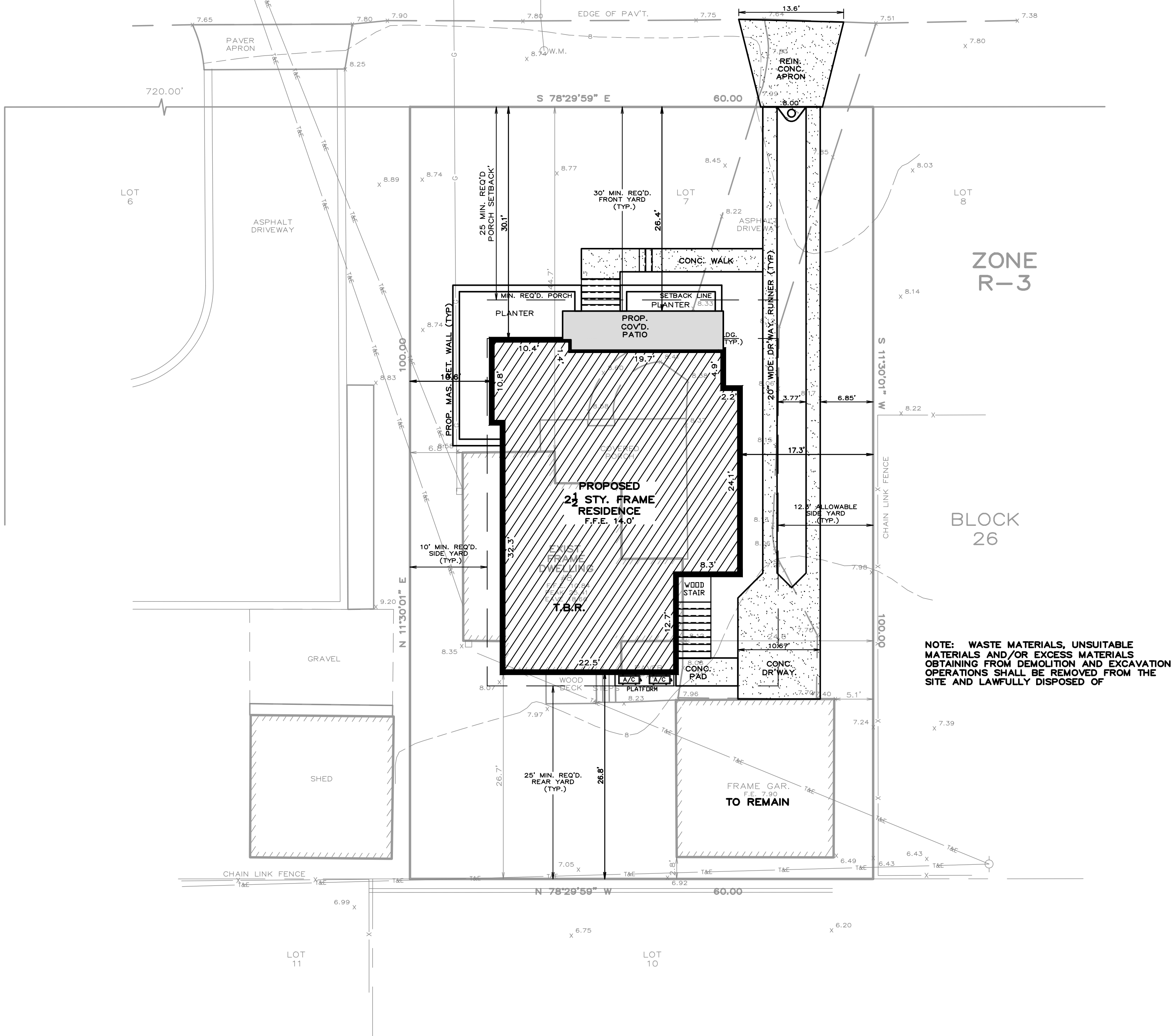
OWNERS OF PROPERTIES LOCATED WITHIN 200 FEET OF SITE

BLOCK	LOT	ADDRESS	OWNER
24	6	34 MOHICAN AVE	JOHNSON, WAYNE R & MARY M
24	7.01	30 MOHICAN AVE	KLOSS, JOSEPH & ADRIANA
24	8.01	26 MOHICAN AVE	SARLES, STEVE & ANDREA
24	9	174 COMANCHE DR	TENNENBAUM, KENT & CELIA
26	6	6 CAYUGA AVE	MCGANN, MARTIN A III & AMY
26	7	8 CAYUGA AVE	8 CAYUGA AVENUE, LLC
26	8	184 COMANCHE DR	SOC OF DAUGHTERS OF HEART OF MARY
26	9	180 COMANCHE DR	GOLDSMITH, DOUGLAS & NICOLE
26	10	29 MOHICAN AVE	DOHERTY, KATHLEEN P
26	11	27 MOHICAN AVE	FORNABIO, HILDA C.
28	5	14 ITHACA AVE	JOYCE, ROBERT D & GEORGIANNA T
28	6	10 ITHACA AVE	LEIBOWITZ, MITCHELL & CAROLINE
28	7	6 ITHACA AVE	CERALDE, CARL M
28	8	196 COMANCHE DR	MANZI, LOUIS M & PATRICIA J
28	9	192 COMANCHE DR	SCHWARZ, JUSTIN M & HEATHER A
28	10	11 CAYUGA AVE	11 CAYUGA AVE CO.
28	11	15 CAYUGA AVE	KONTOS, ANGELA E
28	12	19 CAYUGA AVE	MARROTTA, JOHN P & LAURIE A
40	15	193 COMANCHE DR	HASSFELD, ROBERT F. & SHERYL T.
40	16	191 COMANCHE DR	BECKER, STEVEN & MARYANN
40	17	189 COMANCHE DR	WEINER, MITCHELL & FAITH
40	18	187 COMANCHE DR	MERNICK, DAVID S & CYNTHIA H
40	19	185 COMANCHE DR	185 COMANCHE, LLC

TABULATIONS OF COVERAGE

Existing Coverages	Sq. Ft.	Proposed Coverages	Sq. Ft.
Primary Building		Primary Building	
Dwelling	614.7	Dwelling	1193.9
Covered Front Porch	231.8	Front Masonry Porch	103.8
Rear Cov'd Deck	26.3		
Subtotal	872.8	Subtotal	1,297.7
Accessory Building		Accessory Building	
Detached Garage	416.6	Detached Garage	416.6
Site		Site	
Driveway	974.6	Driveway	391.1
Front Walkway On Grade	57.7	Front / Rear Walks On Grade	104.1
Rear Patio & Walkway	73.1	Front / Rear Stairs	70.3
		A/C Units	13.6
Total Coverage	2,394.5	Landscape Wall	53
		Total Coverage	2,346.4

PORT AU PECK (75' R.O.W.) AVENUE



VICINITY MAP SCALE: 1" = 100'

ZONING COMPLIANCE CHART

R-3 (SINGLE FAMILY) ZONE

LOT TYPE: INTERIOR LOT

DETACHED SINGLE FAMILY DWELLING: PERMITTED

ORDINANCE	SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED
SCHD II	MIN. LOT AREA (S.F.)		12,000 SQ. FT.	6,000 SQ. FT.	6,000 SQ. FT.
SCHD II	MIN. LOT WIDTH		120 FT	60 FT	60 FT
SCHD II	MIN. LOT DEPTH		100 FT	100 FT	100 FT
MINIMUM YARD REQUIREMENTS - PRINCIPAL STRUCTURE					
SCHD II	MIN. PRIMARY FRONT SETBACK		30 FT RESIDENCE	44.7 FT. RESIDENCE	30.1 FT. RESIDENCE
SCHD II	MIN. SIDE YARD SETBACK (ONE SIDE)		25 FT PORCH	40.3 FT. PORCH	26.5 FT. PORCH
SCHD II	MIN. SIDE YARD SETBACK (TOTAL OF TWO SIDES)		10 FT	6.8 FT	10.6 FT
SCHD II	MIN. REAR YARD SETBACK		25 FT	30.8 FT (8.8' & 24.0')	27.9 FT (10.6' & 17.3')
MINIMUM YARD REQUIREMENTS - ACCESSORY STRUCTURE					
SCHD II	MIN. SIDE YARD SETBACK		10 FT	5.1 FT	5.1 FT
SCHD II	MIN. REAR YARD SETBACK		5 FT	2.8 FT	2.8 FT
MAX. PERMITTED BUILDING HT. - PRINCIPAL STRUCTURE					
SCHD II	STORIES		2 1/2	1	2
SCHD II	HEIGHT (SLOPED ROOFS)		35 FT	41'-17'-4"	34.5 FT
MAX. PERMITTED BUILDING COVERAGE					
SCHD II	MAX. BUILDING COVERAGE (PRINCIPAL)		25%	13.6% - 617.8 SQ. FT.	20.0% - 1,193.9 SQ. FT.
SCHD II	MAX. BUILDING COVERAGE (ACCESSORY)		5%	6.9% - 416.6 SQ. FT.	6.9% - 416.6 SQ. FT.
MAX. PERMITTED IMPERVIOUS COVERAGE					
SCHD II	MAX. IMPERVIOUS COVERAGE		37%	39.9% - 2,394.8 SQ. FT.	39.1% - 2,346.4 SQ. FT.
MIN. HABITABLE FLOOR AREA					
SCHD II	REQUIRED MIN. FLOOR AREAS		REQUIRED	1-STORY - 1,400 SQ. FT.	2-STORY - 2,000 SQ. FT. TOTAL 1,190 SQ. FT. FIRST FLOOR
			ACTUALS	584 SQ. FT.	2-STORY - 2,279 SQ. FT. TOTAL 1,194 SQ. FT. FIRST FLOOR

E Existing Non-Conforming Condition
CENC Continuation of Existing Non-Conforming Condition
V Variance Required

GENERAL NOTES

- THIS PROPERTY IS DESIGNATED AS TAX LOT 7, BLOCK 26, UPON SHEET NO. 29 OF THE 2017 TAX MAP OF OCEANPORT BOROUGH (SEE VICINITY PLAN).
- BOUNDARY AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY FRANK J BARLOWSKI, PLS, FOR 8 CAYUGA AVENUE, LLC, DATED 06-06-25 UNREVISED.
- TOPOGRAPHIC DATUM IS NAVD 1988.
- OWNERS /APPLICANTS: 8 CAYUGA AVENUE, LLC
6 CAYUGA AVENUE
OCEANPORT, NJ, 07757
- LOT 7 HAS A GROSS AREA OF 6,000± S.F. (0.1375± AC.), IS LOCATED ENTIRELY WITHIN THE "R-3" SINGLE FAMILY RESIDENTIAL MUNICIPAL LAND USE ZONE AND IS PRESENTLY DEVELOPED AS A SINGLE FAMILY RESIDENCE.
- PURSUANT TO F.E.M.A. PANEL 34025C0184H EFFECTIVE 6/15/2022, THE SUBJECT PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD AREA ZONE "AE" HAVING BASE FLOOD ELEVATION 10.0 FEET.
- APPLICANT'S DEVELOPMENT PROPOSAL IS TO DEMOLISH AND REMOVE EXISTING ONSITE STRUCTURES AND IMPROVEMENTS WITH EXCEPTION OF THE EXISTING DETACHED GARAGE AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE WITH APPURTENANT IMPROVEMENTS IN CONFORMANCE WITH ZONING REQUIREMENTS OF THE BOROUGH.
- EXISTING CAYUGA AVENUE UTILITY SERVICES TO THE LOT TO BE DISCONNECTED FROM THE EXISTING RESIDENCE AND RECONNECTED TO THE NEW RESIDENCE AS APPROVED BY SERVICING UTILITY COMPANIES.



GRAPHIC SCALE

1	11-24-25	ADD COVERAGES TABULATIONS; UPDATE ZONING TABLE
REVISION NO.	REVISION DATE	DESCRIPTION OF REVISION
LOT LAYOUT & DIMENSIONS		
PROPOSED RESIDENCE		
8 CAYUGA AVENUE, LLC PLAN TO ACOMPANY APPLICATION FOR ZONING VARIANCE BLOCK 26, LOT 7 - 8 CAYUGA AVENUE - ZONE R-3 - TAX MAP SHEET NO. 29		
BOROUGH OF OCEANPORT MONMOUTH COUNTY, NEW JERSEY		
William E. Fitzgerald		
Civil Engineers - Land Use Planners - Construction Managers		
P.O. BOX 550 WEST LONG BRANCH, N.J. 07764 TELE: (732) 859-3481		
DATE: 10-13-25		SCALE: 1"=10'
DRAWN: [Signature]		CHKD.: W.E.F.
FILE: MCG		DWG.: LC
WILLIAM E. FITZGERALD, PE, PP - N.J. LIC. NOS. 27369, 2888		SHEET: 1

McGann Residence



Building Information

INTERPRETATION OF 2021 INTERNATIONAL RESIDENTIAL
CODE, NEW JERSEY ADDITION

PROJECT DATA:
USE GROUP: R-5

PROPOSED CONSTRUCTION TYPE: V-B
SINGLE FAMILY

PROPOSED SQUARE FOOTAGE:	
First Floor	1,194 S.F.
Second Floor	1,085 S.F.
Total:	<u>2,279 S.F.</u>

PROPOSED BUILDING VOLUME: 19,941 C.F.

PROPOSED HEIGHT OF STRUCTURE: 34' - 6"

MIN LIVE FLOOR LOADS

LIVING SPACE: 40 PSF

ATTIC SPACE W/ LIMITED STORAGE: 20 PSF

ROOF LOAD: 40 PF SF
(4:12 - 12:12)

FEMA FLOOD ZONE DESIGNATION: AE

FEMA BASE FLOOD ELEVATION: 10'

WIND DESIGN SPEED: 120 MPH

Governing Building Codes:

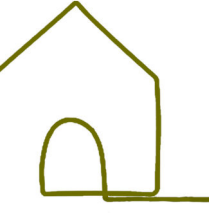
N.J. Uniform Building Codes including:

International Residential Building Code -NJ ed., 2021
National Standard Plumbing Code, 2021
National Electrical Code (NFPA70), 2020
International Fuel Gas Code, 2021
International Energy Conservation Code, 2021
ASHRAE 90.1-2019
International Mechanical Code 2021

Drawing List

<u>Sheet Number</u>	<u>Sheet Name</u>	<u>Current Revision</u>	<u>Sheet Issue Date</u>
G-001	Cover Sheet		08/31/25
A-101	Proposed Floor Plans	1	10/07/25
A-200	Proposed Elevations	1	10/07/25

Brian Fitzgerald
ARCH + DESIGN



Brian Fitzgerald R.A., NCARB, A.I.A., LEED AP
NJ Lic. # 21AIO205680041
PA Lic. # RA409455
ME Lic. # ARC5323
NCARB Cert. # 88189
East Main Street
Oceanport, NJ 07757
P: (732) 859-4968
Brian@bfarchdesign.com

Proposed New Residence For:

McGann Residence

8 Cayuga Avenue
Oceanport, NJ 07757

Block: 26

Lot: 7

These drawings and specifications are issued as instruments of the architect's service for use solely with respect to this project. These drawings and specifications shall not be used by the owner or by others on other projects, for additions to this project, or for completion of this project by others, without the agreement of the architect.

[illegible]

Cover Sheet

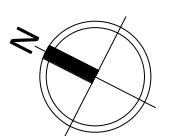
Project number	2020-68-02
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Submission Date 08/31/25

Sheet Issue Date	08/31/25
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Drawn by BPF

Checked by	BPF
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G-001

Scale $1/4" = 1'-0"$

